



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda - Final

Planning and Zoning Commission

Monday, April 5, 2021

6:00 PM

City Hall Council Chambers

PARTICIPATION IN THIS MEETING WILL BE AVAILABLE IN PERSON OR BY VIDEO CONFERENCING. To participate by video, please register at

https://mansfieldtexas.zoom.us/webinar/register/WN_ns5TWzqIS_a4zOQ9JnNNeg

by 6:00 pm on Monday, April 5, 2021 or join by telephone at 1-888-788-0099 (Toll Free). When you call into the meeting, provide the Webinar ID number and password below:

Webinar ID: 979 9232 8465

Passcode: 026404

Citizen comments on any agenda item for the April 5, 2021, Planning and Zoning Commission meeting may be submitted by email at planning@mansfieldtexas.gov. All comments must be received by 12:00 noon, Monday, April 5, 2021, for presentation to the Commissioners prior to the meeting

1. CALL TO ORDER

2. APPROVAL OF MINUTES

[21-4005](#)

Minutes - Approval of the March 15, 2020 Planning and Zoning Committee Meeting Minutes

Attachments: [Meeting Minutes 03-15-2021pdf.pdf](#)

3. CITIZENS COMMENTS

Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from "personal criticisms".

In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

4. PUBLIC HEARINGS

[21-4004](#)

SUP#21-001: Public hearing for a request for a Specific Use Permit for

apartments on approximately 12.869 acres out of the E. McAnear Survey, Abstract No. 1005, Tarrant County, TX, located at the southeast corner of Regency Pkwy. and Nahvi Rd.; Ryan Conway of JLB Partners (developer) on behalf of Mike Sellers of First Baptist Church, Michael P. Collini, and John C. Arnold of Fifteen Oaks Mansfield, L.P. (owners)

Attachments: [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Site Plan.pdf](#)

[Exhibit C - Elevations & Perspectives.pdf](#)

[Exhibit D - Landscape Plan.pdf](#)

[Exhibit E - Signage Plan.pdf](#)

21-4006

ZC#21-003: Public hearing for a change of zoning from PR Pre-Development District to PD Planned Development District for single-family residential uses on approximately 4 acres out of the Ray Grevious Survey, Abstract No. 1307, Tarrant County, TX, located at 2349 N. Holland Rd.; Jeff Linder of Bannister Engineering (engineer) on behalf of Mouaz Allababidi of Allababidi Foundation, LLC (owner)

Attachments: [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B -Development Plan.pdf](#)

[Exhibit C - Enhanced Entryway Plan.pdf](#)

[Exhibit D - Landscape and Screening Plan.pdf](#)

[Exhibit E - Residential Elevations.pdf](#)

[Driveway Acceptance Letter.pdf](#)

[Letter of Opposition.pdf](#)

5. OTHER AGENDA ITEMS

21-4010

SD#20-026: Final Plat of Somerset Addition, Phase III, on 53.744 acres located at 2201 Chambers Street by Bloomfield Homes, L.P., owner/developer; and LJA Surveying, surveyor

Attachments: [Location Map.pdf](#)

[Letter of Request.pdf](#)

[Approved Preliminary Plat.pdf](#)

[Final Plat.pdf](#)

6. COMMISSION ANNOUNCEMENTS

7. STAFF ANNOUNCEMENTS

8. ADJOURNMENT OF MEETING

9. NEXT MEETING DATE: Monday, April 19, 2021

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on April 1, 2021 in accordance with Chapter 551 of the Texas Government Code.

Jennifer Johnston, Development Coordinator

* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



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STAFF REPORT

File Number: 21-4005

Agenda Date: 4/5/2021

Version: 1

Status: Approval of Minutes

In Control: Planning and Zoning Commission

File Type: Meeting Minutes

Title

Minutes - Approval of the March 15, 2020 Planning and Zoning Committee Meeting Minutes

Description/History

The minutes of the March 15, 2020 Planning and Zoning Committee are in DRAFT form and will not become effective until approved by the Committee at this meeting.



CITY OF MANSFIELD

1200 E. Broad St.
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Meeting Minutes - Draft

Planning and Zoning Commission

Monday, March 15, 2021

6:00 PM

City Hall Council Chambers

This meeting was open to the public and conducted by video conferencing with access to the public

1. CALL TO ORDER

Chairman Knight called the meeting to order at 6:00 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code. Commissioner Mainer attended virtually.

Staff:

Matt Jones, Director of Planning and Development

Andrew Bogda, Planner

Jennifer Johnston, Development Coordinator

Commissioners:

Absent 1 - Justin Gilmore

Present 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

2. APPROVAL OF MINUTES

[21-3989](#)

Minutes - Approval of the March 1, 2020 Planning and Zoning Committee Meeting Minutes

Commissioner Groll made a motion to approve the March 01, 2020 minutes as presented. Commissioner Goodwin seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

3. CITIZENS COMMENTS

None

4. PUBLIC HEARINGS**21-3985**

SD#21-003: Public hearing on a replat to create Lots 42R1 and 42R2, Cresson Ranch Estates on 5.945 acres located at 2900 Jessica Drive; Bannister Engineering, Inc., engineer/surveyor; Gabriel and Deyanira Gaona, owner

Michael Davis, Bannister Engineering, was present on behalf of the applicant to answer any questions.

Chairman Knight opened the public hearing and called for anyone wishing to speak to come forward.

Seeing no come forward to speak, Chairman Knight closed the public hearing

After discussion, Vice-Chairman Axen made a motion to approve the replat as presented. Commissioner Weydeck seconded the motion which carried by the following votes:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

21-3990

ZC#21-001: Public hearing continuation for a change of zoning from PR Pre-Development District to PD Planned Development for retail plant nursery, wholesale plant nursery, and single-family residential uses on approximately 5.15 acres out of the Margaret Rockerfellow Survey, Abstract No. 1267, Tarrant County, TX, located at 1573 Newt Patterson Rd.; Michael Wilson of Bannister Engineering (landscape architect) on behalf of Magdaleno I. Pacheco of Leno's Plant Farm (owner/developer)

Mr. Bodga gave a brief PowerPoint presentation and was available for questions. Carina Pacheco, the applicant, and Michael Wilson, Bannister Engineering, were also available for questions.

Chairman Knight opened the public hearing and called for anyone wishing to speak to come forward.

Laurie McGee, of 898 Newt Patterson Rd., spoke in support of the zoning change.

Seeing no others come forward to speak, Chairman Knight closed the public hearing.

After discussion, Commissioner Groll made a motion to recommend approval of the zoning change with the staff recommendation of removing the gate and fence at Newt Patterson Rd. Commissioner Weydeck seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

5. COMMISSION ANNOUNCEMENTS

None

6. STAFF ANNOUNCEMENTS

Non

7. ADJOURNMENT OF MEETING

With no further business, Chairman Knight adjourned the meeting at 6:27 p.m.

Vice-Chairman Axen made a motion to adjourn the meeting. Commissioner Goodwin seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

Kent Knight, Chairman

Jennifer Johnston, Development Coordinator



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STAFF REPORT

File Number: 21-4004

Agenda Date: 4/5/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title:

SUP#21-001: Public hearing for a request for a Specific Use Permit for apartments on approximately 12.869 acres out of the E. McAnear Survey, Abstract No. 1005, Tarrant County, TX, located at the southeast corner of Regency Pkwy. and Nahvi Rd.; Ryan Conway of JLB Partners (developer) on behalf of Mike Sellers of First Baptist Church, Michael P. Collini, and John C. Arnold of Fifteen Oaks Mansfield, L.P. (owners)

Description/History

Existing Use: Vacant Land

Existing Zoning: PD Planned Development

Surrounding Land Use & Zoning:

North - Vacant land, PD

South - Assisted senior living facility, PD

East - Vacant land, PD

West - Regency Pkwy; vacant land & professional offices (PD) across the street

Thoroughfare Plan Specification:

Regency Pkwy. - major collector (four-lane undivided)

Nahvi Rd. - minor collector (three-lane undivided)

Street along east perimeter - minor collector (three-lane undivided)

Comments and Considerations

The subject property consists of 12.869 acres of vacant land on the east side of Regency Parkway and the south side of future Nahvi Road (an extension of Robert Road). The property is located in the Workplace Sub-District of The Reserve, which is intended to provide opportunities for employment-related land uses including commercial and office, as well as multi-family residential and supporting service-related uses.

The applicant is requesting a Specific Use Permit for 356 apartment units. The Workplace Sub-District allows a maximum of 1,024 residential dwelling units. Urban Living Phase 1 (under construction) has already taken 295 units. If this development is approved, 373 units will remain available in this sub-district.

Site Plan

The applicant plans to develop an urban-style multi-family residential development called JLB Mansfield. Of the 12.869 total acres, the apartment development will be constructed

on 10.475 acres, with the balance of the property to be dedicated as public right-of-way for new streets along the north and east perimeter of the development. The street along the north side of the development will be called Nahvi Road, which is an extension of Robert Road. Nahvi Road was identified in a previously-approved preliminary plat and was named after a local veteran (U.S. Army Spc. Russell Nahvi) who was killed in action in the War on Terror. The street on the east side remains unnamed and the applicant will construct the west half of the street located on their property. A private drive will run north-south through the center of the development to connect to the existing private drive in the Highlands Village senior living community to the south.

JLB Mansfield will include three (3) three-story buildings and two (2) four-story buildings, as well as four outdoor amenity spaces. The development will include a mix of tuck-under garage parking spaces, uncovered surface parking spaces, covered (carport) parking spaces, and parallel parking spaces along Nahvi Road and the street along the east perimeter. Building 1 is located on the west side of the development near the intersection of Nahvi Road and Regency Parkway and is three stories; it will include some ground-floor live-work units and is flanked by amenities on the west and east sides of the building. To the east is Building 2, which is four stories and includes the leasing office, indoor amenities, and an outdoor courtyard amenity with swimming pool; Building 2 fronts on Nahvi Road and the central private drive. Buildings 3 and 5 are to the east of Building 2 and are both three stories; Building 3 fronts Nahvi and the private drive, while Building 5 fronts the private drive. Building 4 is the easternmost building and is an L-shaped four-story building that fronts both Nahvi Road and the street along the eastern perimeter. An additional amenity area with dog park and resident activity area is located roughly equi-distant to Buildings 3, 4, and 5. Combined, the buildings will include 356 apartments over 10.475 acres for a net density of about 34 dwelling units per acre.

The number of units, floors, floor area, and footprint size for each building is:

Building 1 (61 units; three stories): 71,583 sq. ft. floor area; 23,861 sq. ft. footprint
Building 2 (117 units; four stories): 142,752 sq. ft. floor area; 35,688 sq. ft. footprint
Building 3 (38 units; three stories): 47,216 sq. ft. floor area; 15,739 sq. ft. footprint
Building 4 (112 units; four stories): 121,339 sq. ft. floor area; 30,335 sq. ft. footprint
Building 5 (28 units; three stories): 37,256 sq. ft. floor area; 12,419 sq. ft. footprint
The lot coverage is 27% and the floor area ratio is 0.945.

The applicant is proposing the following unit mix:

Efficiency/studio (min. 600 sq. ft. floor area): 26 units (7.3%)
Efficiency/one-bedroom (min. 700 sq. ft. floor area): 141 units (39.6%)
One-bedroom (min. 750 sq. ft. floor area): 94 units (26.4%)
Two-bedroom (min. 950 sq. ft. floor area): 86 units (24.2%)
Live-work/one-bedroom (min. 750 sq. ft. floor area): 9 units (2.5%)

The units are distributed in a fairly balanced manner amongst the buildings, with the exception that Building 1 will be the only building to include live-work units.

Access, Circulation, and Parking

The main access to the development will be via the central north-south drive that connects

to Nahvi Road on the north and the Highlands Village development to the south. From there, two gated access points will be provided to allow access to the west and east sides of the development. Secondary gated access points will be provided on Nahvi Road between Buildings 1 & 2 and on the east perimeter street on the south side of Building 4.

Parallel parking spaces with a pedestrian-friendly urban streetscape with enhanced sidewalk and tree wells will be provided along Nahvi Road and along the east perimeter street. This streetscape will also be provided along the central drive, however this central drive will include head-in parking instead of parallel parking in order to meet the parking needs for the development. All of these spaces will be accessible to the public and residents alike. In addition, dedicated spaces will be provided near the leasing office for future residents and parcel carriers.

Restricted parking areas (accessed via gates) include a mix of uncovered spaces, covered (carport) spaces, and tuck-under garage spaces in the apartment buildings. The tuck-under spaces are all located on the interior of the development and do not directly face any public streets. The carport spaces are all located on interior drives that are not designated as fire lanes. There are 58 tuck-under garage spaces, 99 carport spaces, 338 standard parking spaces, and 14 ADA spaces, for a total of 509 spaces. The development will provide for a ratio of 1.15 spaces per bedroom and 1.43 spaces per unit.

To serve pedestrians, sidewalks will be located along the perimeter of most building facades (except where tuck-under garages are located) and sidewalk and crosswalk connections will allow for connection between buildings and access to amenities and parking areas. An 8' sidewalk will also be provided along Regency Parkway and enhanced sidewalks with tree wells will be provided along Nahvi Road, the eastern perimeter street, and both sides of the central drive.

Storage, Equipment/Service Area Screening, and Lighting

The applicant notes that there will be no outside storage or outside operations on the property, no parking of boats/trailers/recreational vehicles, all utilities with the exception of electric transmission lines will be placed underground, all service areas and mechanical equipment will be located and screened in accordance with the requirements of The Reserve, and adequate lighting will be provided in accordance with the requirements of The Reserve. Three masonry trash enclosures will be provided along the south side of the development and will be screened by shrubs. A maintenance garage will be located in Building 5. The applicant has provided for screening of rooftop equipment by parapet walls adjacent to public streets and screening of rooftop equipment by a screen-guard system elsewhere; staff recommends that all rooftop equipment be screened by parapet walls at least 1' taller than the tallest piece of equipment along all building facades.

Elevations and Perspectives

The applicant has provided elevations for all facades of each building, the carports and trash enclosures, as well as a few perspectives to illustrate how the development will look from key intersections at different angles and at different times of day.

The building materials primarily include a mix of brick, cementitious paneling, and cementitious siding. Each building material includes three different colors. Reds, greys, and whites form the predominant color scheme of the development, in addition to a black metal railing system. The tuck-under garage doors are paneled and residential in character. The buildings are heavily articulated with wall plane and roof height recesses and projections, balconies, alternating building materials and colors, abundant windows and doors, and soldier coursing and banding repeated throughout the buildings. The buildings will also include tower features at the building corners. The buildings include a mix of parapet walls along street frontages as well as pitched roofs along the interior facades with asphalt shingles and a 4:12 predominant roof pitch. The ground floor liv-work units in Building 1 facing Nahvi Road and the amenity areas in Building 2 are designed in a storefront condition. In addition, the ground-floor residential units facing public streets have finished floor elevations above the finished sidewalk grade.

The overall building materials percentages are as follows:

Building 1: 74.6% brick; 19.1% cementitious panel; 6.3% siding

Building 2: 62.4% brick; 37.6% cementitious panel

Building 3: 65.4% brick; 15.9% cementitious panel; 18.7% siding

Building 4: 68.9% brick; 15% cementitious panel; 16.1% siding

Building 5: 64.7% brick; 16.5% cementitious panel; 18.8% siding

It is noted that all elevations facing public or private streets are at least 75% masonry or masonry-like as required by the Workplace Sub-District regulations. The percentage of glass on each building is no more than 32%.

The trash enclosures and outer carport columns will include masonry to match the buildings.

The design of the site and the building architecture provides for prominent building corners at street intersections, abundant building façade relief and articulation, abundant roof line articulation, and a pedestrian-friendly streetscape design, all consistent with the standards for the Workplace Sub-District of The Reserve.

Landscaping, Screening, and Hardscaping

A Landscape Plan has been provided showing the overall landscaping and hardscaping to be provided throughout the site, as well as tables specifying the requirements, planting types and quantities, and details for the fencing and gates.

As required, street trees will be provided approximately every 40' along Regency Parkway and approximately every 30' in tree wells along Nahvi Road, the east perimeter street, and the central drive. Trees will also be provided in the parking lot islands and shrubs will be provided to screen parking areas from adjacent streets and properties. Shrubs will also be provided around building foundations and a mixture of landscaping and hardscaping will be provided in the amenity areas. Hardscape elements including benches, trash receptacles, street lights, and bike racks will be provided at regular intervals along Nahvi Road and the east perimeter street as required by the Workplace Sub-District regulations.

While The Reserve regulations discourage fencing, interior sections of the development are fenced and gated in order to restrict access to resident parking, living, and amenity areas. However, the portions of the development along public and private streets are not gated in order to provide for the street-oriented, pedestrian-friendly atmosphere intended by The Reserve. The fencing material will be a decorative ornamental metal fence in order to provide for an open, pedestrian-friendly aesthetic.

Amenities

The development will include four amenity areas:

- Amenity Area 1 will include the indoor club and fitness area as well as the mail center and leasing office, all located in Building 2; it will also include outdoor amenities in the courtyard of Building 2, including a resort-style pool with enhanced pavement pool deck, lounge chairs and outdoor furniture, covered open-air lounge space, grilling station with bar counter, and synthetic turf lawn areas.
- Amenity Area 2 will be located between Buildings 3, 4 and 5 and will include a fenced dog park with pet stations, lawn area for structured recreational activities, covered pavilion, outdoor furniture and bench seating, festive string lighting, and shade trees and enhanced planting.
- Amenity Area 3 will be located on the east side of Building 1 and will be designed as a passive space adjacent to Nahvi Road that will be accessible to the public and improved with enhanced pavement, bench seating and masonry seat wall, shade trees and enhanced planting, and pedestrian-scaled light fixtures.
- Amenity Area 4 will be located on the west side of Building 1 near the intersection of Regency Parkway and Nahvi Road and will include a masonry seat wall with memorial plaque to Spc. Russell Nahvi, as well as enhanced paving and landscaping.

Signage

A signage plan has been provided, showing limited signage consistent with the standards of The Reserve with a total of three wall signs, one each on Building 1 (facing Regency Parkway), Building 2 (facing Nahvi Road), and Building 4 (facing the east perimeter street). Each wall sign will be allowed a maximum length of 20' and a maximum height of 4' (80 sq. ft.).

Recommendation

The subject property is located in the Workplace Sub-District of The Reserve. This sub-district is intended to accommodate employment-related uses, multi-family residential, and supporting commercial service uses. After the Urban Living development provided the initial multi-family residential units to this sub-district, this development will bring additional units and help anchor the western portion of this development along Regency Parkway with active residential uses to help balance the office/employment-related uses along this corridor and help to further the pedestrian-friendly design already established with the Urban Living development to the northeast.

The applicant has worked cooperatively with staff to design the development in such a

way to meet the intent of The Reserve Planned Development Regulations, including increasing the height of some of the buildings to four stories, providing for a pedestrian-friendly streetscape, committing to building half of the east perimeter street, providing a central drive that is open to the public and enhanced with pedestrian-friendly elements, providing tuck-under garage spaces, limiting perimeter fencing and screening to only interior sections of the development, and providing for quality architecture, landscaping, hardscaping, and amenities throughout the development.

The apartments will also provide for convenient living options near the continued expansion of employment and commercial uses in this area, including the Broad Street, Heritage Parkway, and Regency Parkway corridors and the City's growing medical, educational, and recreational facilities. The development will complement the Urban Living development and continue the gridded street system with pedestrian-friendly streetscape as intended by The Reserve. The dense urban-style design in combination with the limits on the number of dwelling units established in The Reserve also allows for the continued careful stewardship of land resources in the City, including preservation of land for commercial and employment uses in much of the remainder of the Workplace Sub-District.

Staff recommends approval with the following condition:

- The screening of rooftop equipment be revised to provide for building parapets at least 1' taller than the tallest piece of equipment on all building facades.

Attachments:

Maps and Supporting Information

Exhibit A - Property Description

Exhibit B - Site Plan

Exhibit C - Elevations & Perspectives

Exhibit D - Landscape Plan

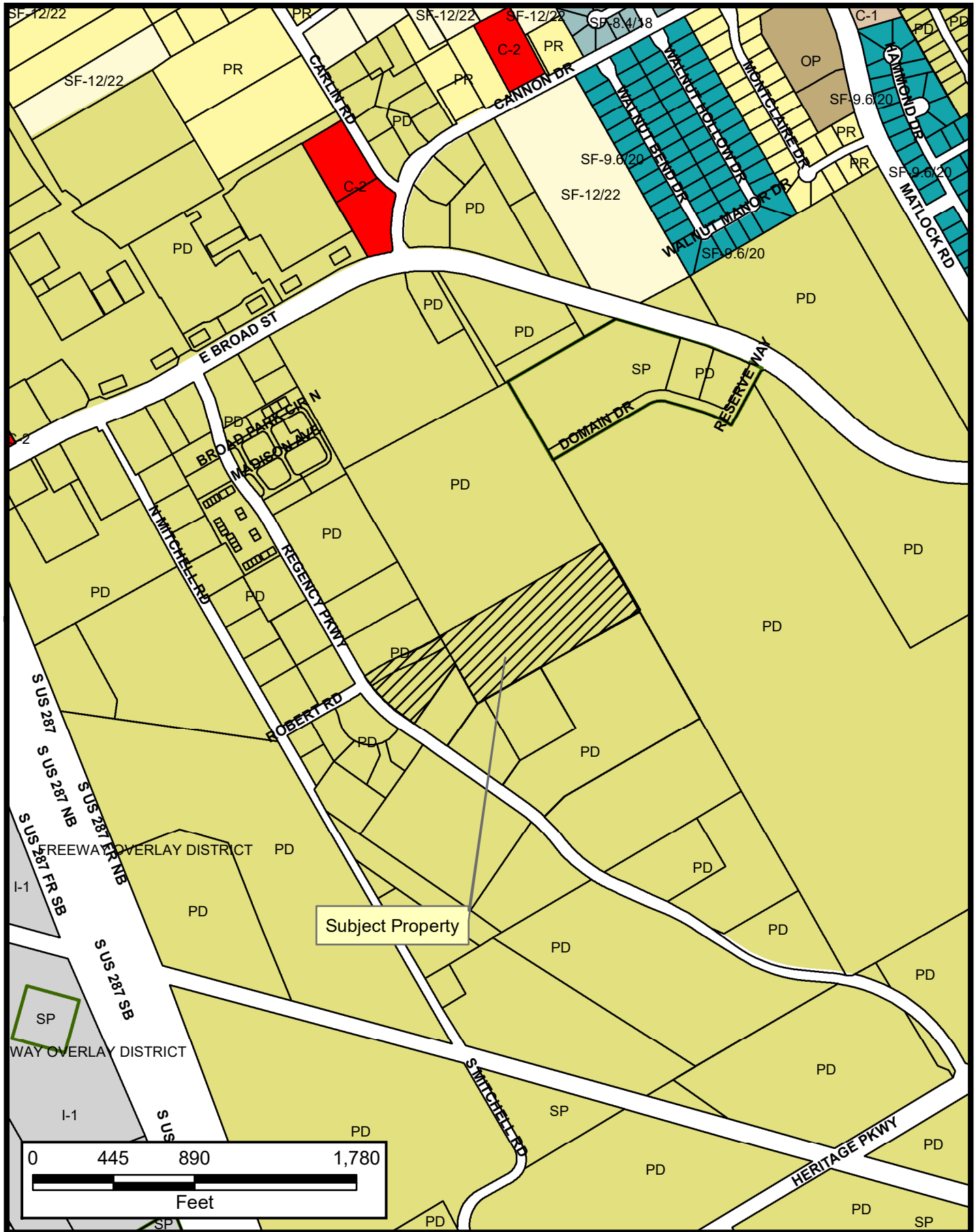
Exhibit E - Signage Plan



SUP#21-001

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

3/25/2021



SUP#21-001

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3/25/2021

Property Owner Notification for SUP#21-001

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
FOUNTAINVIEW CENTER	BLK 1	RITTER, THOMAS J JR	1703 FOUNTAINVIEW DR STE 103	MANSFIELD, TX	76063-5092
FOUNTAINVIEW CENTER	BLK 1	RITTER, THOMAS J JR	1703 FOUNTAINVIEW DR STE 103	MANSFIELD, TX	76063-5092
FOUNTAINVIEW CENTER	BLK 1	MANSFIELD SPECIALISTS HOLDINGS	1021 MATLOCK RD #103	MANSFIELD, TX	76063
HIGHLAND HEIGHTS ADDN	BLK 1	GRAND REGENCY PARTNERS LLC	1100 W PIONEER PKWY	ARLINGTON, TX	76013-6367
HIGHLAND HEIGHTS ADDN	BLK 1	HIGHLANDS VILLAGE SENIOR LIVING LLC	1100 WEST PIONEER PKWY	ARLINGTON, TX	76013
HIGHLAND HEIGHTS ADDN	BLK 1	MANSFIELD DERMATOLOGY PLLC	130 REGENCY PKWY	MANSFIELD, TX	76063
MCANEAR, ELIZABETH SURVEY	A 1005	HORNING-LOCKWOOD, STEPHEN C	20 WOODLAND CT	MANSFIELD, TX	76063-6033
MCANEAR, ELIZABETH SURVEY	A 1005	FIRST BAPTIST CH MANSFIELD	PO BOX 2255	MANSFIELD, TX	76063-0047
MCANEAR, ELIZABETH SURVEY	A 1005	FIFTEEN OAKS MANSFIELD LP	3557 BELLAIRE DR S	FORT WORTH, TX	76109-2134
MCANEAR, ELIZABETH SURVEY	A 1005	COLLINI, MICHAEL P	1410 LONG AND WINDING RD	MANSFIELD, TX	76063-5607
MCANEAR, ELIZABETH SURVEY	A 1005	COLLINI, MICHAEL P	1410 LONG AND WINDING RD	MANSFIELD, TX	76063-5607
MCCASLIN BUSINESS PARK	BLK 1	TEKNON LLC	500 THROCKMORTON ST APT 3206	FORT WORTH, TX	76102
MCCASLIN BUSINESS PARK	BLK 2	MASTER METER INC	101 REGENCY PKWY	MANSFIELD, TX	76063-5093
MCCASLIN BUSINESS PARK	BLK 3	BHAKTA INVESTMENT GROUP LLC	3 HIDDEN LAKE CT	MANSFIELD, TX	76063

SUP#21-001 EXHIBIT A

METES AND BOUNDS DESCRIPTION

BEING a tract of land situated in the E. McAnier Survey, Abstract No. 1005, City of Mansfield, Tarrant County, Texas, being part of a tract conveyed to Fifteen Oaks Mansfield, L.P., recorded in Document No. D205288048 of the Official Public Records, Tarrant County, Texas (OPRTCT), and being all of a Tract 2 conveyed to Michael P. Collini, recorded in Document No. D210239946 OPRTCT, and being part of a tract conveyed to First Baptist Church of Mansfield, by deed recorded in Volume 7667, Page 1119 of the Deed Records, Tarrant County, Texas (DRTCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found on the east line of Regency Parkway, a 70-foot right-of-way created by the final plat of Section One, McCaslin Business Park, recorded in Document No. D203330304 OPRTCT, for the south corner of a tract conveyed to Michael P. Collini, recorded in Document No. D212112078 OPRTCT;

THENCE along the southeast line thereof, the following:

N 54°56'11" E, 14.22 feet to a 1/2" iron rod found;

A tangent curve to the right having a central angle of 11°52'41", a radius of 1035.00 feet, a chord of N 60°52'31" E - 214.18 feet, an arc length of 214.57 feet to a 1/2" iron rod found;

N 66°48'52" E, 65.10 feet to a 1/2" iron rod found;

A tangent curve to the left having a central angle of 06°41'16", a radius of 965.00 feet, a chord of N 63°28'14" E - 112.57 feet, an arc length of 112.64 feet to a 1/2" iron rod found;

And N 60°07'36" E, 1085.76 feet to a point on the lower northeast line thereof, being on the southwest line of a tract conveyed to Stephen Clare Horning-Lockwood, recorded in Volume 10470, Page 1069 DRTCT;

THENCE S 30°07'32" E, 425.14 feet along the southwest line thereof to a 1/2" iron rod with plastic cap found for the north corner of a right-of-way dedication created by the final plat of Highland Heights Addition;

SUP#21-001 EXHIBIT A

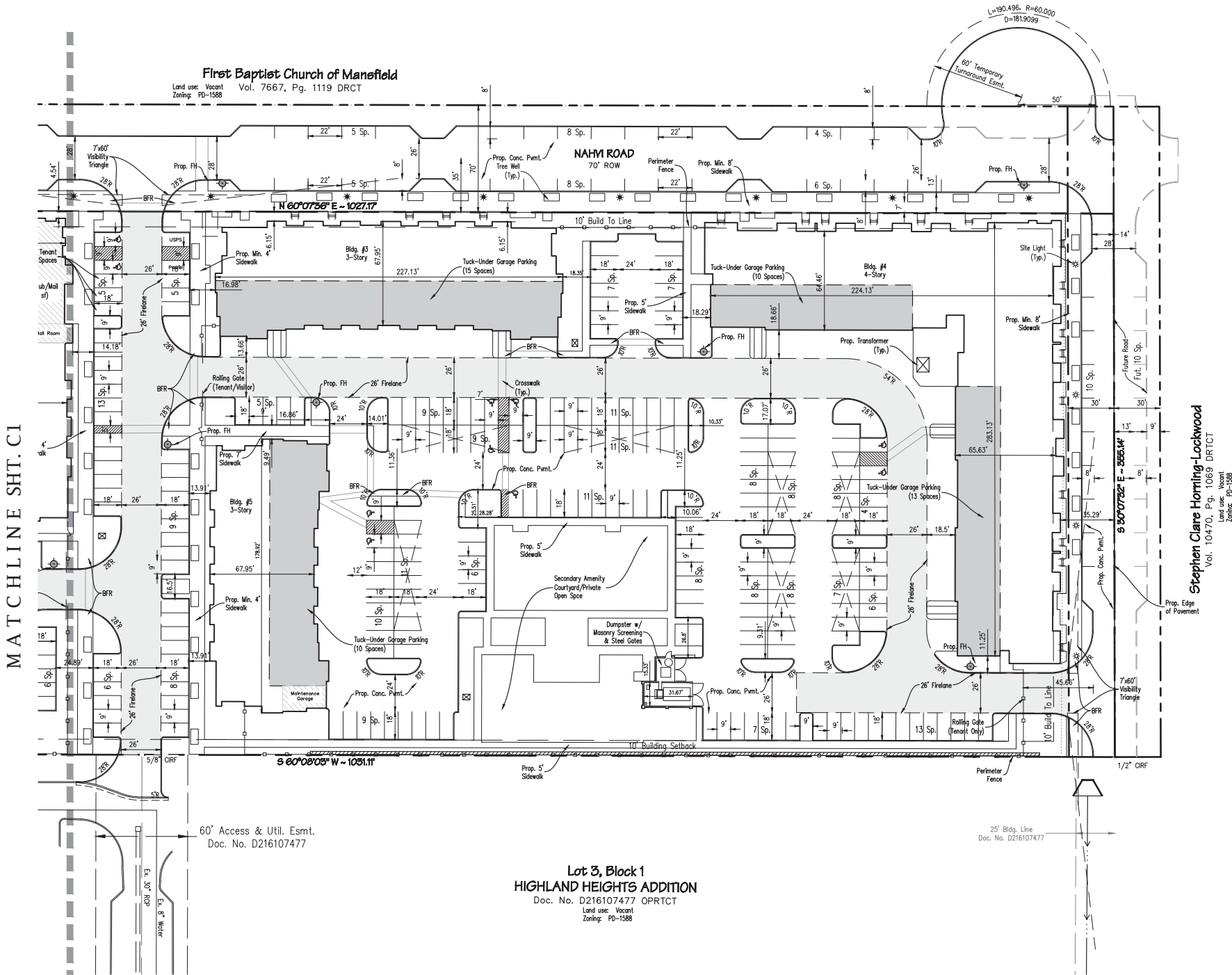
THENCE S 60°08'03" W, 1031.11 feet along the northwest line of Highland Heights Addition to a 1/2" iron rod found for the east corner of Lot 2, Block 3, McCaslin Business Park, recorded in Document No. D204167038, Official Public Records, Tarrant County, Texas, for a northwesterly corner of Lot 1, Block 1, Highland Heights Addition, recorded in Document No. D216107477 OPRTCT;

THENCE N 29°29'19" W, 243.27 feet along the northeast line of Lot 2, Block 3 to a 1/2" iron rod with plastic cap found for the north corner thereof, being the east corner of said Collini tract;

THENCE S 35°07'57" W, 395.72 feet along the northwest line of Lot 2 to a 1/2" iron rod with plastic cap found on the east line of Regency Parkway, a 70-foot right-of-way created by the final plat of Section One, McCaslin Business Park, recorded in Document No. D203330304 OPRTCT, for the west corner of Lot 2;

THENCE N 54°52'03" W, 76.13 feet along the east line of Regency Parkway to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

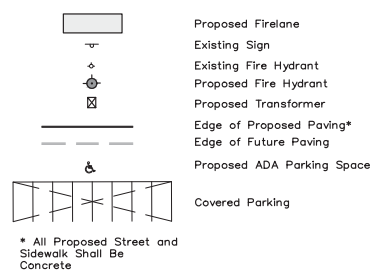
THENCE continuing along the east line of Regency Parkway, around a tangent curve to the right having a central angle of 22°21'35", a radius of 785.00 feet, a chord of N 43°41'16" W - 304.40 feet, an arc length of 306.35 feet to the POINT OF BEGINNING with the subject tract containing 560,584 square feet or 12.869 acres of land.



NOTES

1. No trees, signs, or anything over 2' in height is allowed within the visibility triangles.
2. Adequate lighting shall be provided throughout the development in accordance with Section 7 of the workplace sub-district of the Reserve Planned Development District Standards.
3. All service areas and mechanical equipment will be located and screened in accordance with Section 10 of the Workplace Sub-District of The Reserve Planned Development Standards.
4. All rooftop equipment shall be screened by at least 1' higher than the tallest piece of equipment.
5. No outside storage or outside operations of any kind shall be permitted.
6. No boats, motor homes, trailers, recreational vehicles, towed trailers, or similar vehicular equipment shall be parked or stored on the property.
7. All utilities except electrical transmission lines shall be placed underground in accordance with the Planned Development Standards.

LEGEND



SUP#21-001 EXHIBIT B SPECIFIC USE PERMIT SITE PLAN JLB MANSFIELD

BLOCK A, LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS

E. McANIER SURVEY, ABST. NO. 1005
456,299 Sq. Ft./ 10.475 Acres (Net)
560,584 Sq. Ft./ 12.869 Acres (Gross)

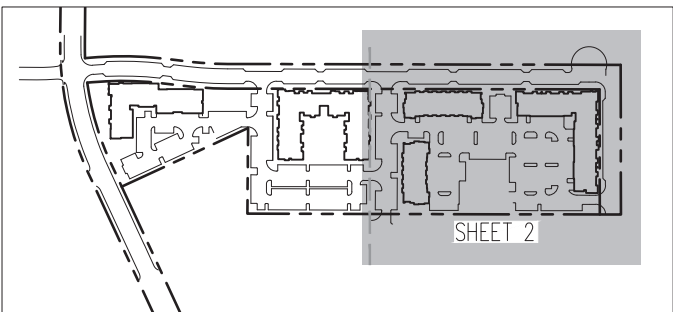
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Joe Lehman
joe.lehman@spiarsengineering.com

OWNER / APPLICANT
JLB Realty, LLC
3890 W. Northwest Highway, 7th Floor
Dallas, Texas 75220
Contact: Britton Church
bchurch@jlbpartners.com
Phone: 214-271-8480

MATCHLINE SHT. C1

Lot 3, Block 1
HIGHLAND HEIGHTS ADDITION
Doc. No. D216107477 OPRCT
Land use: Vacant
Zoning: PD-1558



KEY MAP (1" = 250')

SHEET 2

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	74.6%
BRICK - FIELD 01	58.6%
BRICK - FIELD 02	11.2%
BRICK - FIELD 03	4.8%
CEMENTITIOUS PANEL	19.1%
SIDING	6.3%
GLASS/WINDOW/DOOR	
26.8%	

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND -
FIELD COLOR 01
- 06.2

BRICK MASONRY BAND -
FIELD COLOR 02
- 06.3

BRICK MASONRY BAND -
FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING
SYSTEM
- 11

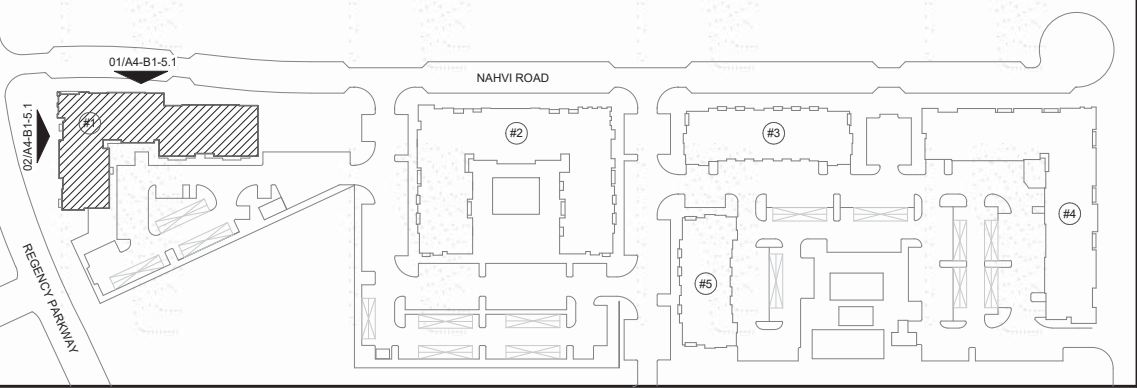
ALUMINIUM PARAPET
COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



02 WEST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	80.6%
BRICK - FIELD 01	50.4%
BRICK - FIELD 02	12.7%
BRICK - FIELD 03	17.5%
CEMENTITIOUS PANEL	19.4%
GLASS/WINDOW/DOOR	
27.1%	



01 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	79.6%
BRICK - FIELD 01	49.4%
BRICK - FIELD 02	18.8%
BRICK - FIELD 03	11.5%
CEMENTITIOUS PANEL	20.4%
GLASS/WINDOW/DOOR	
30.5%	

CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net

Revisions

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	74.6%
BRICK - FIELD 01	58.6%
BRICK - FIELD 02	11.2%
BRICK - FIELD 03	4.8%
CEMENTITIOUS PANEL	19.1%
SIDING	6.3%
GLASS/WINDOW/DOOR	26.8%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND -
FIELD COLOR 01
- 06.2

BRICK MASONRY BAND -
FIELD COLOR 02
- 06.3

BRICK MASONRY BAND -
FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING
SYSTEM
- 11

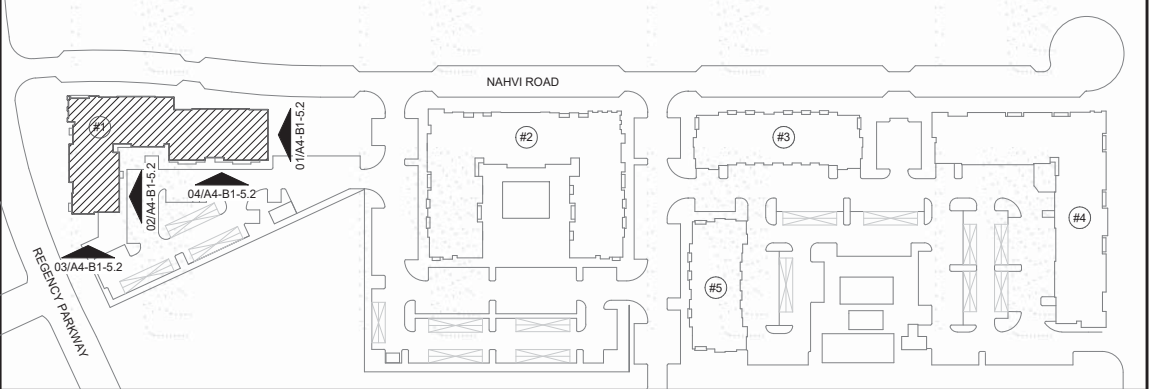
ALUMINIUM PARAPET
COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



04 SOUTH ELEVATION 02
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	41.0%
BRICK - FIELD 01	41.0%
BRICK - FIELD 02	0%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	33.1%
SIDING	25.9%
GLASS/WINDOW/DOOR	31.3%



3 SOUTH ELEVATION 01
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	95.0%
BRICK - FIELD 01	95.0%
BRICK - FIELD 02	0%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	5.0%
SIDING	0%
GLASS/WINDOW/DOOR	14.3%



02 EAST ELEVATION 01
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	73.5%
BRICK - FIELD 01	73.5%
BRICK - FIELD 02	0%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	14.4%
SIDING	12.1%
GLASS/WINDOW/DOOR	27.1%



01 EAST ELEVATION 02
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	77.9%
BRICK - FIELD 01	42.0%
BRICK - FIELD 02	35.9%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	22.1%
SIDING	0%
GLASS/WINDOW/DOOR	11.1%

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HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net

Revisions

BRUCE W. RACHEL, AIA
TX LICENCE NO. 14373
PRELIMINARY DRAWING
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LAMKIN RACHEL, INC.

Project Title:
NAHVI ROAD
EXHIBIT C
MANSFIELD, TX.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	62.39%
BRICK - FIELD 01	47.99%
BRICK - FIELD 02	8.80%
BRICK - FIELD 03	5.60%
CEMENTITIOUS PANEL	37.61%
SIDING	0
GLASS/WINDOW/DOOR	25.16%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND -
FIELD COLOR 01
- 06.2

BRICK MASONRY BAND -
FIELD COLOR 02
- 06.3

BRICK MASONRY BAND -
FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING
SYSTEM
- 11

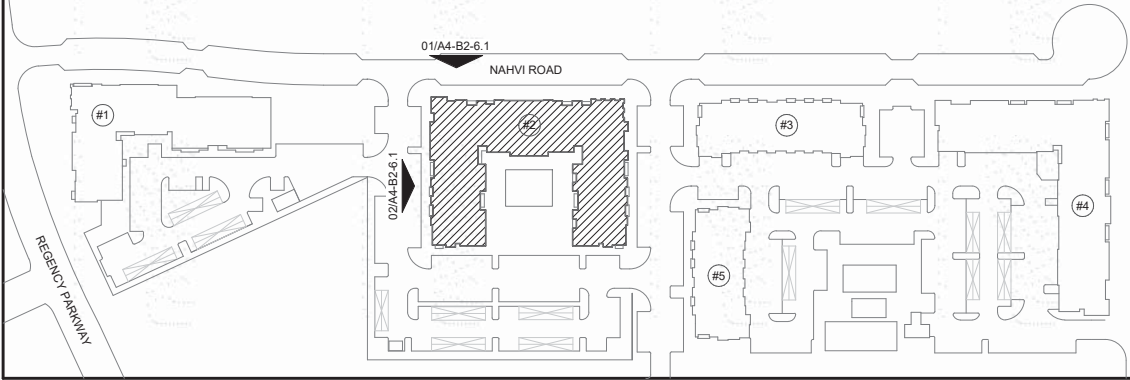
ALUMINIUM PARAPET
COPING CAP
- 12

METAL CANOPY
- 13

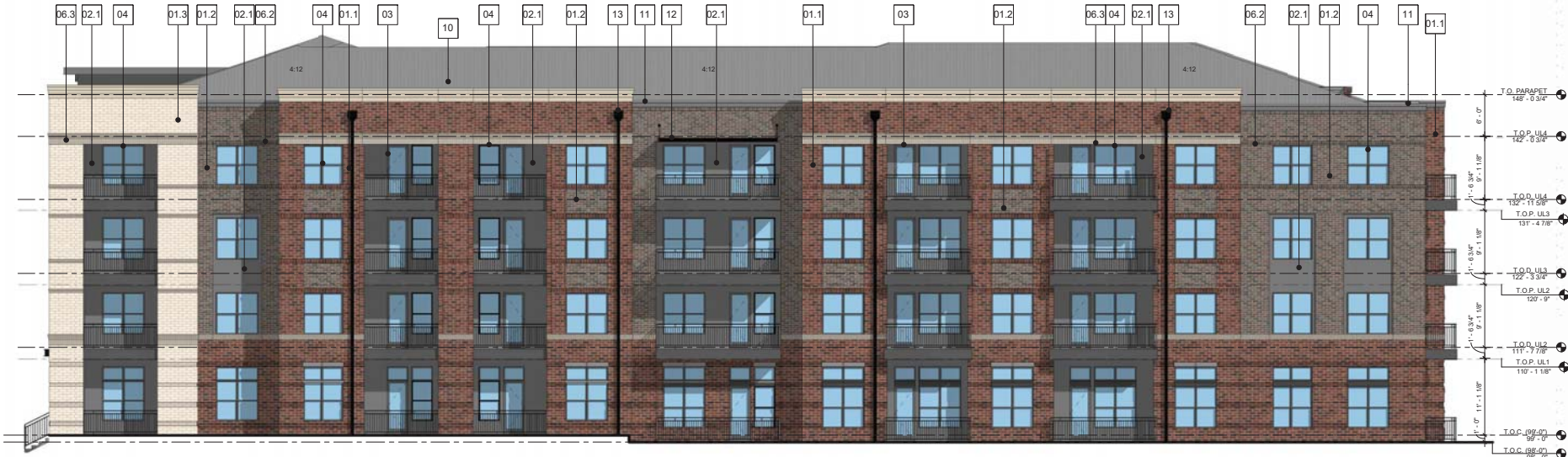
DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



02 WEST ELEVATION 01
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	81.0%
BRICK - FIELD 01	55.5%
BRICK - FIELD 02	16.3%
BRICK - FIELD 03	9.2%
CEMENTITIOUS PANEL	19.0%
GLASS/WINDOW/DOOR	25.8%



01 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	83.0%
BRICK - FIELD 01	45.7%
BRICK - FIELD 02	17.6%
BRICK - FIELD 03	19.7%
CEMENTITIOUS PANEL	17.0%
GLASS/WINDOW/DOOR	22.7%

0 3 6 9 12 15
CASE NUMBER_SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj. manager)
EMAIL - juan@hlrinc.net

Revisions

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	62.39%
BRICK - FIELD 01	47.99%
BRICK - FIELD 02	8.80%
BRICK - FIELD 03	5.60%
CEMENTITIOUS PANEL SIDING	37.61%
GLASS/WINDOW/DOOR	25.16%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER - FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER - FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER - FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND - FIELD COLOR 01
- 06.2

BRICK MASONRY BAND - FIELD COLOR 02
- 06.3

BRICK MASONRY BAND - FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING SYSTEM
- 11

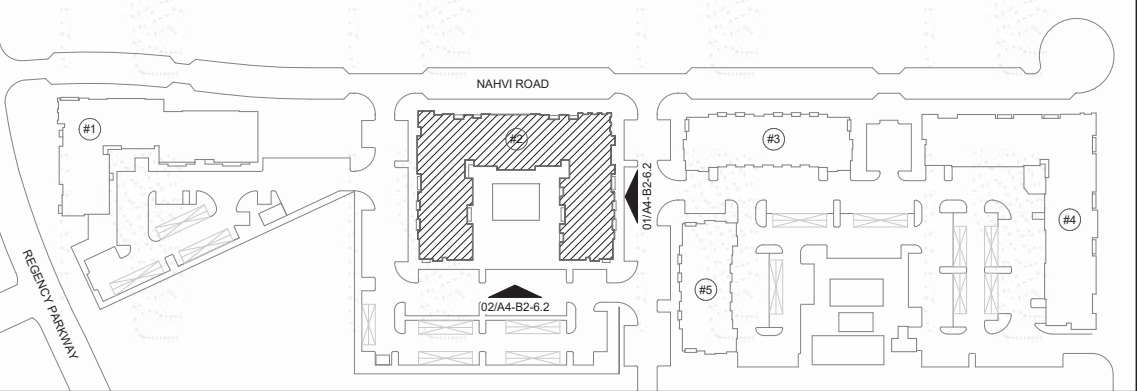
ALUMINIUM PARAPET COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



2 SOUTH ELEVATION 03
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	61.64%
BRICK - FIELD 01	47.81%
BRICK - FIELD 02	13.83%
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	38.36%
GLASS/WINDOW/DOOR	14.59%



01 EAST ELEVATION 03
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	78.0%
BRICK - FIELD 01	53.8%
BRICK - FIELD 02	13.9%
BRICK - FIELD 03	10.3%
CEMENTITIOUS PANEL	22.0%
GLASS/WINDOW/DOOR	27.0%

CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX-75254
CONTACT PERSON -JUAN TORRES
(sr. proj. manager)
EMAIL - juan@hlrinc.net

HENSLEY LAMKIN RACHEL, INC.
DALLAS • HOUSTON • SEATTLE
WWW.HLRINC.NET
PH: 972.726.9400

Revisions

BRUCE W. RACHEL, AIA
TX LICENCE NO. 14373
PRELIMINARY DRAWING
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LAMKIN RACHEL, INC.

Project Title:
NAHVI ROAD
EXHIBIT C
MANSFIELD, TX.

Project ID: #20410
Sheet No.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	62.39%
BRICK - FIELD 01	47.99%
BRICK - FIELD 02	8.80%
BRICK - FIELD 03	5.60%
CEMENTITIOUS PANEL	37.61%
SIDING	0
GLASS/WINDOW/DOOR	25.16%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND -
FIELD COLOR 01
- 06.2

BRICK MASONRY BAND -
FIELD COLOR 02
- 06.3

BRICK MASONRY BAND -
FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING
SYSTEM
- 11

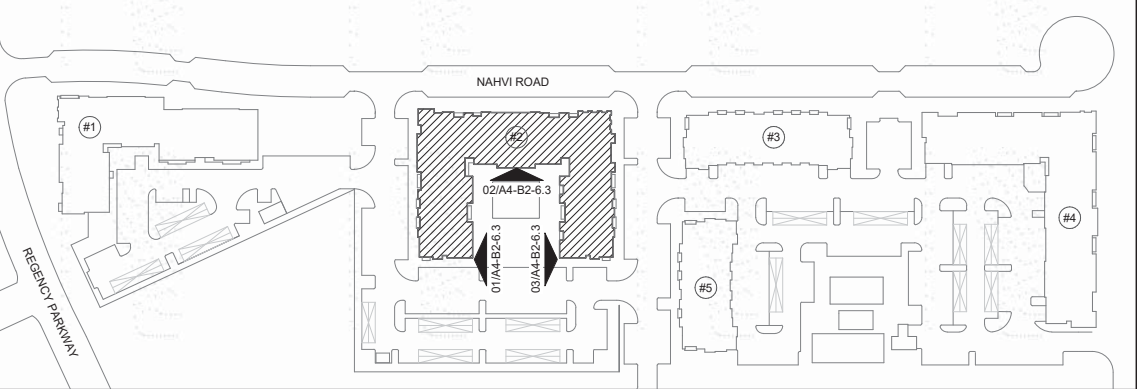
ALUMINIUM PARAPET
COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



03 WEST ELEVATION 03
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	51.86%
BRICK - FIELD 01	51.86%
BRICK - FIELD 02	0
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	48.14%
GLASS/WINDOW/DOOR	27.37%



02 SOUTH ELEVATION 02
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	29.35%
BRICK - FIELD 01	29.35%
BRICK - FIELD 02	0
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	70.65%
GLASS/WINDOW/DOOR	31.32%



01 EAST ELEVATION 01
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	51.86%
BRICK - FIELD 01	51.86%
BRICK - FIELD 02	0
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	48.14%
GLASS/WINDOW/DOOR	27.37%

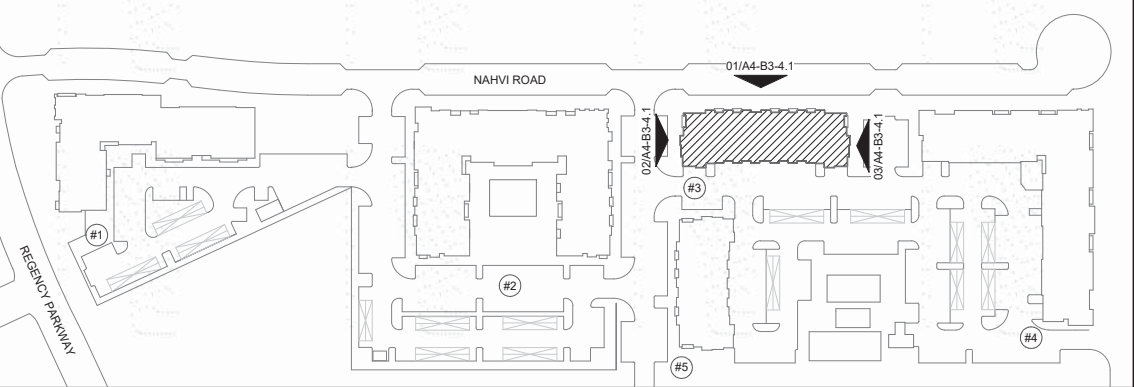
CASE NUMBER _SUP #21 - 001
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14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net

Revisions

MATERIAL LEGEND

01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM	07	SPECIALTY WINDOW
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01	08	CAST STONE
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02	09	METAL RAILING SYSTEM
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03	10	ASPHALT SHINGLE ROOFING SYSTEM
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01	11	ALUMINIUM PARAPET COPING CAP
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02	12	METAL CANOPY
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03	13	DOWNSPOUT
				14	RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.4%
BRICK - FIELD 01	51.7%
BRICK - FIELD 02	13.7%
CEMENTITIOUS PANEL	15.9%
SIDING	18.7%
GLASS/WINDOW/DOOR	
	22.5%



03 EAST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.5%
BRICK - FIELD 01	55.1%
BRICK - FIELD 02	10.4%
CEMENTITIOUS PANEL	8.3%
SIDING	26.2%
GLASS/WINDOW/DOOR	
	22.5%



02 WEST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	84.5%
BRICK - FIELD 01	53.8%
BRICK - FIELD 02	30.7%
CEMENTITIOUS PANEL	8.6%
SIDING	6.9%
GLASS/WINDOW/DOOR	
	22.8%



01 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	77.2%
BRICK - FIELD 01	69.7%
BRICK - FIELD 02	7.4%
CEMENTITIOUS PANEL	22.8%
SIDING	0.0%
GLASS/WINDOW/DOOR	
	24.7%

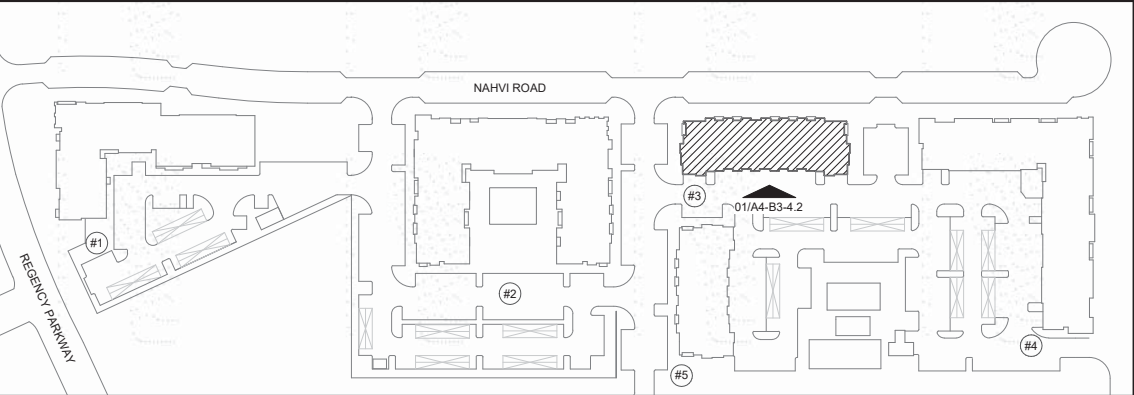


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14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net

MATERIAL LEGEND

01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM	07	SPECIALTY WINDOW
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01	08	CAST STONE
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02	09	METAL RAILING SYSTEM
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03	10	ASPHALT SHINGLE ROOFING SYSTEM
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01	11	ALUMINIUM PARAPET COPING CAP
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02	12	METAL CANOPY
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03	13	DOWNSPOUT
				14	RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.4%
BRICK - FIELD 01	51.7%
BRICK - FIELD 02	13.7%
CEMENTITIOUS PANEL	15.9%
SIDING	18.7%
GLASS/WINDOW/DOOR	
	22.5%



01 South elevation
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	34.6%
BRICK - FIELD 01	28.2%
BRICK - FIELD 02	6.4%
CEMENTITIOUS PANEL	23.9%
SIDING	41.5%
GLASS/WINDOW/DOOR	
	19.7%



CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX-75254
CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net



HENSLEY LAMKIN RACHEL, INC.
DALLAS • HOUSTON • SEATTLE
WWW.HLRINC.NET
PH: 972.726.9400

Revisions

BRUCE W. RACHEL, AIA
TX LICENCE NO. 14373
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LAMKIN RACHEL, INC.

Project Title:
NAHVI ROAD
EXHIBIT C
MANSFIELD, TX.



Project ID: #20410

Sheet No.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	68.88%
BRICK - FIELD 01	47.11%
BRICK - FIELD 02	17.71%
BRICK - FIELD 03	4.06%
CEMENTITIOUS PANEL SIDING	16.13%
GLASS/WINDOW/DOOR	21.94%

Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER - FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER - FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER - FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND - FIELD COLOR 01
- 06.2

BRICK MASONRY BAND - FIELD COLOR 02
- 06.3

BRICK MASONRY BAND - FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING SYSTEM
- 11

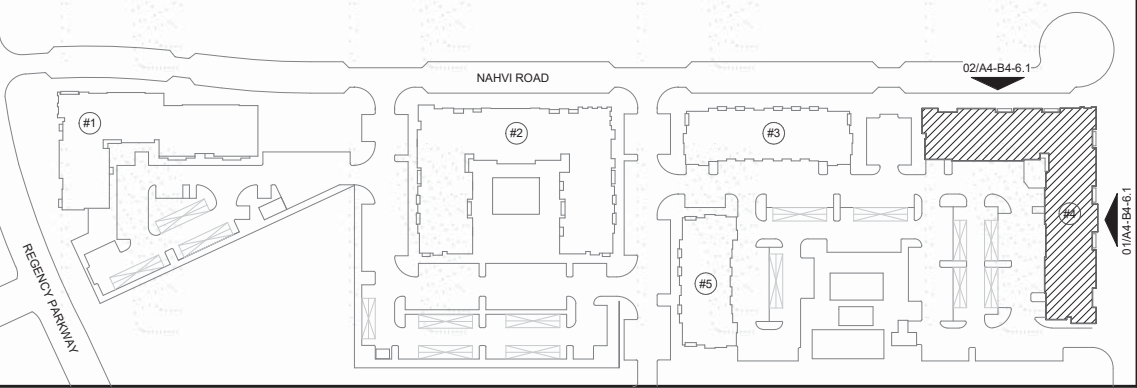
ALUMINIUM PARAPET COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



02 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	98.0%
BRICK - FIELD 01	61.6%
BRICK - FIELD 02	18.1%
BRICK - FIELD 03	18.3%
CEMENTITIOUS PANEL	2.0%
GLASS/WINDOW/DOOR	24.4%



01 EAST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	87.7%
BRICK - FIELD 01	63.5%
BRICK - FIELD 02	18.1%
BRICK - FIELD 03	6.1%
CEMENTITIOUS PANEL	12.3%
GLASS/WINDOW/DOOR	26.6%



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14881 QUORUM DR#550
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(sr. proj manager)
EMAIL - juan@hlrinc.net

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	68.88%
BRICK - FIELD 01	47.11%
BRICK - FIELD 02	17.71%
BRICK - FIELD 03	4.06%
CEMENTITIOUS PANEL SIDING	16.13%
GLASS/WINDOW/DOOR	21.94%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER - FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER - FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER - FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND - FIELD COLOR 01
- 06.2

BRICK MASONRY BAND - FIELD COLOR 02
- 06.3

BRICK MASONRY BAND - FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING SYSTEM
- 11

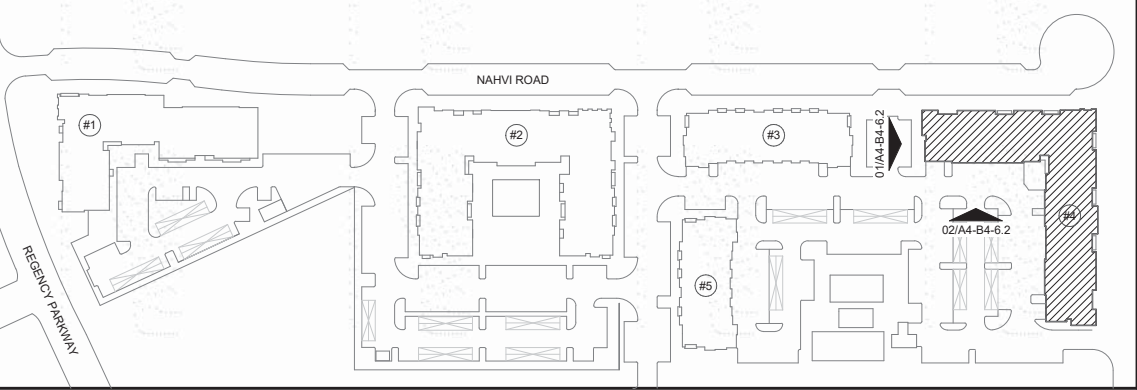
ALUMINIUM PARAPET COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



2 SOUTH ELEVATION-1
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	32.33%
BRICK - FIELD 01	26.40%
BRICK - FIELD 02	5.93%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL SIDING	20.79%
GLASS/WINDOW/DOOR	46.88%



1 WEST ELEVATION-1
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	82.94%
BRICK - FIELD 01	53.12%
BRICK - FIELD 02	29.82%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL SIDING	17.06%
GLASS/WINDOW/DOOR	14.52%



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Revisions

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Project Title:
NAHVI ROAD
EXHIBIT C
MANSFIELD, TX.

Project ID: #20410
Sheet No.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	68.88%
BRICK - FIELD 01	47.11%
BRICK - FIELD 02	17.71%
BRICK - FIELD 03	4.06%
CEMENTITIOUS PANEL	14.97%
SIDING	16.13%
GLASS/WINDOW/DOOR	21.94%

MATERIAL LEGEND

01.1

BRICK MASONRY VENEER - FIELD COLOR 01

01.2

BRICK MASONRY VENEER - FIELD COLOR 02

01.3

BRICK MASONRY VENEER - FIELD COLOR 03

02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01

02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02

02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03

03

PATIO DOOR UNIT

04

PREFINISHED VINYL WINDOW SYSTEM

05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01

05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02

05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03

06.1

BRICK MASONRY BAND - FIELD COLOR 01

06.2

BRICK MASONRY BAND - FIELD COLOR 02

06.3

BRICK MASONRY BAND - FIELD COLOR 03

07

SPECIALTY WINDOW

08

CAST STONE

09

METAL RAILING SYSTEM

10

ASPHALT SHINGLE ROOFING SYSTEM

11

ALUMINIUM PARAPET COPING CAP

12

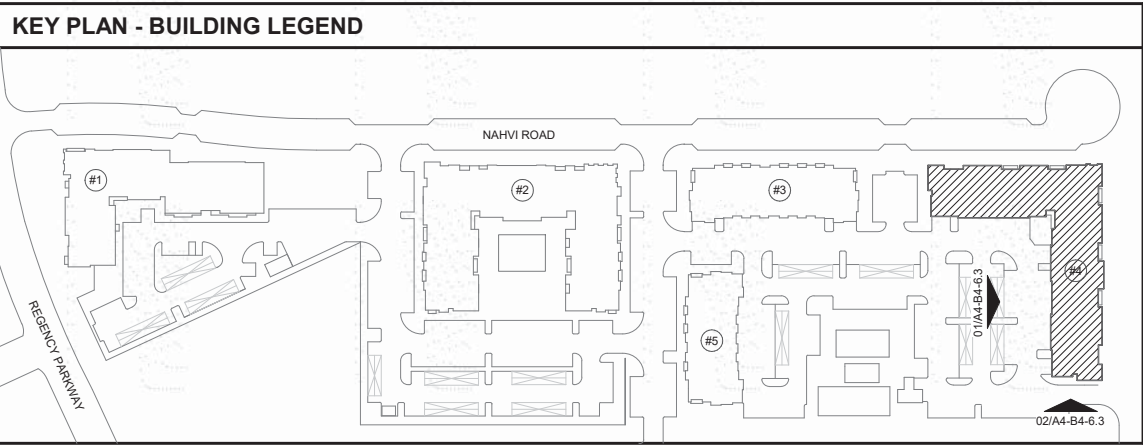
METAL CANOPY

13

DOWNSPOUT

14

RESIDENTIAL STEEL DOOR



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	82.94%
BRICK - FIELD 01	53.12%
BRICK - FIELD 02	29.82%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	17.06%
SIDING	0%
GLASS/WINDOW/DOOR	14.52%



01 WEST ELEVATION -2
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	29.42%
BRICK - FIELD 01	24.93%
BRICK - FIELD 02	4.49%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	20.64%
SIDING	49.94%
GLASS/WINDOW/DOOR	26.09%

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Project Title:
NAHVI ROAD
EXHIBIT C
MANSFIELD, TX.

Project ID: #20410
Sheet No.

MATERIAL LEGEND

01.1

BRICK MASONRY VENEER - FIELD COLOR 01

01.2

BRICK MASONRY VENEER - FIELD COLOR 02

01.3

BRICK MASONRY VENEER - FIELD COLOR 03

02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01

02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02

02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03

03

PATIO DOOR UNIT

04

PREFINISHED VINYL WINDOW SYSTEM

05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01

05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02

05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03

06.1

BRICK MASONRY BAND - FIELD COLOR 01

06.2

BRICK MASONRY BAND - FIELD COLOR 02

06.3

BRICK MASONRY BAND - FIELD COLOR 03

07

SPECIALTY WINDOW

08

CAST STONE

09

METAL RAILING SYSTEM

10

ASPHALT SHINGLE ROOFING SYSTEM

11

ALUMINIUM PARAPET COPING CAP

12

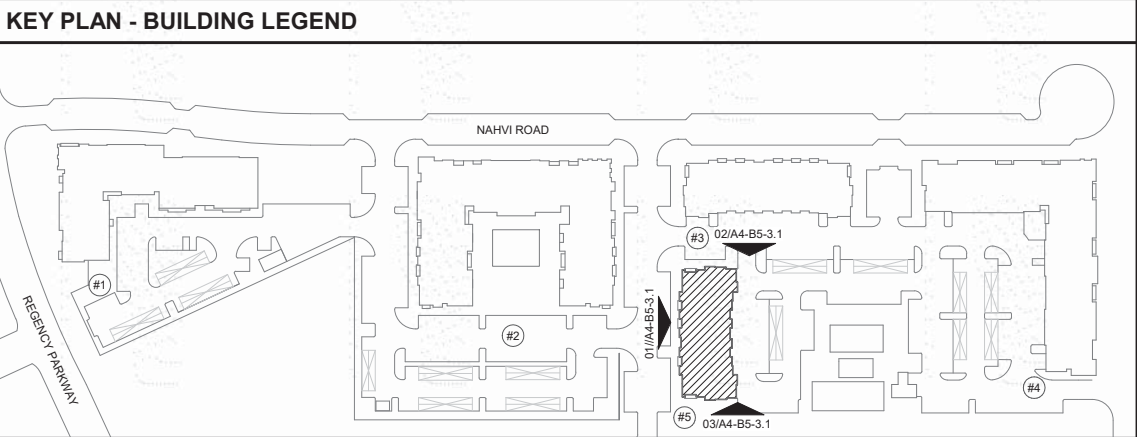
METAL CANOPY

13

DOWNSPOUT

14

RESIDENTIAL STEEL DOOR



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	64.7%
BRICK - FIELD 01	50.6%
BRICK - FIELD 02	14.1%
CEMENTITIOUS PANEL	16.5%
SIDING	18.8%
GLASS/WINDOW/DOOR	21.9%



03 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.5%
BRICK - FIELD 01	55.1%
BRICK - FIELD 02	10.4%
CEMENTITIOUS PANEL	8.3%
SIDING	26.2%
GLASS/WINDOW/DOOR	22.5%



02 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	84.8%
BRICK - FIELD 01	55.0%
BRICK - FIELD 02	29.8%
CEMENTITIOUS PANEL	8.3%
SIDING	6.9%
GLASS/WINDOW/DOOR	22.5%

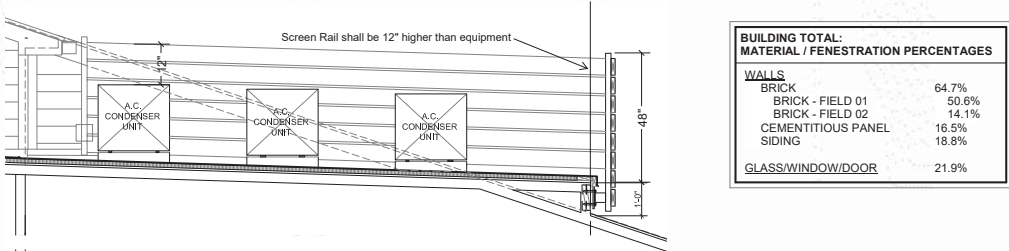
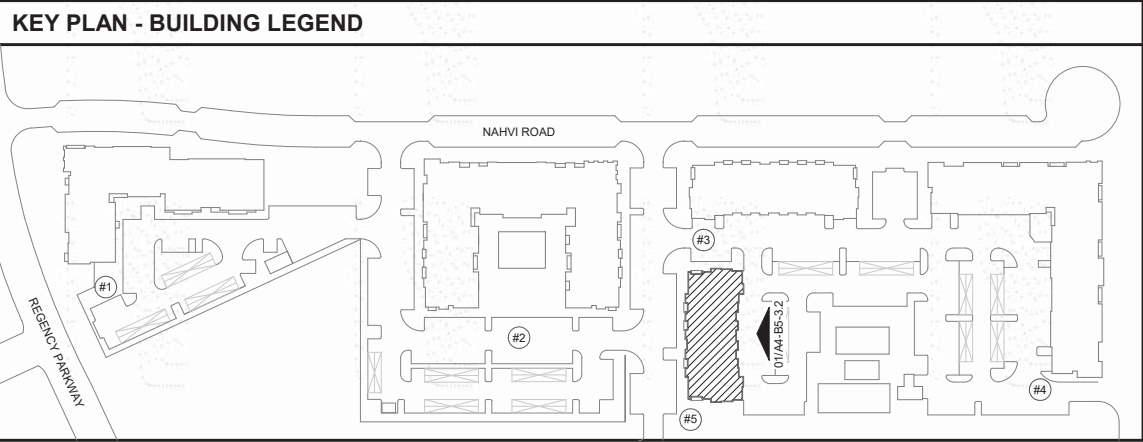


01 WEST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	75.2%
BRICK - FIELD 01	63.1%
BRICK - FIELD 02	12.1%
CEMENTITIOUS PANEL	28.4%
SIDING	0.0%
GLASS/WINDOW/DOOR	24.2%

CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net

MATERIAL LEGEND					
01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM	07	SPECIALTY WINDOW
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01	08	CAST STONE
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02	09	METAL RAILING SYSTEM
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03	10	ASPHALT SHINGLE ROOFING SYSTEM
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01	11	ALUMINIUM PARAPET COPING CAP
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02	12	METAL CANOPY
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03	13	DOWNSPOUT
				14	RESIDENTIAL STEEL DOOR



02 CONDENSER DITCH OUT SECTION PROFILE
Scale: NTS

Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	64.7%
BRICK - FIELD 01	50.6%
BRICK - FIELD 02	14.1%
CEMENTITIOUS PANEL	16.5%
SIDING	18.8%
GLASS/WINDOW/DOOR	21.9%



01 EAST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	36.8%
BRICK - FIELD 01	29.2%
BRICK - FIELD 02	7.6%
CEMENTITIOUS PANEL	21.1%
SIDING	42.1%
GLASS/WINDOW/DOOR	18.7%

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Revisions

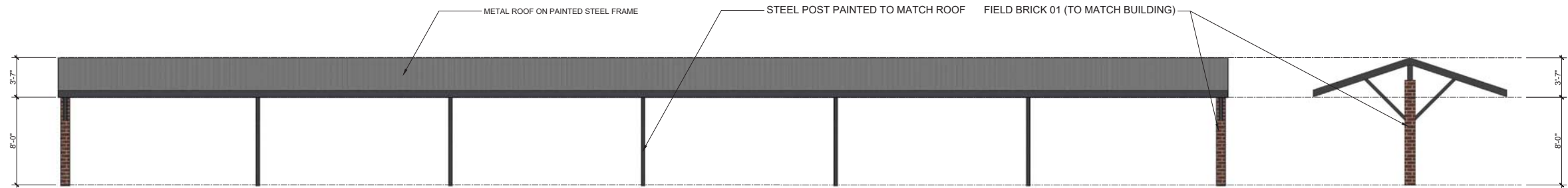
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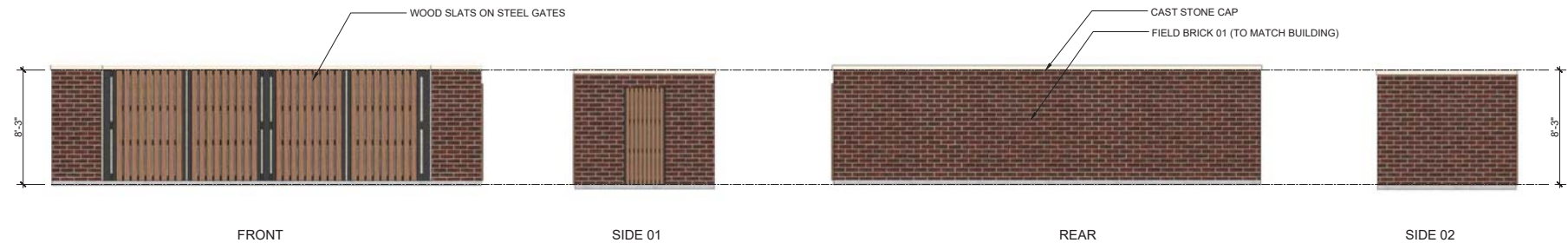
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Project ID: #20410

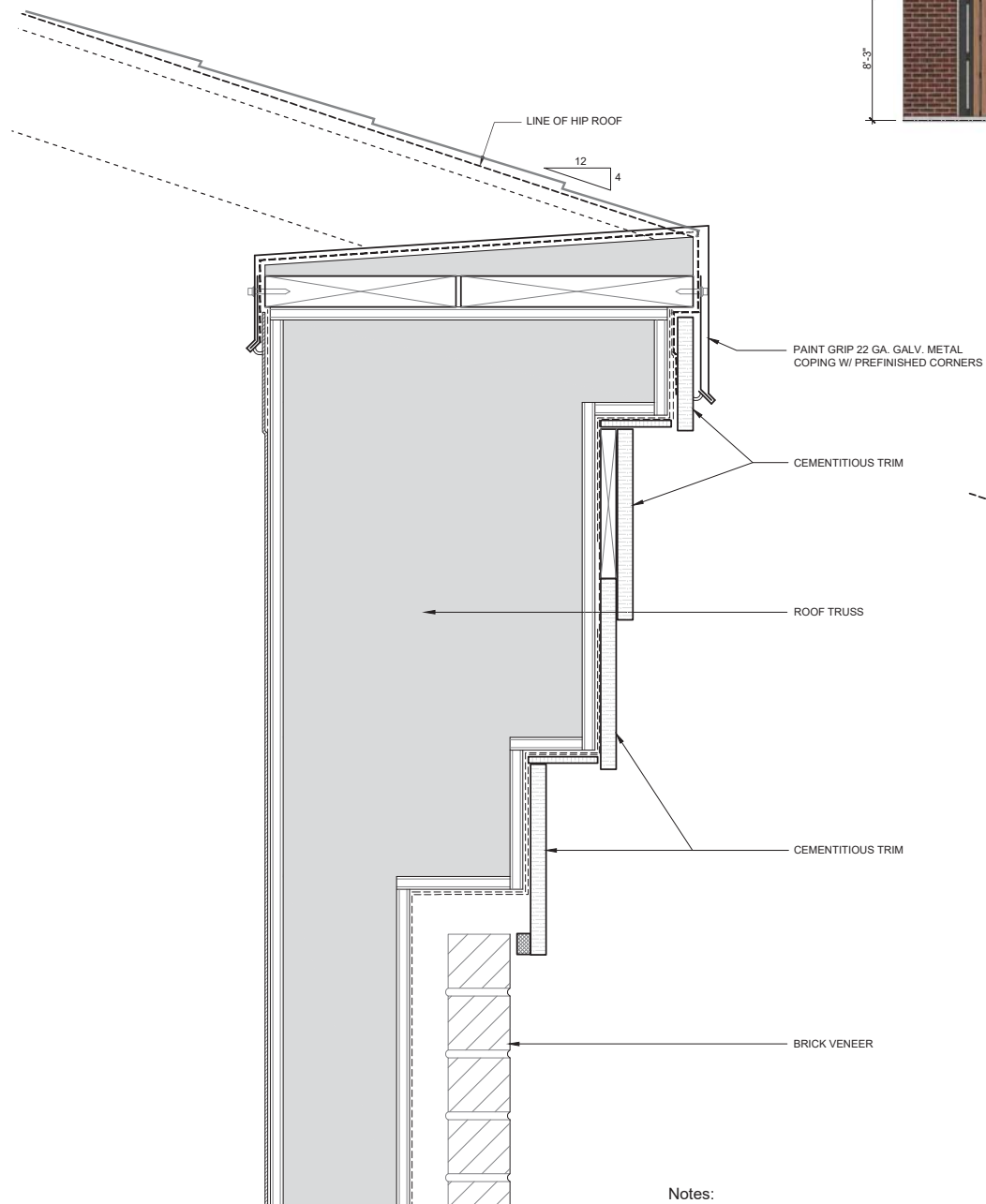
Sheet No.



05 CARPORT ELEVATIONS
SCALE: 3/16" = 1'-0"

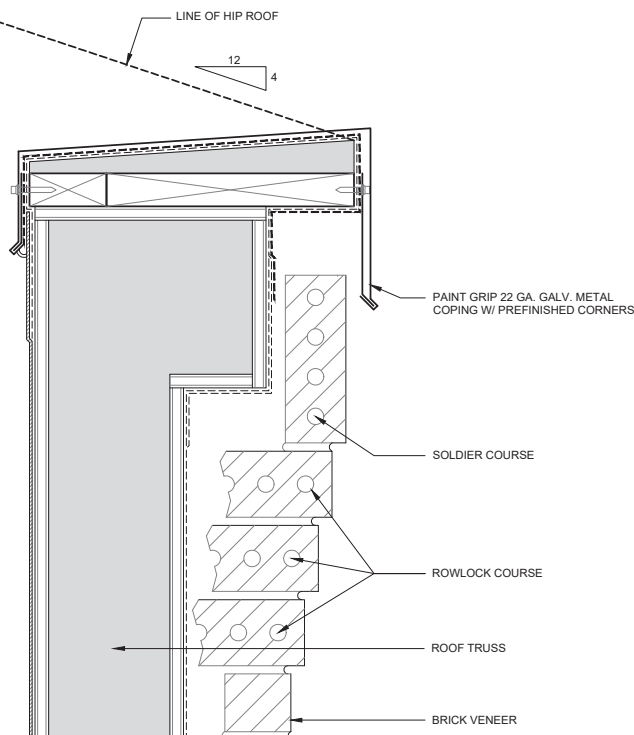


04 TRASH ENCLOSURE ELEVATIONS
SCALE: 3/16" = 1'-0"

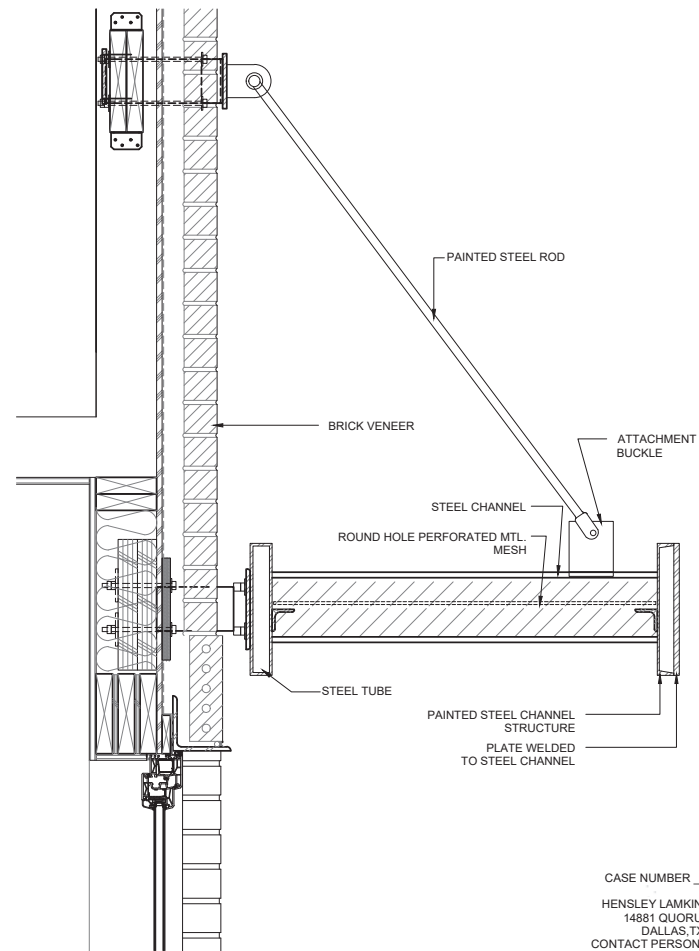


03 ARTICULATED PARAPET DETAIL
SCALE: 3" = 1'-0"

Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



02 ARTICULATED PARAPET DETAIL
SCALE: 3" = 1'-0"



01 TYP. ROOF AWNING DETAIL
SCALE: 1 1/2" = 1'-0"

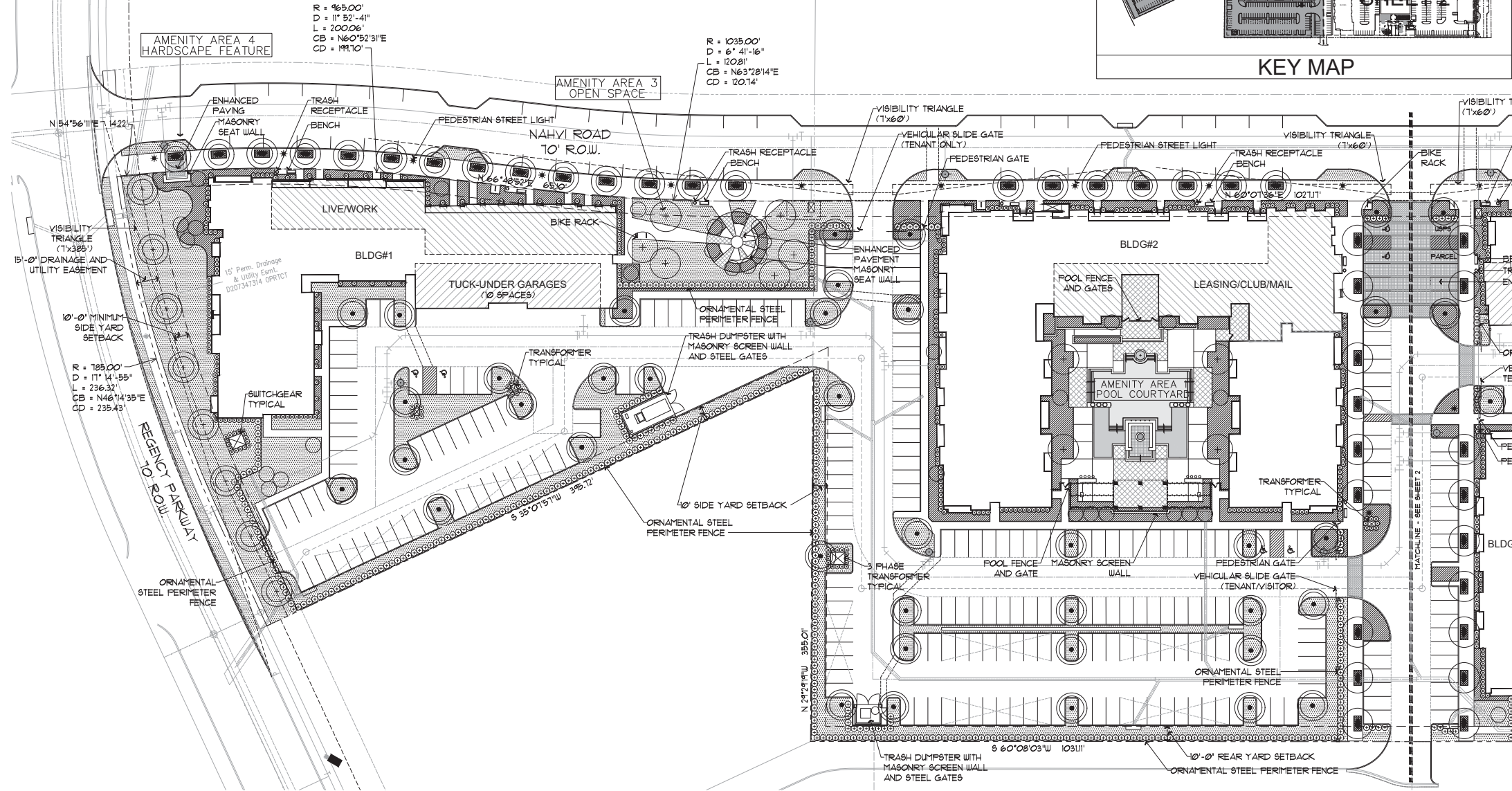
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14881 QUORUM DR#550
DALLAS, TX-75254
CONTACT PERSON - JUAN TORRES
(sr.proj manager)
EMAIL - juan@hlrinc.net



CONCEPT RENDER - BLDG 1 - INTERSECTION OF ROBERT ROAD AND RECENCY PARKWAY



CONCEPT RENDER - BLDG 2 - LEASING ALONG NAHVI RD



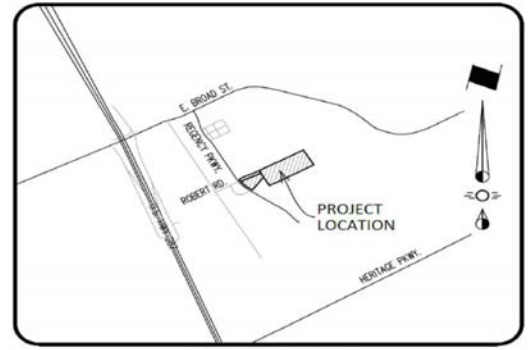
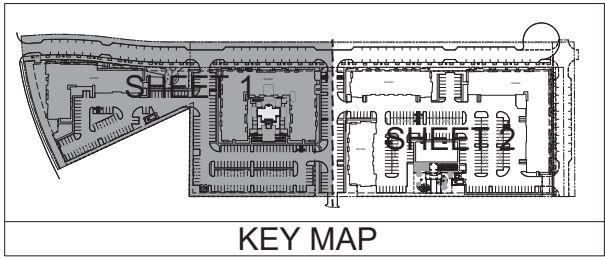
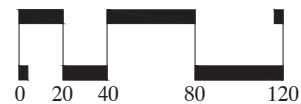
MATERIAL NOTES:

1. GATE AND FENCE LOCATIONS ARE SCHEMATIC AND SUBJECT TO CHANGE.
2. AMENITY AREA 1 - POOL COURTYARD (APPROX. 10500 SF)
 - CLUB AND FITNESS SPACES INTEGRATE WITH COURTYARD
 - COVERED OPEN-AIR LOUNGE SPACE
 - RESORT STYLE POOL WITH SUN SHELF AND WATER FEATURES
 - LOUNGE CHAIRS AND OUTDOOR FURNITURE
 - GRILLING STATION WITH BAR COUNTER
 - ENHANCED PAVEMENT POOL DECK
 - SYNTHETIC TURF LAWN AREAS
3. AMENITY AREA 2 - DOG PARK/RESIDENT ACTIVITY ZONE (APPROX. 13200 SF)
 - FENCED DOG PARK WITH PET STATIONS
 - LAWN AREA FOR RESIDENT STRUCTURED RECREATIONAL ACTIVITY
 - SHARED COVERED PAVILION BETWEEN THE TWO ADJACENT SPACES
 - OUTDOOR FURNITURE AND BENCH SEATING
 - FESTIVE STRING LIGHTING
 - SHADE TREES AND ENHANCED PLANTING
4. AMENITY AREA 3 - OPEN SPACE (APPROX. 4500 SF)
 - PASSIVE ZONE ADJACENT TO STREET FRONTAGE AND ACCESSIBLE TO THE PUBLIC
 - INTIMATE HARD SURFACE SITTING AREA
 - BENCH SEATING AND MASONRY SEAT WALL
 - SHADE TREES AND ENHANCED PLANTING
 - PEDESTRIAN SCALED LIGHT FIXTURES
 - ENHANCED PAVEMENT
5. AMENITY AREA 4 - HARDSCAPE FEATURE
 - MASONRY SEAT WALL WITH MEMORIAL PLAQUE
 - ENHANCED PAVEMENT
 - ENHANCED PLANTING
6. DETAILS SPECIFIC TO EACH AMENITY AREA TO BE PROVIDED WITH CONSTRUCTION PLANS.

GENERAL NOTES:

1. LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIAL THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
2. IRRIGATION: ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM THAT MAY INCLUDE A DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED, INSTALLED, MAINTAINED, ALTERED, REPAIRED, SERVICED AND OPERATED IN A MANNER THAT WILL PROMOTE WATER CONSERVATION.
3. FIRE APPARATUS CLEARANCE: FIRE DEPARTMENT RISER ROOM ACCESS SHALL REMAIN CLEAR OF SHRUBS OR OTHER LANDSCAPE MATERIAL THAT MAY CAUSE OBSTRUCTION. THREE (3) FOOT CLEARANCE SHALL BE MAINTAINED AROUND FIRE DEPARTMENT CONNECTIONS AND FIRE HYDRANT TYPICAL.
4. VISIBILITY TRIANGLE: NO TREES, SIGNS OR ANYTHING OVER TWO (2) FEET IN HEIGHT IS ALLOWED WITHIN THESE TRIANGLES.

scale: 1" = 40'-0"



CONCEPT PLANT SCHEDULE

MAY INCLUDE BUT NOT LIMITED TO

+	STREET TREE (5' CALIFER MINIMUM/3.5' CALIFER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54
•	PARKING LOT TREE (3.5' CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11
+	ADDITIONAL CANOPY TREE (3' CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	40
○	SMALL TREE (2' CALIFER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angust-castus / Chase Tree	42
●●●	DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Elaeagnus ebbengelii / Elaeagnus Ilex x attenuata 'Foster' / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica pusilla / Dwarf Wax Myrtle	600
●●●	SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Hesperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Juniperus sabinna 'Tanaisifolia' / Tan Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spiraea sp. / Dwarf Spiraea	133
—	PERENNIAL (1 GALLON MINIMUM)	384
■	PLANTING AREA	17,140 sf
■	TURF (SOLID 600)	59,590 sf
■	EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	2,309 sf

SUP #21-001
LANDSCAPE PLAN - EXHIBIT D

JLB MANSFIELD

BLOCK A LOT 1

IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS

E. McANIER SURVEY, ABST. NO. 1005
560,584 Sq. Ft. (Gross) / 12.869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

LANDSCAPE ARCHITECT
ENVIRO DESIGN
1424 GREENVILLE AVENUE, SUITE 200
DALLAS, TX 75231
PHONE: (214) 981-3010
CONTACT: STEVEN REDDY
SREDDY@ENVIRODESIGN-DALLAS.COM

OWNER / APPLICANT
JLB REALTY, LLC
3890 W. NORTHWEST HIGHWAY, 1TH FLOOR
DALLAS, TEXAS 75220
CONTACT: BRITTON CHURCH
BCHURCH@JLBPARTNERS.COM
PHONE: (214) 271-8480

ENVIRO DESIGN
LANDSCAPE ARCHITECTURE
SITE PLANNING



7424 Greenville Ave. Suite 200 Dallas, TX 75231 (214) 987-5010

RICHARD B. ARTING
FOR PRELIMINARY REVIEW ONLY.
NOT FOR PERMITTING OR CONSTRUCTION

REVISIONS
03-04-2021
03-18-2021
03-26-2021

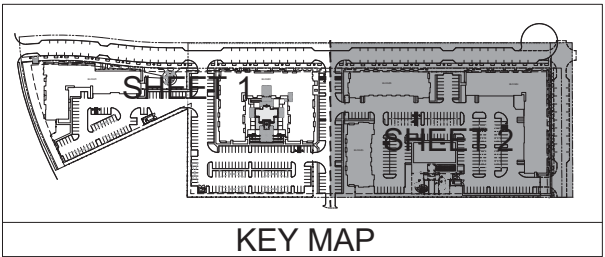
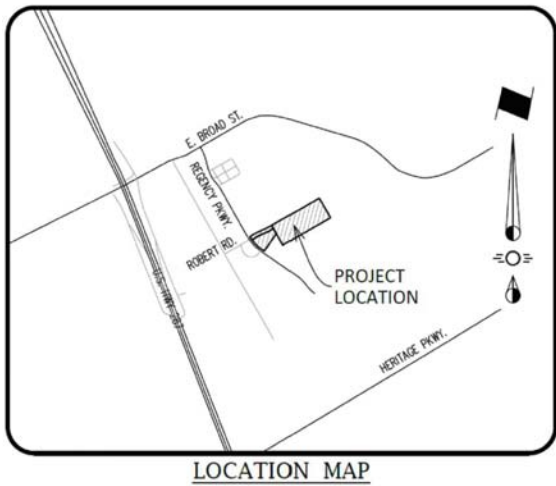
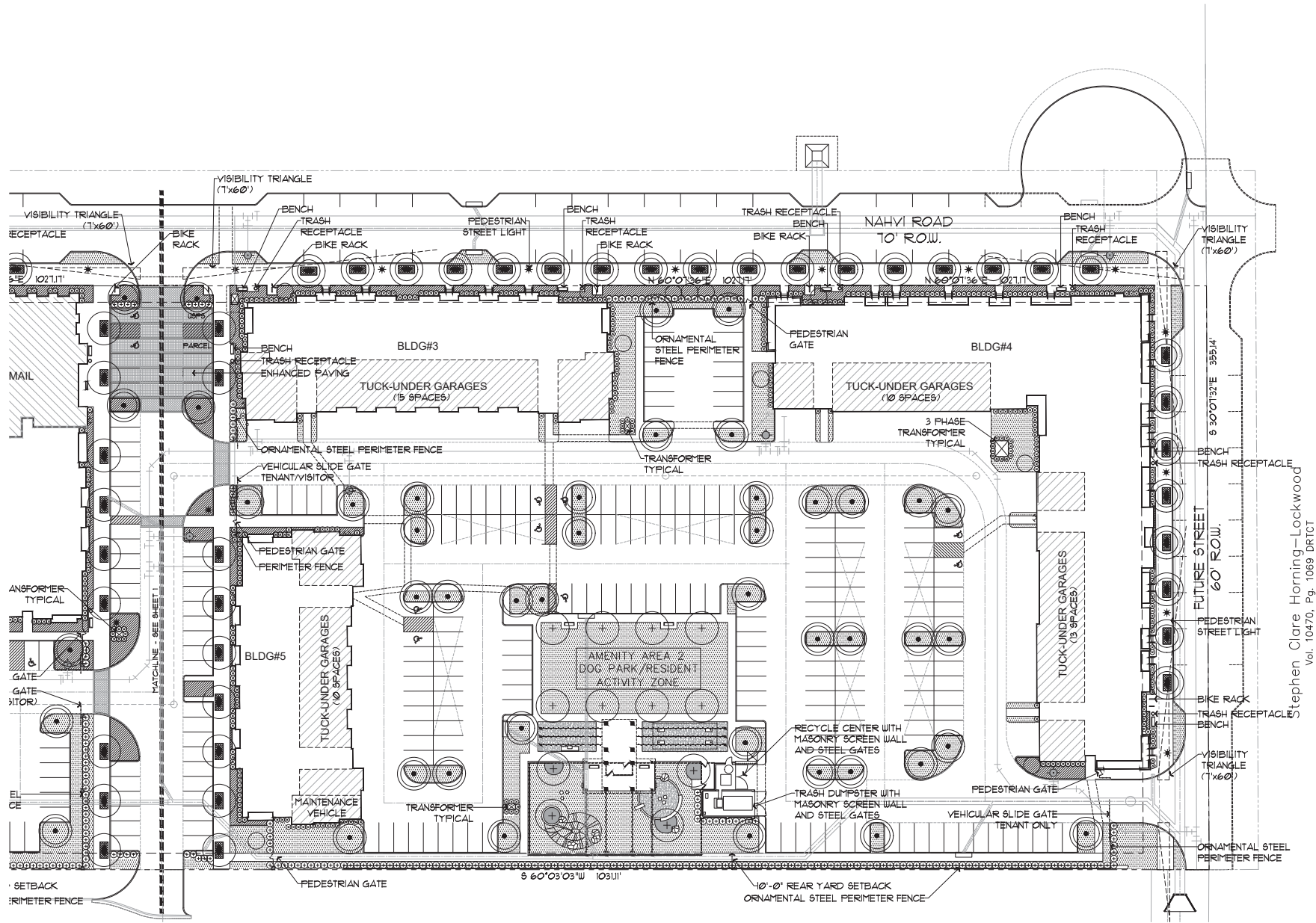
JLB MANSFIELD
JLB PARTNERS, LLC
MANSFIELD, TEXAS

SCALE
1" = 40'-0"

DATE
02-01-2021

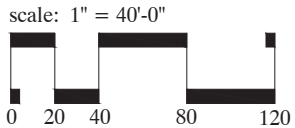
TITLE
LANDSCAPE PLAN

SHEET
EXHIBIT D
1 OF 4



CONCEPT PLANT SCHEDULE		MAY INCLUDE BUT NOT LIMITED TO
(+)	STREET TREE (5' CALIPER MINIMUM/3.5' CALIPER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54
(•)	PARKING LOT TREE (3.5' CALIPER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11
(+)	ADDITIONAL CANOPY TREE (3' CALIPER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	40
(○)	SMALL TREE (2' CALIPER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleria paniculata / Golden Rain Tree Lagerstroemia indica / Grape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angust-castus / Chase Tree	42
(●●●)	DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Elaeagnus elaeagnifolia / Elaeagnus Ilex x attenuata Foster / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' / Seagreen Juniper Myrica pusilla / Dwarf Wax Myrtle	600
(●●●)	SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Hesperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Juniperus sabinia 'Tamariscifolia' / Tam Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spirea sp. / Dwarf Spiraea	133
(—)	PERENNIAL (1 GALLON MINIMUM)	384
(■)	PLANTING AREA	17,140 sf
(■)	TURF (SOLID SOD)	59,590 sf
(■)	EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	2,309 sf

NOTE: REFERENCE EXHIBIT D SHEET 1 FOR GENERAL NOTES AND MATERIAL NOTES.



SUP #21-001
LANDSCAPE PLAN - EXHIBIT D
JLB MANSFIELD
BLOCK A LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS
E. McANIER SURVEY, ABST. NO. 1005
560,584 Sq. Ft. (Gross) / 12.869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict
LANDSCAPE ARCHITECT
ENVIRO DESIGN
JLB REALTY, LLC
1424 GREENVILLE AVENUE, SUITE 200 DALLAS, TX 75231
PHONE: (214) 987-3010
CONTACT: STEVEN REDDY
SREDDY@ENVIRODESIGN-DALLAS.COM
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CONTACT: BRITTON CHURCH
BCHURCH@JLBPARTNERS.COM
PHONE: (214) 271-8480

SUMMARY CHART - SITE DATA	
CURRENT ZONING CLASSIFICATION	PD 1558 (THE RESERVE PLANNED DEVELOPMENT WORKPLACE SUB-DISTRICT)
TOTAL SITE AREA:	12.869 ACRES (GROSS) / 560,584 SF (GROSS) 102.02 ACRES (NET) / 444,399 SF (NET)
PROPOSED USE:	MULTI-FAMILY APARTMENT
NO. UNITS/ NO. BEDROOMS (REFER TO ARCHITECTURALS)	356 UNITS/ 401 BEDROOMS
NO. PARKING SPACES REQUIRED (REFER TO ARCHITECTURALS)	1 PER BEDROOM + 401

LANDSCAPE REQUIREMENTS		
LANDSCAPE IMPROVEMENTS FOR THE PROPERTY SHALL CONFORM TO APPLICABLE SECTION (INCLUDED BELOW) OF 'THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARD-WORKPLACE SUBDISTRICT' AS ADOPTED BY THE CITY OF MANSFIELD.		
SECTION 8 - PARKING AREAS		
8.4 SURFACE PARKING LANDSCAPING - PARKING LOTS THAT CONTAIN TEN (10) OR MORE PARKING SPACES SHALL PROVIDE LANDSCAPING AND SCREENING IN ACCORDANCE WITH SECTION 1300, LANDSCAPING AND SCREENING REQUIREMENTS OF THE MANSFIELD ZONING ORDINANCE.		PROVIDED
8.6 SURFACE PARKING PERIMETER SCREENING - ALL SURFACE PARKING LOTS SHALL BE SCREENED FROM STREET VIEW SUCH SCREENING SHALL TAKE THE FORM OF THREE (3) FOOT PLANTING OF DENSE EVERGREEN HEDGE AT THE TIME OF INSTALLATION MEASURED ABOVE THE GRADE OF THE PARKING LOT.		PROVIDED
SECTION 10 - SERVICE AND EQUIPMENT AREAS		
10.2 SERVICE AREA SCREENING - WHEN SERVICE AREAS ARE NOT ABLE TO BE PLACED WITHIN THE BUILDING ENVELOPE, THEY SHALL BE SCREENED BY MASONRY WALLS SIX (6) FEET IN HEIGHT WITH ADJACENT PLANTINGS OF DENSE EVERGREEN MATERIAL THREE (3) FEET IN HEIGHT AT INSTALLATION. TRANSFORMERS, SWITCHGEAR, AIR CONDITIONERS, AND OTHER GROUND MOUNTED EQUIPMENT OR UTILITY FUNCTIONS MUST BE SCREENED FROM VIEW WITH EVERGREEN PLANTINGS SIX (6) FEET IN HEIGHT AT INSTALLATION.		PROVIDED
SECTION 13 - STREETSCAPE AND OPEN SPACE		
13.1 FRONT YARDS - SIDEWALKS AND LANDSCAPING SHALL BE PROVIDED BETWEEN THE STREET AND BUILDING FACADE TO OFFER AN INVITING WALKING EXPERIENCE. PLANT MATERIALS SHOULD CONSIST OF SHADE TREES, ORNAMENTAL TREES, SHRUBS, EVERGREEN GROUNDCOVERS, VINES, AND SEASONAL COLOR, AND MAY BE OMITTED AT BUILDING ENTRIES, SEATING AREAS, AND ADJACENT TO COMMERCIAL USES.		PROVIDED
13.2 STREETSCAPES - STREET TREES SHALL BE PLANTED AT AN AVERAGE OF THIRTY (30) FEET ON CENTER ACROSS EACH BLOCK FACE AND THREE AND A HALF (3.5) FEET FROM THE BACK OF CURB. TREES TO HAVE A MINIMUM CALIPER OF FIVE (5) INCHES AT INSTALLATION, AND SHALL NOT BE CLOSER THAN TEN (10) FEET FROM A STREET LIGHT OR FIRE HYDRANT.		PROVIDED
13.5 STREET TREES ALONG REGENCY PARKWAY - STREET TREES SHALL BE PLANTED AT AN AVERAGE FORTY (40) FEET ON CENTER. TREES SHALL HAVE A MINIMUM CALIPER OF THREE AND A HALF (3.5) INCHES AT INSTALLATION.		PROVIDED
13.6 TREE PLANTERS - STREET TREES TO BE CENTERED WITHIN FIVE (5) FOOT BY TEN (10) FOOT PLANTERS AS LEAVE-OUTS WITHIN THE SIDEWALK AND SURROUNDED WITH EITHER A TWELVE (12) INCH HIGH ORNAMENTAL STEEL FENCE OR BRICK TURN-UP EDGE. THESE PLANTERS WILL ALSO CONSIST OF EVERGREEN GROUNDCOVER AND PERENNIAL PLANTINGS FOR AESTHETIC INTEREST. THE STREET-FACING EDGE OF ALL PLANTERS SHALL BE PLACED ONE AND A HALF (1.5) FEET FROM THE FACE OF THE CURB.		PROVIDED
13.8 OPEN SPACE - THE PROVISIONS OF ADEQUATE AND APPROPRIATE OPEN SPACE AREAS ADD VALUE TO DEVELOPMENT AND ARE ENCOURAGED IN ALL DEVELOPMENT IN THE SUB-DISTRICT. THE OPEN SPACE PROVIDED SHOULD BE APPROPRIATELY DESIGNATED AND SCALED. OPEN SPACES MAY BE IN THE FORM OF POCKET PARKS, PLAZAS, SQUARES, LINEAR PARKS, ENVIRONMENTAL PRESERVES, PRIVATE OPEN SPACES, SIDEWALKS, ACTIVE SPORTS FIELDS, STRUCTURED RECREATIONAL ACTIVITY AREAS, ETC.		PROVIDED
13.9 STREET BENCHES - STREET BENCHES SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT ALONG REGENCY PARKWAY. STREET BENCHES SHALL BE PLACED FACING THE SIDEWALK AND CURB, AND PARALLEL TO THE BUILDINGS.		PROVIDED
13.10 STREET LIGHTS - STREET LIGHTS SHALL BE PROVIDED FOUR (4) FEET FROM FACE OF CURB AT AVERAGE INTERVALS OF NINETY (90) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY. LIGHT FIXTURE SHALL BE MOUNTED TEN (10) TO TWELVE (12) FEET FROM FINISH GRADE AND SHALL BE METAL HALIDE TYPE.		PROVIDED
13.11 BICYCLE RACKS - BICYCLE RACKS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.		PROVIDED
13.12 LITTER CONTAINERS - LITTER CONTAINERS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.		PROVIDED
SECTION 1300 - LANDSCAPING AND SCREENING REQUIREMENTS		
Q. PARKING LOT PERIMETER LANDSCAPING: (1) IN THE MF-1, MF-2, OF, C-1, C-2, C-3, I-1, AND I-2 ZONING DISTRICTS AND ALL NONRESIDENTIAL DEVELOPMENT SUCH AS CHURCHES, SCHOOLS, AND PUBLIC FACILITIES IN ANY ZONING DISTRICT, ALL PARKING LOT, VEHICULAR USE AND MANEUVERING AREAS THAT ARE NOT SCREENED BY ON-SITE BUILDINGS SHALL BE SCREENED FROM VIEW OF PUBLIC STREETS IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:		PROVIDED
(a) THE SCREENING SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET AT MATURITY (IN THE CASE OF PLANTS) ABOVE THE GRADE OF THE PARKING LOT, VEHICLE USE AND/OR MANEUVERING AREAS.		PROVIDED
(b) THE SCREENING SHALL CONSIST OF ONE OF A COMBINATION OF THE FOLLOWING: 1) SCREENING SHRUBS, AND/OR 2) SODDED BERMS		SHRUBS
(c) THE SCREENING MAY OCCUR WITHIN THE STREET LANDSCAPE SETBACK.		N/A
(d) WHEEL STOPS SHALL BE PROVIDED FOR PARKING SPACES ADJACENT TO THE SCREENING TO PROHIBIT ANY VEHICLE FROM OVERHANGING THE PLANTING AREA.		N/A
R. PARKING LOT INTERNAL LANDSCAPING: ANY PARKING LOT THAT CONTAINS TEN (10) OR MORE PARKING SPACES SHALL PROVIDE INTERNAL LANDSCAPING EXCEPT AS PRESCRIBED HEREIN BELOW.		
(1) A RATIO OF ONE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE PROVIDED THROUGHOUT ANY SURFACE PARKING LOT.		PROVIDED (510 SURFACE/ 10=51)
(2) PLANTING AREAS FOR THE TREES WITHIN THE PARKING ROWS OF A SURFACE PARKING LOT SHALL BE ACHIEVED BY ONE OR BOTH OF THE FOLLOWING:		
(a) A CONTIGUOUS LANDSCAPE MEDIAN STRIP, AT LEAST SIX (6) FEET WIDE (BACK-OF-CURB TO BACK-OF-CURB) BETWEEN ROWS OF PARKING SPACES. TREES SHALL BE PLACED AT INTERVALS NO GREATER THAN FORTY (40) FEET APART OF FRACTION THEREOF.		N/A
(b) LANDSCAPE ISLANDS, AT LEAST THE MINIMUM SIZE OF A REGULAR PARKING SPACE OF NINE BY EIGHTEEN FEET (9' x 18') OR ONE HUNDRED SIXTY-TWO (162) SQUARE FEET, NO MORE THAN FIFTEEN (15) CONTIGUOUS SPACES SHALL BE LOCATED TOGETHER WITHOUT A TREE-ISLAND.		PROVIDED
(3) PARKING LOTS THAT ARE DESIGNED WITH PLANTED OR RAISED LANDSCAPE ISLANDS SHALL DESIGN THE ISLANDS SO AS NOT TO INTERFERE WITH THE OPENING OF CAR DOORS IN ADJACENT SPACES.		PROVIDED
(4) EVERY REQUIRED LANDSCAPE ISLAND MUST INCLUDE ONE (1) CANOPY TREE.		PROVIDED * (NORTH/SOUTH DRIVE TO INCORPORATE TREES IN TREE WELLS IN SIDEWALK IN LEIU OF TREES IN PARKING ISLANDS AS APPROVED BY CITY STAFF)
S. PARKING END CAPS: ONE (1) LANDSCAPE ISLAND SHALL BE LOCATED AT THE TERMINUS OF EACH ROW OF PARKING AND SHALL CONTAIN ONE (1) TREE. ROWS WITH HEAD-TO-HEAD PARKING ARRANGEMENT SHALL HAVE TWO (2) ISLANDS AND TWO (2) TREES.		PROVIDED

SUMMARY CHART - BUFFER YARDS/ SETBACKS						
LOCATION OF BUFFER/ YARD OR SETBACK	REQUIRED/ PROVIDED	LENGTH	BUFFER YARD OR SETBACK WIDTH/ TYPE	CANOPY TREES	ORNAMENTAL TREES	SCREENING WALL/ DEVICE HEIGHT AND MATERIAL
NORTH (NAHV ROAD)	REQUIRED (1 TREE/ 30 LF)	1404.26'	LOCAL STREET 10' ROW	41	N/A	N/A
	PROVIDED	1404.26'	LOCAL STREET 10' ROW	#38	N/A	N/A
EAST (FUTURE STREET)	REQUIRED (1 TREE/ 30 LF)	329.14'	LOCAL STREET 60' ROW	11	N/A	N/A
	PROVIDED	329.14'	LOCAL STREET 60' ROW	#8	N/A	N/A
SOUTH	REQUIRED	103.11'	10' REAR YARD SETBACK	N/A	N/A	N/A
	PROVIDED	103.11'	10' REAR YARD SETBACK	N/A	N/A	N/A
WEST (INSET)	REQUIRED	355.01'	10' SIDE YARD SETBACK	N/A	N/A	N/A
	PROVIDED	355.01'	10' SIDE YARD SETBACK	N/A	N/A	N/A
SOUTH (INSET)	REQUIRED	395.12'	10' SIDE YARD SETBACK	N/A	N/A	N/A
	PROVIDED	395.12'	10' SIDE YARD SETBACK	N/A	N/A	N/A
WEST (REGENCY PARKWAY)	REQUIRED (1 TREE/40 LF)	312.45'	10' MIN. SIDE YARD SETBACK	8	N/A	N/A
	PROVIDED	312.45'	10' MIN. SIDE YARD SETBACK	8	N/A	N/A
NOTE ANY CREDITS USED IN CALCULATIONS: N/A						
OTHER COMMENTS: N/A						
#5 TREE TREE QUANTITY REDUCED BY CITY STAFF TO ACCOMMODATE VISIBILITY TRIANGLE						

SUMMARY CHART - INTERIOR LANDSCAPE						
	LANDSCAPE AREA (SF)	% OF LANDSCAPE AREA	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	GROUNDCOVER (SF)
REQUIRED	44,440 SF	10%	N/A	N/A	N/A	N/A
PROVIDED	44,440 SF	10%	N/A	N/A	N/A	N/A
NOTE ANY CREDITS USED IN CALCULATIONS: N/A						
OTHER COMMENTS: N/A						

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING	
NUMBER OF REQUIRED PARKING SPACES	401
NUMBER OF PROVIDED PARKING SPACES (INCLUDES TANDEM PARKING/EXCLUDES ON-STREET PARKING)	510
NUMBER OF TREES REQUIRED (1 TREE/ 10 SPACES)	51
NUMBER OF TREES PROVIDED	11
NOTE ANY CREDITS USED IN CALCULATIONS: N/A	
OTHER COMMENTS: N/A	

CONCEPT PLANT SCHEDULE MAY INCLUDE BUT NOT LIMITED TO

	STREET TREE (5" CALIPER MINIMUM/3.5" CALIPER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54		DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Eleagnus ebbenglii / Eleagnus Ilex x attenuata 'Foster' / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x Nellie R. Stevens / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica paullia / Dwarf Wax Myrtle	600
	PARKING LOT TREE (3.5" CALIPER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11		SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Hesperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Juniperus sabinia 'Tamariscifolia' / Tam Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spirea sp. / Dwarf Spiraea	133
	ADDITIONAL CANOPY TREE (3" CALIPER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	40		PERENNIAL (1 GALLON MINIMUM)	384
				PLANTING AREA	11,140 sf
				TURF (SOLID SOD)	59,590 sf
				EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	2,309 sf
	SMALL TREE (2" CALIPER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleruteria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angus-castus / Chase Tree	42			

SUP #21-001

LANDSCAPE REQUIREMENTS & SUMMARY TABLES - EXHIBIT D

JLB MANSFIELD

BLOCK A, LOT 1

IN THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

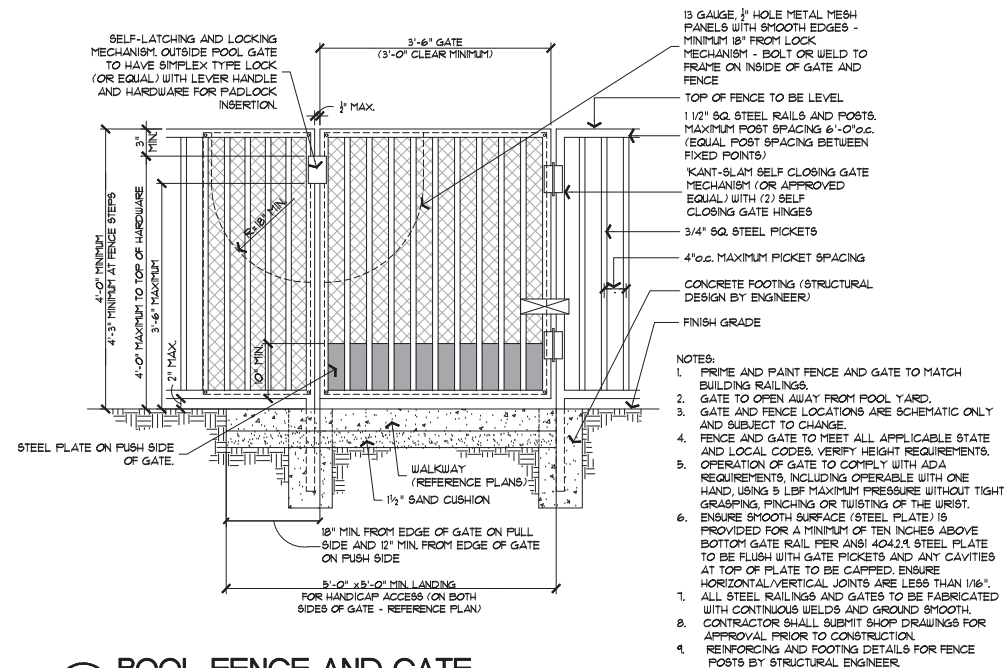
E. McANIER SURVEY, ABST. NO. 1005

560,584 Sq. Ft. (Gross) / 12.869 Acres (Gross)

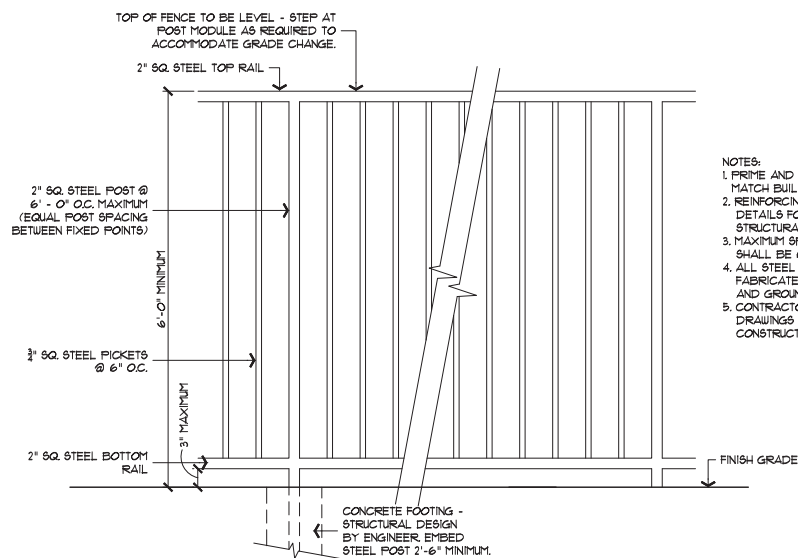
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

LANDSCAPE ARCHITECT
ENVIRO DESIGN
7424 GREENVILLE AVENUE, SUITE 200
DALLAS, TX 75231
PHONE: (214) 981-3010
CONTACT: STEVEN REDDY
SREDDY@ENVIRODESIGN-DALLAS.COM

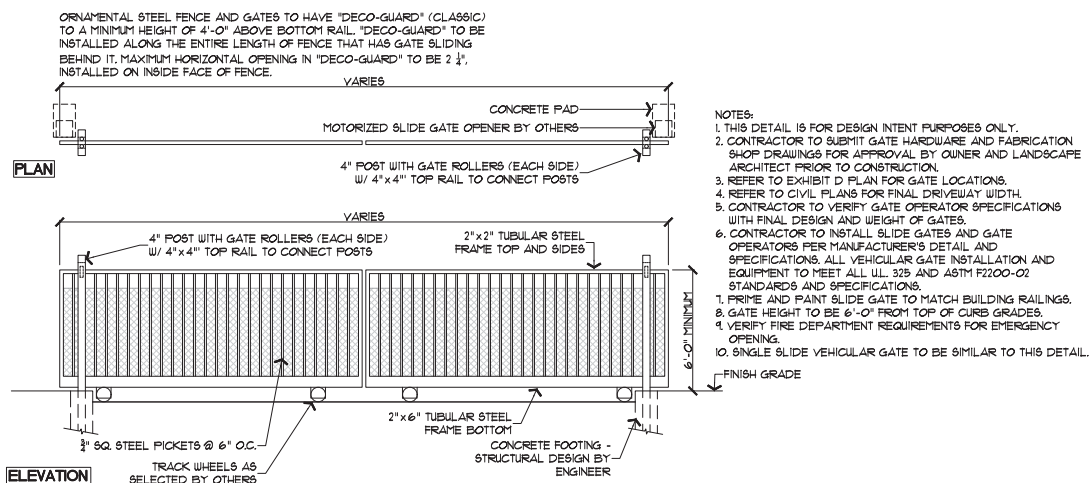
OWNER / APPLICANT
JLB REALTY, LLC
38920 W. NORTHWEST HIGHWAY, 1TH FLOOR
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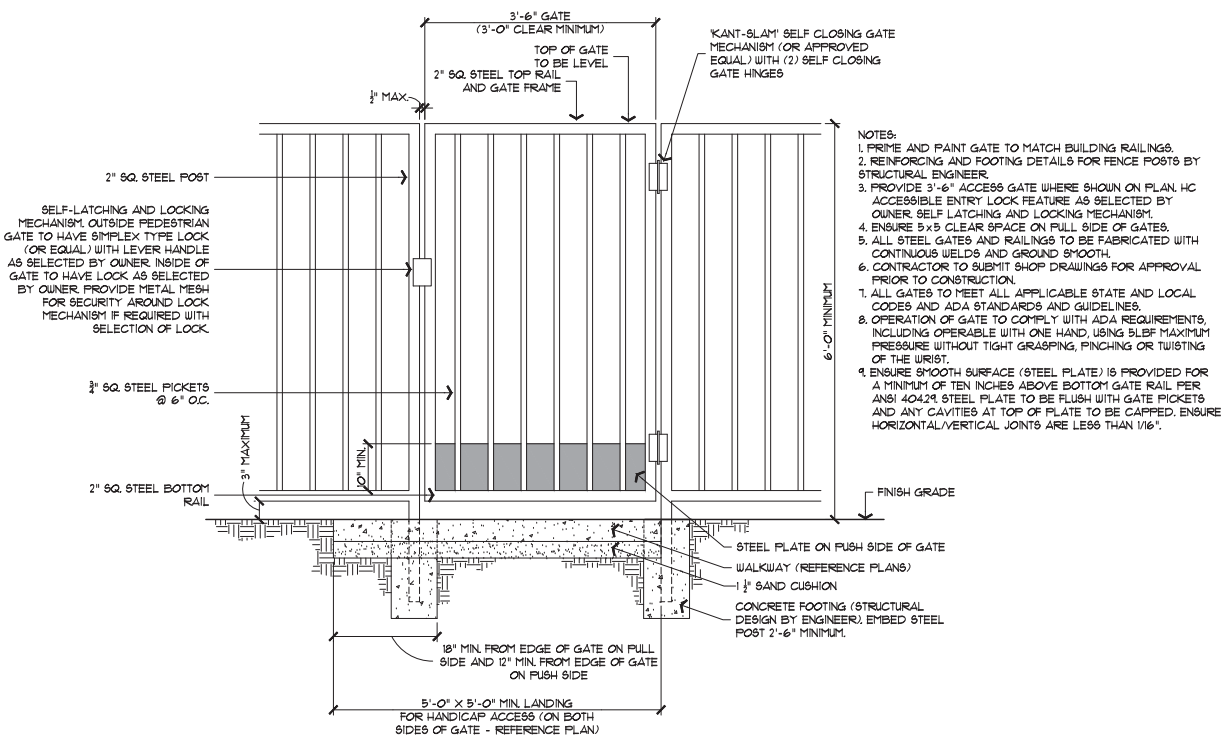
A POOL FENCE AND GATE



B PERIMETER FENCE



③ VEHICULAR SLIDE GATE



PERIMETER GATE

SUP #21-001
LANDSCAPE PLAN - EXHIBIT D
JLB MANSFIELD
BLOCK 4, LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS
E. McANIER SURVEY, ABST. NO. 1005
560584 Sq. Ft. (Gross) / 12.86 Acres (Gross)
Zoning: PD-155B-The Reserve-Workplace Subdistrict

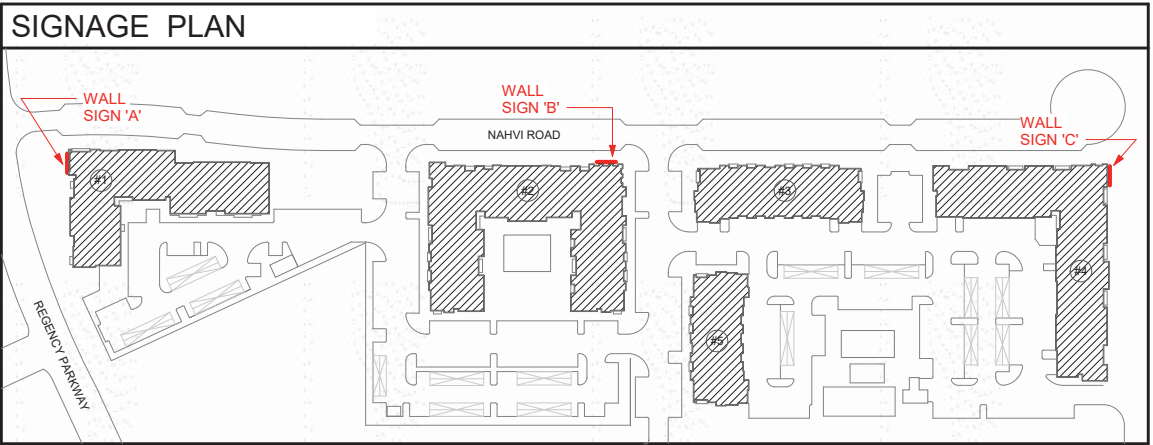
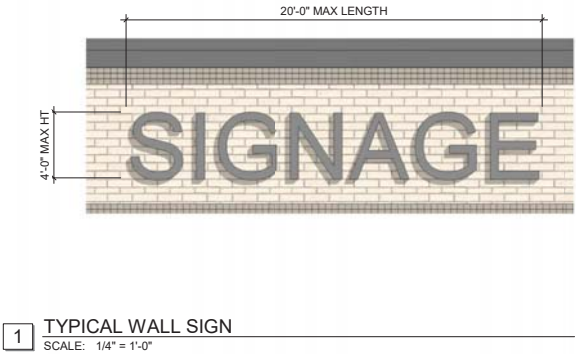
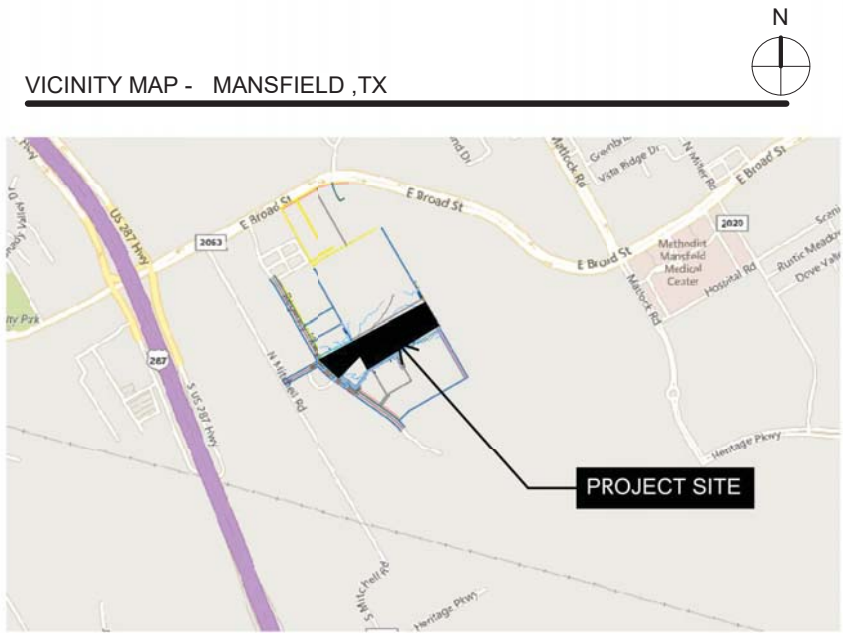
<u>LANDSCAPE ARCHITECT</u>	<u>OWNER / APPLICANT</u>
ENVIRO DESIGN	JB REALTY, LLC
7424 GREENVILLE AVENUE, SUITE 200	3890 W. NORTHEAST HIGHWAY, 1TH FLOOR
DALLAS, TX 75231	DALLAS, TEXAS 75220
PHONE: (214) 981-3010	CONTACT: BRITTON CHURCH
CONTACT: STEVEN REDDY	BCCHURCH@JLBPARTNERS.COM
SREDDY@ENVIRODESIGN-DALLAS.COM	PHONE: (214) 271-8480



PROPOSED WALL SIGN 'A' FACING REGENCY PKWY



PROPOSED WALL SIGN 'B' FACING NAHVI RD



NOTES:
ALL SIGNAGE TO COMPLY WITH SECTION 11
OF THE WORKPLACE SUB-DISTRICT OF THE
RESERVE PLANNED DEVELOPMENT DISTRICT
DESIGN STANDARDS. SETBACKS FOR
MONUMENT SIGNS SHALL COMPLY WITH 7100
OF THE ZONING ORDINANCE. SIGN
DIMENSIONS TO BE DETERMINED AT A LATER
DATE.

SIGNAGE AND MATERIALS PLAN - EXHIBIT E
CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net

Revisions

BRUCE W. RACHEL, AIA
TX LICENSE NO. 14373
PRELIMINARY DRAWING
NOT FOR CONSTRUCTION
NOT FOR GOVERNMENTAL REVIEW

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WITHOUT WRITTEN CONSENT OF HENSLEY
LAMKIN RACHEL, INC.

Project Title:
NAHVI ROAD
EXHIBIT E
MANSFIELD, TX.



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4006

Agenda Date: 4/5/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

ZC#21-003: Public hearing for a change of zoning from PR Pre-Development District to PD Planned Development District for single-family residential uses on approximately 4 acres out of the Ray Grevious Survey, Abstract No. 1307, Tarrant County, TX, located at 2349 N. Holland Rd.; Jeff Linder of Bannister Engineering (engineer) on behalf of Mouaz Allababidi of Allababidi Foundation, LLC (owner)

Description/History

Existing Use: Single-family residential

Existing Zoning: PR, Pre-Development District

Surrounding Land Use & Zoning:

North - Vacant land and single-family residential, PR & SF-12/22

South - Single-family residential, PR

East - Holland Rd.; Single-family residential (City of Arlington) across the street

West - Single-family residential, PR

Thoroughfare Plan Specification:

N. Holland Rd. - local collector (two-lane undivided)

Collins St. - principal arterial (six-lane divided)

Comments and Considerations

The subject property consists of 4 acres with an existing single-family residential home. The applicant is requesting to rezone the property from PR Pre-Development District to PD Planned Development District for single-family residential uses.

Development Plan and Regulations

The applicant plans to develop a single-family residential development called Damascus Gardens with nine residential lots and three open space lots. A new public street, Damask Rose Court, will extend from Holland Road through the middle of the property with the lots located on either side. In order to accommodate this configuration, the proposed lots are shallower than what the existing zoning allows, which is the primary reason for the zoning change. Due to the shallower lots, the front and rear setbacks will also be reduced. The development will have a gross density of 2.25 dwelling units per acre and will have the following minimum standards:

Minimum Lot Area: 12,000 sq. ft.

Minimum Lot Width: 120'; 79' at cul-de-sac

Minimum Lot Depth: 95'; 70' at cul-de-sac
Minimum Front Yard: 20'
Minimum Rear Yard: 15'
Minimum Interior Side Yard: 10'
Minimum Residential Floor Area: 2,600 sq. ft.
Maximum Height: 35'
Maximum Lot Coverage: 45%

The architecture and community design standards will adhere to Section 4600 of the Zoning Ordinance, with the exception that the homes will be allowed to be up to 100% stucco. Staff does not support the deviation from the architectural requirements to allow 100% stucco as it out of character for the area; staff recommends the homes be at least 80% masonry as required by Section 4600.

Access and Circulation

The development will be served by a single public street (Damask Rose Court), which will connect directly to Holland Road. In addition, right-of-way will be dedicated along Holland Road to accommodate future expansion and improvements. With this development, the existing driveway that is shared with the property to the south will need to be reconfigured, which the adjacent property owner has agreed to. Off-street parking and loading standards will adhere to Section 7200 of the Zoning Ordinance as it relates to single-family residential uses.

Enhanced Entryway Plan

The entrance into the development on Damask Rose Court will include an enhanced entryway. As indicated in the Enhanced Entryway Plan (Exhibit C), the developer will be providing five enhanced entry features as required by the Zoning Ordinance. The five proposed elements are a boulevard section with median, enhanced pavers or stained concrete (stamped patterned colored concrete), decorative street lighting, enhanced architectural features (enhanced screening wall with signage and 8' architectural columns), and enhanced landscaping features (shade trees, ornamental trees, shrubs, and ground cover).

Landscaping, Screening, and Amenities

A Landscape and Screening Plan (Exhibit D) has been provided for the development. As required for 12,000 sq. ft. lots, each residential lot will include four medium-size canopy trees with a minimum of two in the front yard. In addition, an open space lot (Lot 11X) will be located at the northeast corner of the development near the entrance, which will include a detention pond, mail kiosk, bench, trash receptacle, walking path, and gazebo. Landscaping will also be provided at the entryway and in open space lots along Holland Road. A 6' masonry screening wall with 7' columns will screen Lot 2 from Holland Road and a 6' ornamental metal fence with 7' masonry columns will screen the open space lot (Lot 11X) from Holland Road; this open-style fence will allow for proper drainage and provide for views of the landscaped pond. A 6' board-on-board wood fence with cap rail will be provided along the north, west, and south perimeters of the development to provide for consistent screening adjacent to surrounding residential properties.

Residential Elevations

The applicant has provided elevations for the proposed homes, which show a Mediterranean style of architecture, including some use of stucco and barrel tile roofing, as well as side-loaded garages. The elevations appear to be well articulated, with numerous façade recesses and projections, roof variations, windows, materials changes, and some covered entryways. The applicant has indicated the homes will adhere to Section 4600 of the Zoning Ordinance, with the exception that the homes will be allowed to be up to 100% stucco. Staff does not support the deviation from the architectural requirements to allow 100% stucco as it out of character for the area; staff recommends the homes be at least 80% masonry as required by Section 4600.

Recommendation

The proposed development will provide for an infill residential development including single-family residential uses. The Land Use Plan recommends continued development as suburban residential consistent with adjacent development. While the immediate surrounding properties are generally a half-acre or larger, properties further to the south and west have been built out at suburban densities and it is expected this area will continue to redevelop at suburban densities as land becomes more scarce. The proposed development also provides for lots that have the minimum lot size required by the existing zoning. The primary reason for the Planned Development zoning request is to allow lots with a shallower depth than the current zoning would allow in order to provide for a double-loaded street where all lots back to the surrounding properties. The shallower lot depths also require reduced front and rear setbacks, which are consistent with setbacks in other developments in the City. Staff does not support the exception to allow homes with up to 100% stucco and recommends the homes follow all aspects of Section 4600 of the Zoning Ordinance, including the minimum 80% masonry percentage. The landscaping, pond, neighborhood amenities, and entryway features will add value and interest to the development, while screening helps to provide privacy for neighborhood residents and reduce any impacts to surrounding properties.

Staff recommends approval with the following conditions:

1. The applicant must provide written permission from the City of Arlington for sanitary sewer access.
2. The applicant must provide written permission from the City of Arlington that they acknowledge receiving extra runoff.
3. The applicant must confirm whether the existing water main has an adequate fire flow or not.
4. Remove the exception to allow up to 100% stucco; the development architecture and materials must adhere to Section 4600 of the Zoning Ordinance, including the requirement for at least 80% masonry.

Attachments:

Maps and Supporting Information

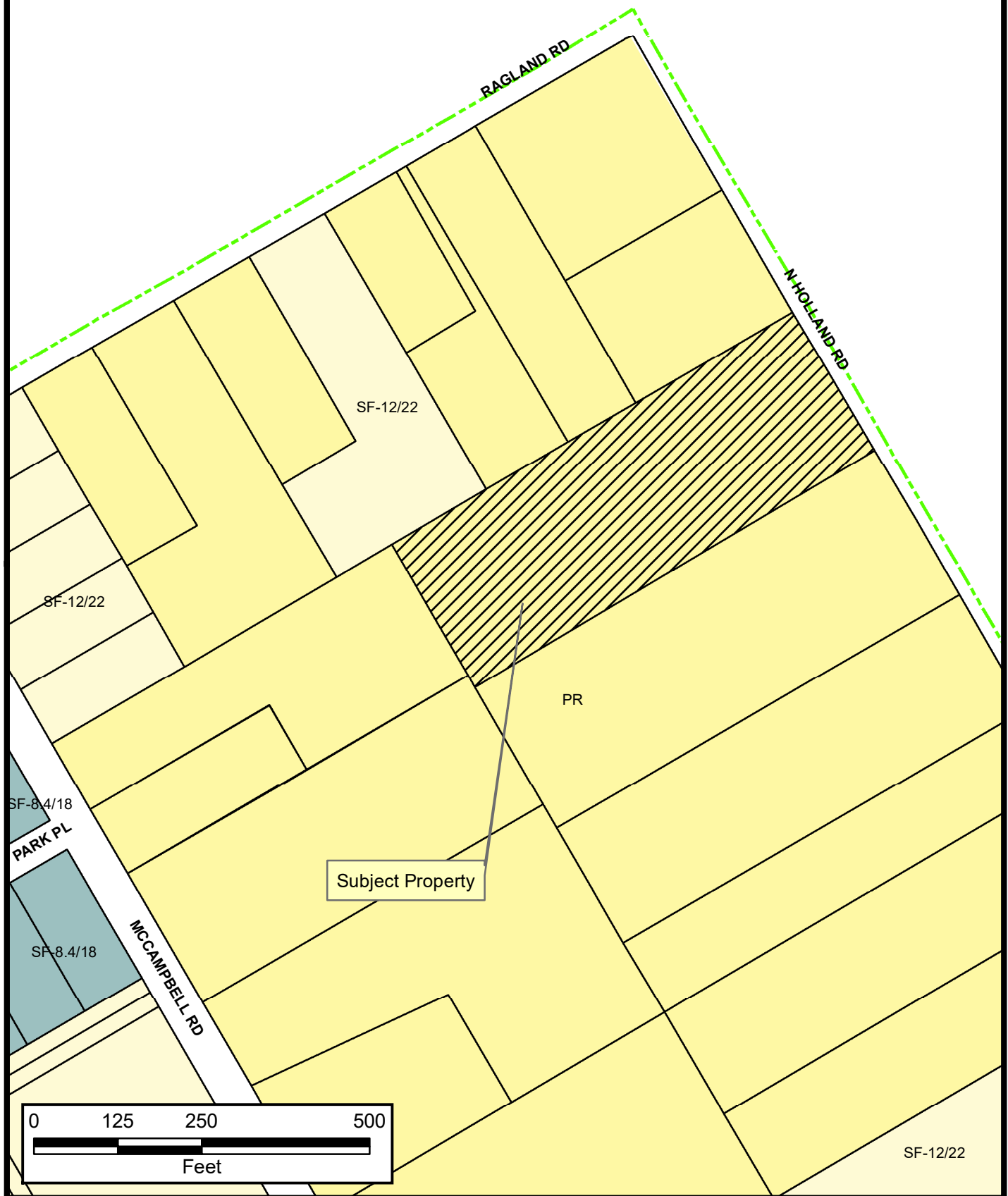
Exhibit A - Property Description

Exhibit B - Development Plan

Exhibit C - Enhanced Entryway Plan

Exhibit D - Landscape and Screening Plan
Exhibit E - Residential Elevations
Driveway Acceptance Letter
Letter of Opposition





Property Owner Notification for ZC#21-003

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
HALL ADDN (MANSFIELD)	BLK 1	HALL, JOE B	1050 MCCAMPBELL RD	MANSFIELD, TX	76063-5305
JACKSON ADDITION	BLK 1	GONZALES, DAVID R & DEBRA J	2816 RAGLAND RD	MANSFIELD, TX	76063-5319
MASCO ADDITION	BLK 1	MATOKI, CARRIE A	8125 DARTMOOR CT	COLORADO SPRINGS, CO	80920-6142
RAY, GREVIOUS SURVEY	A 1307	PALOMINO, JOSEPH G	2848 RAGLAND RD	MANSFIELD, TX	76063-5319
RAY, GREVIOUS SURVEY	A 1307	ALLABABIDI FOUNDATION LLC	2349 N HOLLAND RD	MANSFIELD, TX	76063
RAY, GREVIOUS SURVEY	A 1307	MCGLASSON, IRVY LEE JR	2315 N HOLLAND RD	MANSFIELD, TX	76063-5507
RAY, GREVIOUS SURVEY	A 1307	WRIGHT, JOHNNY E & NANCY L	1020 MCCAMPBELL RD	MANSFIELD, TX	76063
RAY, GREVIOUS SURVEY	A 1307	JONES, RUSSELL B & JANE A	2888 RAGLAND RD	MANSFIELD, TX	76063-5319
RAY, GREVIOUS SURVEY	A 1307	MUBAAK, MUSTAFA	2860 RAGLAND RD	MANSFIELD, TX	76063-5319

Exhibit A

ZC#21-003

LEGAL LAND DESCRIPTION:

BEING 4.000 acres (174,255 square feet) of land in the Ray Grevious Survey, Abstract No. 1307, City of Mansfield, Tarrant County, Texas; said 4.000 acres (174,255 square feet) of land being a portion of that certain tract of land described in a General Warranty Deed to Allababidi Foundation, LLC (hereinafter referred to as Allababidi Foundation tract), as recorded in Instrument Number D220313589, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.); said 4.000 acres (174,255 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a mag nail set in asphalt pavement for the Northeasterly corner of said Allababidi Foundation tract, same being a point in North Holland Road, previously known as County Road 2011 (variable width right-of-way);

THENCE South 30 degrees 13 minutes 23 seconds East with the Northeasterly line of said Allababidi Foundation tract and with said North Holland Road, a distance of 245.05 feet to a mag nail set in asphalt pavement for the Southeasterly corner of said Allababidi Foundation tract, same being the Northeasterly corner of that certain tract of land described in a Warranty Deed to Irvy Lee McGlasson, Jr. and wife, Mary Gann McGlasson (hereinafter referred to as McGlasson tract), as recorded in Volume 5920, Page 350, Deed Records, Tarrant County, Texas;

THENCE South 59 degrees 46 minutes 37 seconds West, departing said North Holland Road, with the common line between said Allababidi Foundation tract and said McGlasson tract, a distance of 711.10 feet to a three-eighths inch iron rod found for the Southwesterly corner of said Allababidi Foundation tract, same being the Northwesterly corner of said McGlasson tract, same also being the Northeasterly line of that certain tract of land described in a Warranty Deed with Vendor's Lien to Johnny E. Wright and Nancy L. Wright (hereinafter referred to as Wright tract), as recorded in Instrument Number D215191509, O.P.R.T.C.T.;

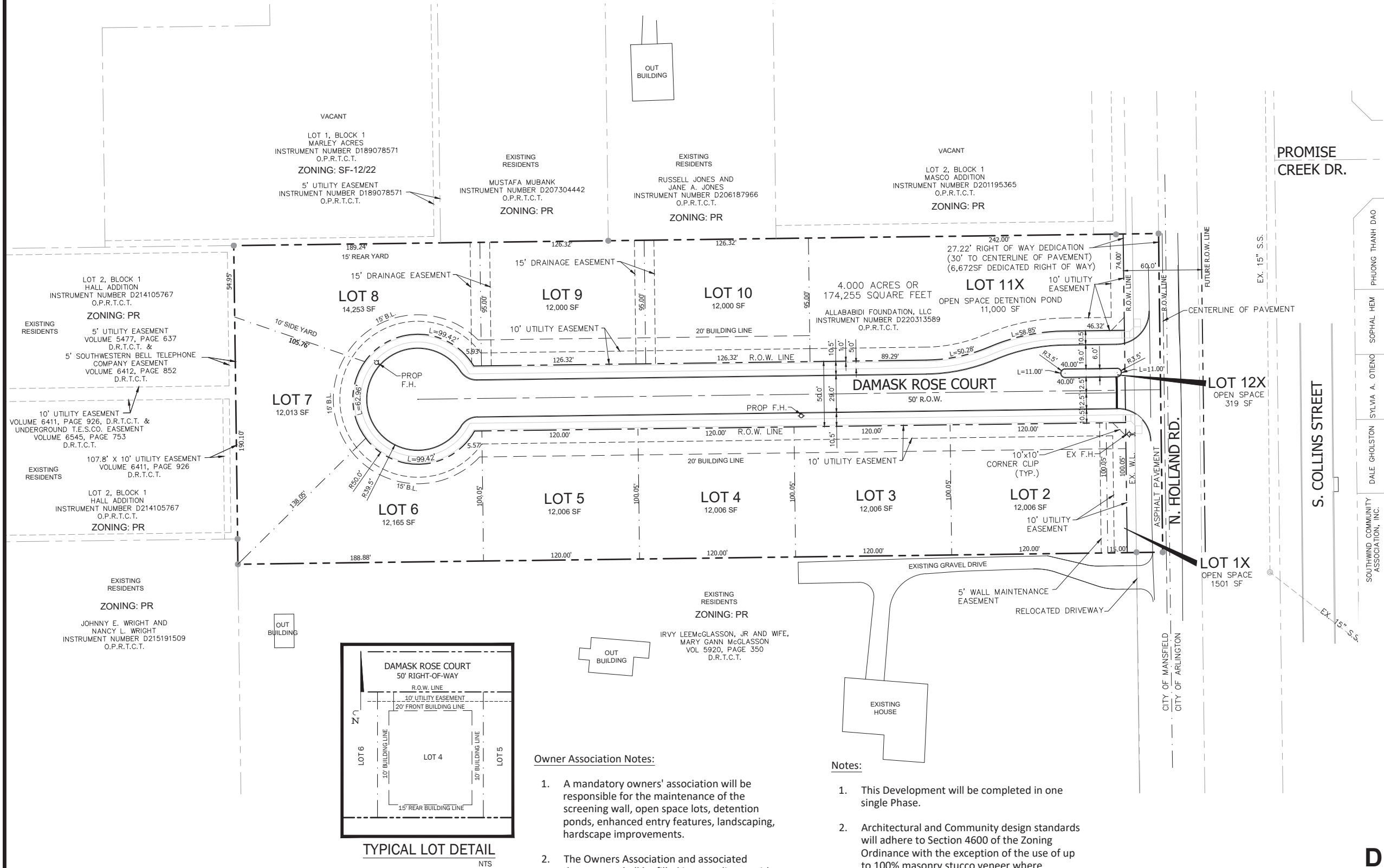
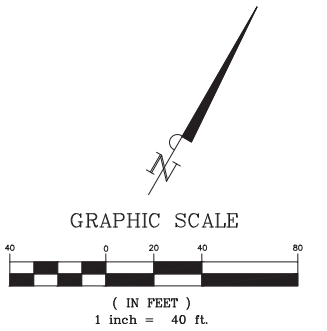
THENCE North 30 degrees 13 minutes 23 seconds West with the common line between said Allababidi Foundation tract and said Wright tract, pass at a distance of 19.45 feet, a one-half inch iron rod found for the Northeasterly corner of said Wright tract, same being the Southeasterly corner of that certain tract of land described as Hall Addition, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D214105767, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Hall Addition for a total distance of 245.05 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Northwesterly corner of said Allababidi Foundation tract, same being the Northeasterly corner of said Hall Addition, same also being the Southeasterly line of that certain tract of land described as Marley Acres, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D189078571, O.P.R.T.C.T.;

THENCE North 59 degrees 46 minutes 37 seconds East with the common line between said Allababidi Foundation tract and said Marley Acres, pass at a distance of 159.00 feet, the Southeasterly corner of said Marley Acres, same being the Southwesterly corner of that certain tract of land described in a deed

Exhibit A

ZC#21-003

to Mustafa Mubank (hereinafter referred to as Mubank tract), as recorded in Instrument Number D207304442, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Mubank tract, pass at a distance of 288.00 feet, a one-half inch iron rod found for the Southeasterly corner of said Mubank tract, same being the Southwesterly corner of that certain tract of land described in a deed to Ruseel Jones and Jane A. Jones (hereinafter referred to as Jones tract), as recorded in Instrument Number D206187966, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Jones tract, pass at a distance of 417.00 feet, the Southeasterly corner of said Jones tract, same being the Southwesterly corner of that certain tract of land described as Masco Addition, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D201195365, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Masco Addition for a total distance of 711.10 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 4.000 acres (174,255 square feet) of land.



PLANNED DEVELOPMENT STANDARDS:

Current Zoning: PR
Proposed Zoning: Planned Development with base zoning of SF12/22

Area, Setback and Height Regulations:

- Minimum Lot Size - 12,000sf
- Minimum Residential Floor Area - 2,600sf
- Maximum Lot Coverage - 45%
- Maximum Height - 35'
- Minimum Front Setback - 20'/15' at Cul-de-sac
- Minimum Lot Width - 120'/79' at Cul-de-sac
- Minimum Lot Depth - 95'/70' at Cul-de-sac
- Minimum Rear Setback - 15'
- Minimum Interior Side Setback - 10'

Landscaping and Screening Requirements:

- Common area, including detention pond area are to be landscaped per Exhibit D, Landscape Plan.
- Four medium-sized canopy trees shall be planted on each residential lot. Minimum of two in front yard.
- Screening shall be provided at the south, west, and north boundary through the use of a 6 foot height board-on-board fence as indicated per Exhibit D, Landscape Plan.

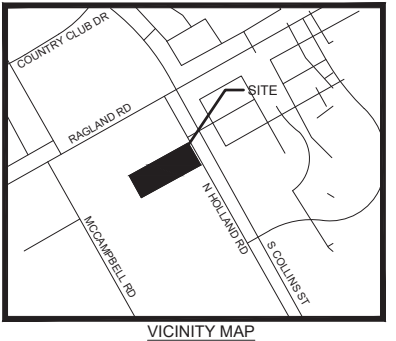


EXHIBIT B
ZC#21-003
DEVELOPMENT PLAN
DAMASCUS GARDENS
2349 N. HOLLAND RD

4.00 ACRE TRACT
City of Mansfield
Tarrant County, Texas

Owner Association Notes:

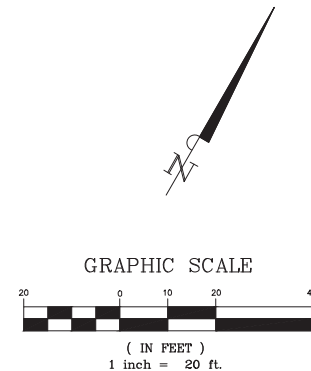
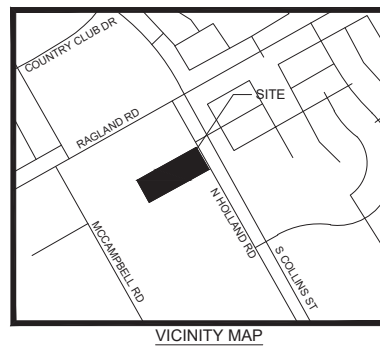
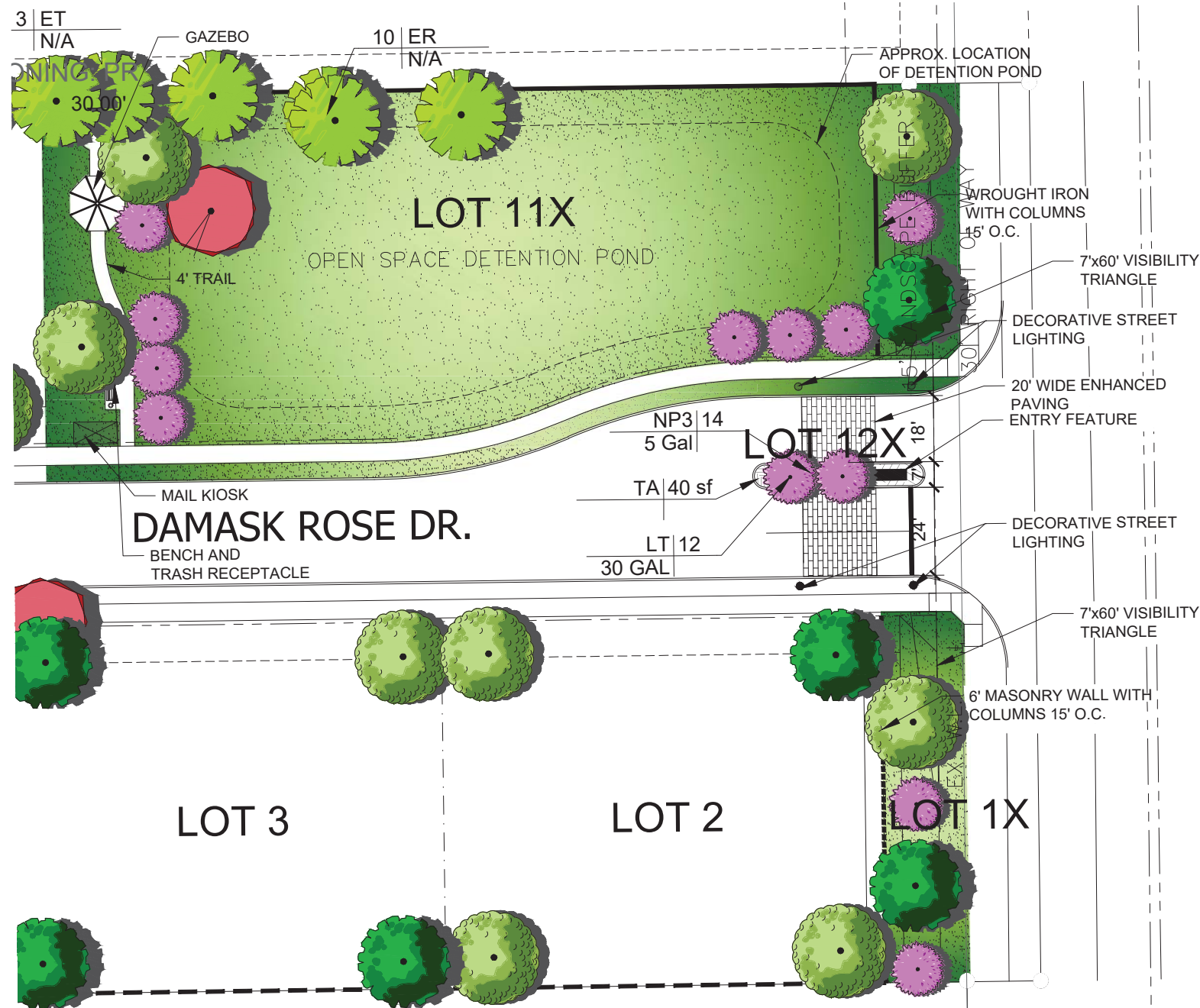
1. A mandatory owners' association will be responsible for the maintenance of the screening wall, open space lots, detention ponds, enhanced entry features, landscaping, hardscape improvements.
2. The Owners Association and associated documents shall be filed in accordance with the City of Mansfield policies. the documents shall be filed with the final plat. the documents shall be submitted in a timely manner to allow for a minimum of sixty (60) days review. failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the development or delay in approval of a building permit. The City does not except the responsibility for the delays cause by the failure to submit the association documents or the inaccuracy of the documents.

Notes:

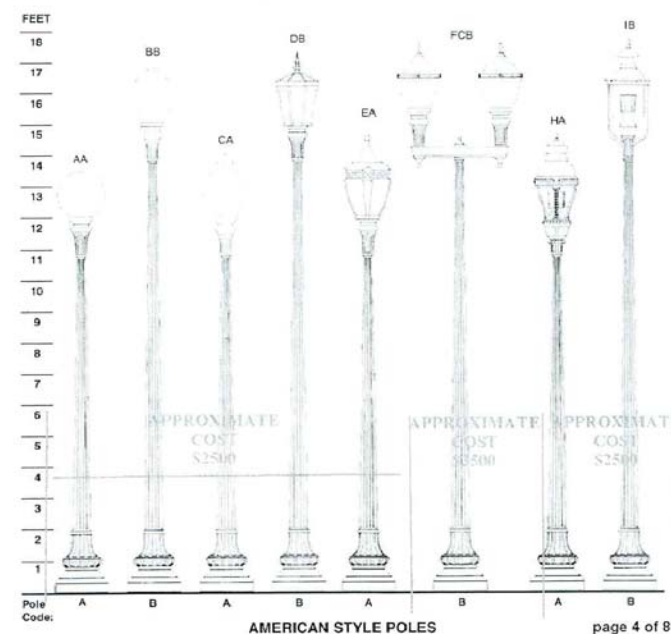
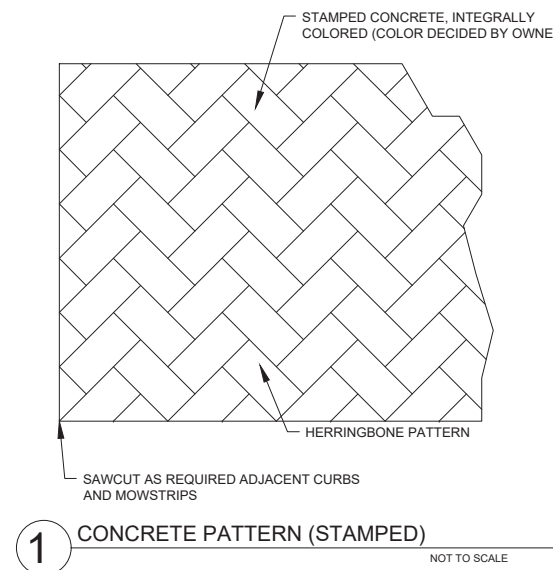
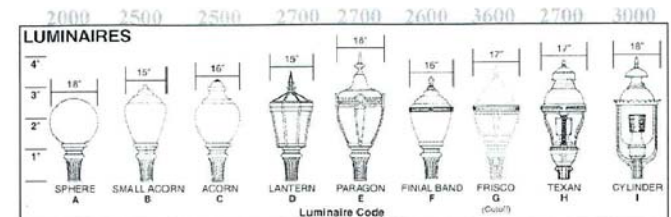
1. This Development will be completed in one single Phase.
2. Architectural and Community design standards will adhere to Section 4600 of the Zoning Ordinance with the exception of the use of up to 100% masonry stucco veneer where architecturally appropriate.
3. Minimum off street Parking and Loading Standards will adhere to section 7200 of the Zoning Ordinance.
4. The proposed Development will be in complete accordance with the provisions of the Planned Development District and all Development Plans recorded hereunder be binding upon the applicant thereof, his successors or assigns, and shall limit and control all building permits.

ENGINEER:
Remington C. Wheat, P.E.
Bannister Engineering
240 North Mitchell Rd
Mansfield, TX 76063
817.842.2094
remington@bannistereng.com

OWNER:
Mouaz ALLababidi
ALLababidi Foundation
802 Greenview Dr
Grand Prairie, TX 75050
817.891.1790
mouath@gmail.com



NOTE:
THE "ACORN" (C) LUMINAIRES ON AN ELEVEN FOOT (11') "AMERICAN STYLE POLE", WITH 100 WATT LED, AS SHOWN BELOW, WILL BE INSTALLED AT EACH STREETLIGHT LOCATION.



Owner Association Notes:

1. A mandatory owners' association will be responsible for the maintenance of the screening wall, open space lots, detention ponds, enhanced entry features, landscaping, hardscape improvements.
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Landscaping and Screening Requirements:

- Common area, including detention pond area are to be landscaped per Exhibit D, Landscape Plan.
- Four medium-sized canopy trees shall be planted on each residential lot. Minimum of two in front yard.
- Screening shall be provided at the south, west, and north boundary through the use of a 6 foot height board-on-board fence as indicated per Exhibit D, Landscape Plan.

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817.842.2094
remington@bannistereng.com

OWNER:
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ALLababidi Foundation
802 Greenvue Dr
Grand Prairie, TX 75050
817.891.1790
mouath@gmail.com

EXHIBIT C ZC#21-003 ENHANCED ENTRYWAY PLAN

PAGE 1 OF 2
DAMASCUS GARDENS
2349 N. HOLLAND RD
City of Mansfield
Tarrant County, Texas

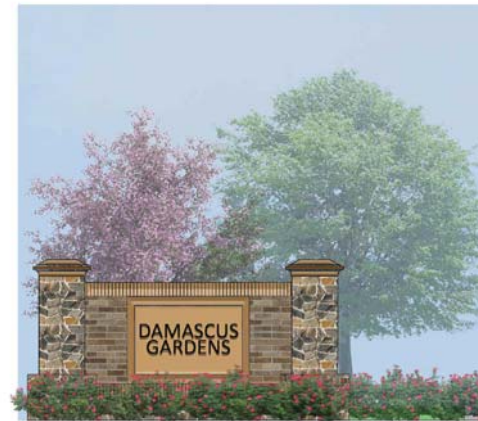
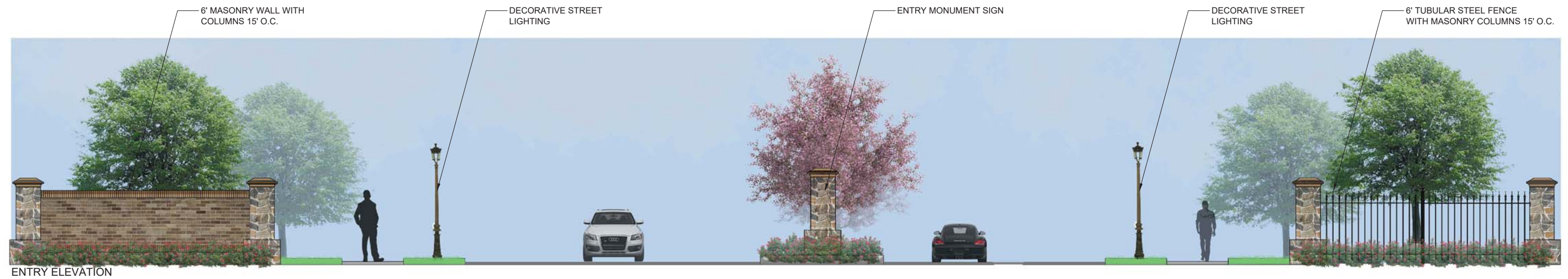
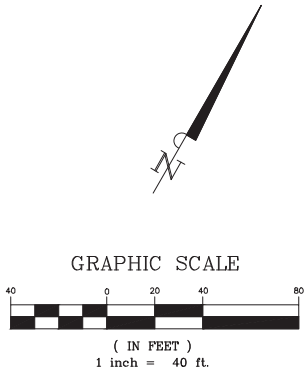
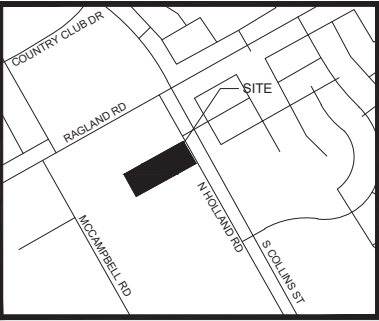
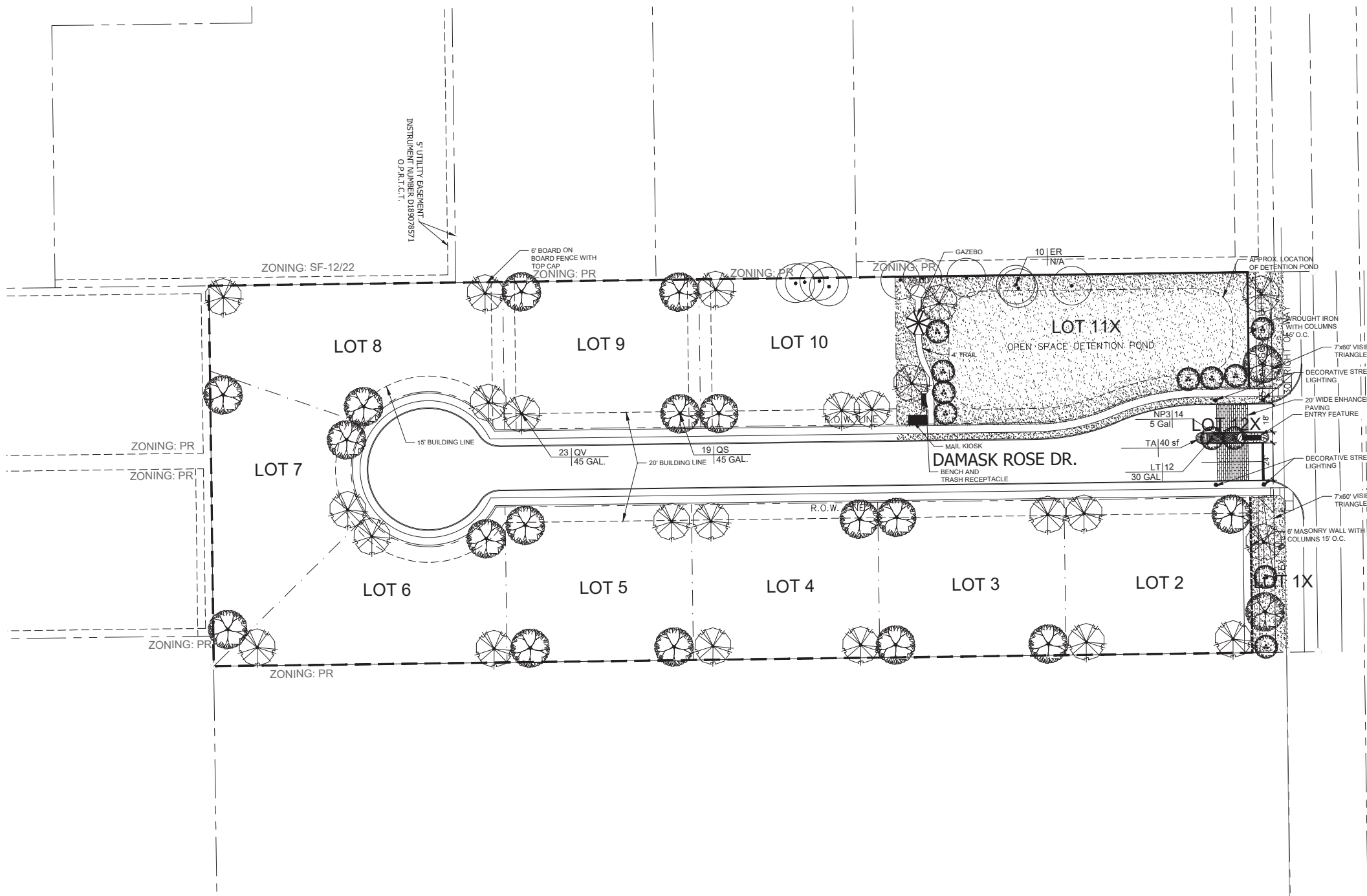


EXHIBIT C
ZC#21-003
ENHANCED ENTRYWAY
PLAN

PAGE 2 OF 2
DAMASCUS GARDENS
2349 N. HOLLAND RD
City of Mansfield
Tarrant County, Texas



PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	ER	10	EXISTING TREE TO REMAIN	N/A			
	LT	12	LAGERSTROEMIA INDICA 'TUSCARORA' / CRAPE MYRTLE	30 GAL	3"	6'-8'	FULL, MATCHING, SYMMETRICAL
	QS	19	QUERCUS SHUMARDII / SHUMARD RED OAK	45 GAL	3"	10'-12'	FULL, MATCHING, SYMMETRICAL
	QV	23	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	45 GAL	3"	10'-12'	FULL, MATCHING, SYMMETRICAL
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPACING	NOTES
	NP3	14	NASSELLA TENUISSIMA 'PONY TAILS' / MEXICAN FEATHERGRASS	5 GAL	24" HT	36" O.C.	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	NOTES			
	CT	PER PLAN	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOD			
	TA	PER PLAN	TRACHELOSPERMUM ASIATICUM / ASIAN JASMINE	1 GAL., 18" O.C., TRIANGULAR SPACING			

Owner Association Notes:

1. A mandatory owners' association will be responsible for the maintenance of the screening wall, open space lots, detention ponds, enhanced entry features, landscaping, hardscape improvements.
2. The Owners Association and associated documents shall be filled in accordance with the City of Mansfield policies. the documents shall be filed with the final plat. the documents shall be submitted in a timely manner to allow for a minimum of sixty (60) days review. failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the development or delay in approval of a building permit. The City does not except the responsibility for the delays cause by the failure to submit the association documents or the inaccuracy of the documents.

Landscaping and Screening Requirements:

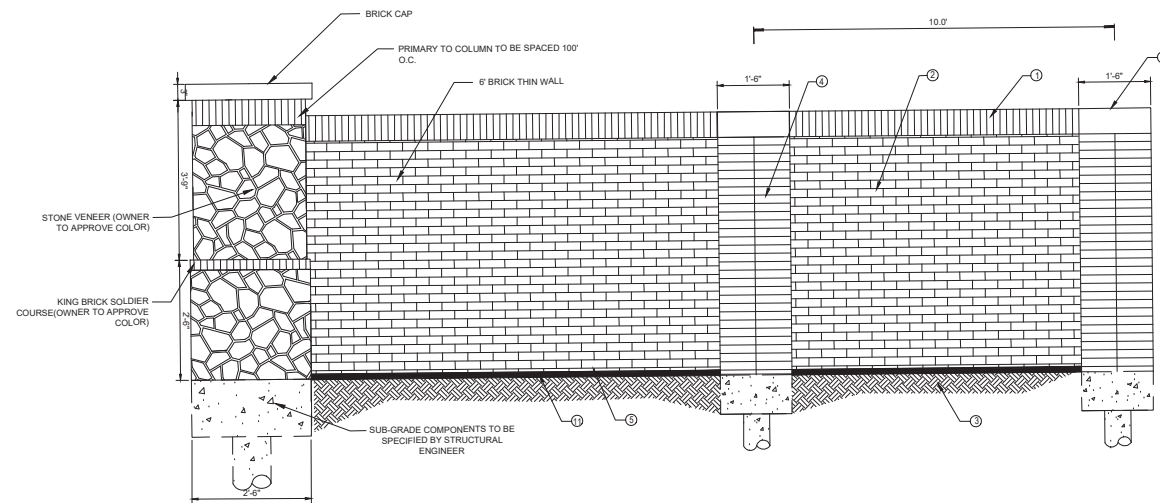
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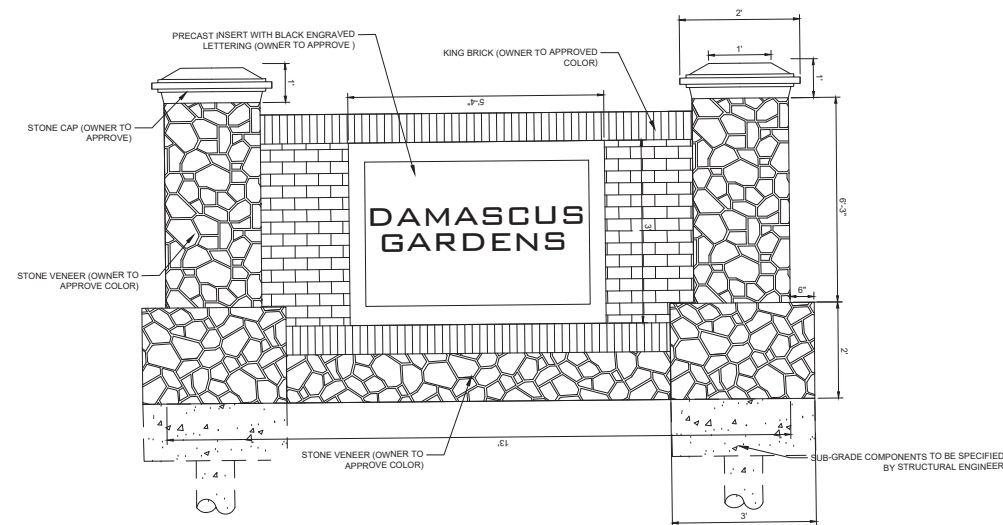
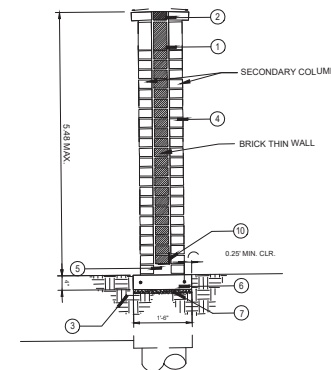
OWNER:
Mouaz ALLababidi
ALLababidi Foundation
802 Greenvue Dr
Grand Prairie, TX 75050
817.891.1790
mouath@gmail.com

EXHIBIT D
ZC#21-003
LANDSCAPE and
SCREENING PLAN

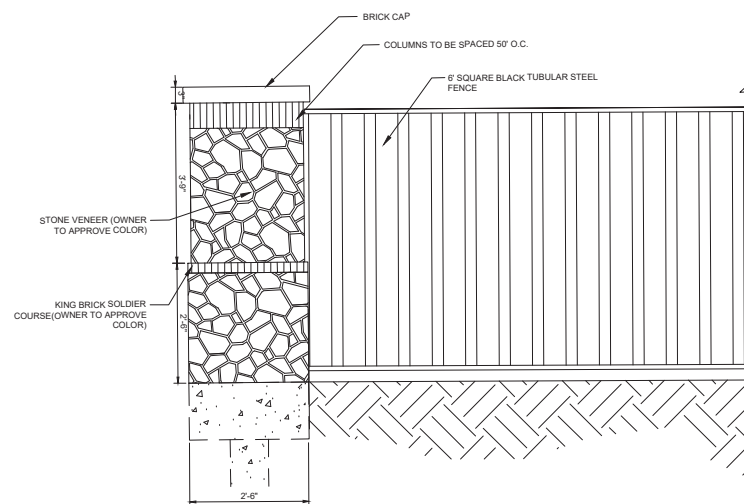
PAGE 1 OF 2
DAMASCUS GARDENS
2349 N. HOLLAND RD
City of Mansfield
Tarrant County, Texas



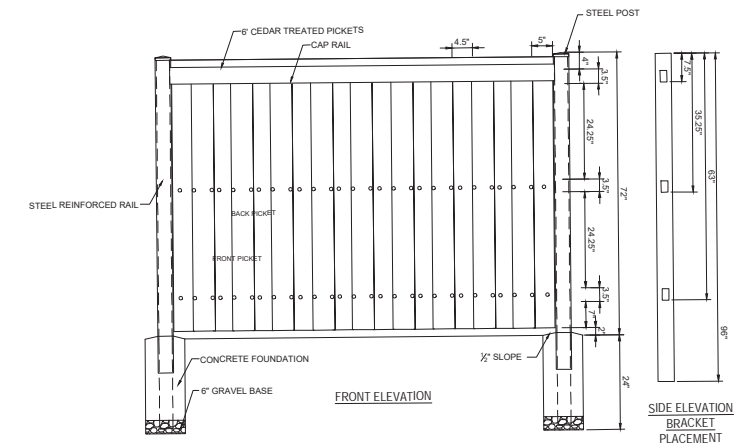
1 6' MASONRY WALL W/ COLUMNS 15' O.C.
NOT TO SCALE



2 ENTRY MONUMENT SIGN
NOT TO SCALE



3 6' TUBULAR STEEL FENCE W/ MASONRY COLUMNS 15' O.C.
NOT TO SCALE



4 6' BOARD ON BOARD FENCE WITH TOP CAP
NOT TO SCALE

EXHIBIT D ZC#21-003 LANDSCAPE and SCREENING PLAN PAGE 2 OF 2 DAMASCUS GARDENS 2349 N. HOLLAND RD

City of Mansfield
Tarrant County, Texas



EXHIBIT E
ZC#21-003
RESIDENTIAL ELEVATIONS
DAMASCUS GARDENS
2349 N. HOLLAND RD
City of Mansfield
Tarrant County, Texas

March 29, 2021

Irvy L. McGlasson, Jr.

2315 N. Holland Rd.

Mansfield, TX. 76063

To whom it may concern:

I have spoken with Jeff Linder concerning the proposed relocation of the driveway for our private residence. As I understand it, the driveway for our private residence will be relocated to the southeast for only a few feet.

My wife and I agree to this minor change. This includes a concrete culvert and additional crushed rock for the driveway.

Cordially,

A handwritten signature in dark ink, appearing to read "I. L. McGlasson, Jr.", written in a cursive style.

Irvy L. McGlasson, Jr.

March 26, 2021

Subject: Request for Zoning Change of 4 Acre lot at 2349 N Holland Rd (ZC21-003)
City of Mansfield Planning Department

Dear Mr. Bogda,

I live in the Ridge Trace Estates neighborhood close to 2349 N Holland Road (ZC21-003). I am writing to voice my disapproval over the above zoning request change. My family is **STRONGLY AGAINST** this proposed zoning change because it would be detrimental to the neighborhood and greatly reduce the property value of the neighboring homes.

North Holland road is a small black top road and by putting the proposed nine houses into a cul-de sac format squeezed into a generally small area compared to the houses close by it would create a lot of unwanted traffic on such a small road. Another concern is that this will create a chain reaction of the adjacent homes that sit on 3-4-acre sites. These homes have been on the larger lots for over 20 years along North Holland. If the owners of the house next to 2349 N Holland decide to sell and move will another developer or the same developer come and do the same with that 3-4-acre lot? This trend could possibly change the entire atmosphere of North Holland Road into a very busy area which is **NOT** why we purchased our home in our little slice of heaven. We wanted to get away from the busy neighborhoods that have 2-4 cars per house in the driveway and parked on the street.

My husband and I moved into Ridge Trace Estates 14 years ago because it was our small quiet area back in the woods. We loved the fact that because the soccer field is behind us Ridge Trace Estates could not expand anywhere around us. This was a huge selling point for us. We did not want to be in a neighborhood with cheap track homes that had street facing garages with owners that would not maintain the homes. We also did not want more homes to be developed anywhere around us aside from what was already there. I fear this would happen if the proposed zoning change is approved. Also, in the 14 years we have lived along North Holland Road our property value has doubled and with all the medical facilities being build within a 5 mile radius of North Holland Road and the high value homes close by the property value is likely to continue to increase. If you approve this zoning change, then the value of **ALL** the properties within a 5 miles radius will decrease and homeowners will be hurt financially.

The homeowners in Ridge Trace Estates love the peaceful quiet atmosphere of N. Holland Road and do **NOT** want this proposed zoning change approved. Other concerns include what will happen to North Holland Road? Will it need to be widened? Will it need to be made into a "through" street? Will all the trees be taken down? Almost all the homeowners on North Holland Road and within Ridge Trace Estates utilize North

Holland Road for exercise to include running, walking, walking animals, cycling, etc. We LOVE North Holland Road the way it is and want it to STAY the way it is. We DO NOT WANT this zoning request approved.

We humbly ask that the City of Mansfield **disapprove** the request for zoning change at 2349 N Holland Rd (ZC21-003). Let's keep ALL of North Holland Road the way it is. Thank you for your attention to this matter.

Sincerely,

Julie M. Von Hollen 
3215 Ridge Trace Circle
Ridge Trace Estates, North Holland Road



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4010

Agenda Date: 4/5/2021

Version: 1

Status: Consideration

In Control: Planning and Zoning Commission

File Type: Plat

Title

SD#20-026: Final Plat of Somerset Addition, Phase III, on 53.744 acres located at 2201 Chambers Street by Bloomfield Homes, L.P., owner/developer; and LJA Surveying, surveyor

..Comments and Considerations

The purpose of this plat is to create 204 residential lots and 13 open space lots. This plat substantially conforms to the approved preliminary plat except for the following:

- Lots have been shifted on Block 39 to add a new HOA lot to accommodate drainage;
- Additional lots have been added to several of the blocks. For example, Block 41 shows 22 lots on the preliminary plat and 25 lots on this final plat;
- The shape of the open spaces have been modified throughout Phase III to accommodate changes in lot lines or the addition of new lots;

All lots meet the required minimum lot area, lot width and lot depth.

There is a blank space on the plat for the deed information for an off-site utility easement. The plat cannot be filed at the County until the applicant provides the recording information for the easement on the plat.

The applicant is also seeking a variance to the minimum width of the corner lot. The Subdivision Control Ordinance requires that corner residential lots have a minimum width 15 feet greater than the adjacent lot. The applicant proposes corner lots that are 10 feet greater in width than the minimum lot width required for the applicable Residential Product. The applicant is requesting variances to the corner lot width on the following lots in Phase III:

Lots 1 and 25, Block 38;
Lots 1 and 26, Block 37;
Lots 1 and 20, Block 36;
Lots 11 and 12, Block 41;
Lots 15 and 16, Block 40; and
Lot 18, Block 35.

Although the copy of the plat in Commission's packet does not have signatures, the filing

copies have been signed.

Recommendation

Due to the nature of the lot sizes in Phase III and for the reasons stated in the applicant's letter of request, Staff believes the variance requests are reasonable and consistent with similar variances granted by the Commission in Phases 1 and 2 of the Somerset development.

Staff recommends approval with the requested variances.

Attachments

Location Map

Letter of Request

Approved Preliminary Plat

Final Plat



September 16, 2020

Attn: Art Wright
Planning Department
City of Mansfield
1200 E. Broad Street
Mansfield, Texas 76063

Re: Somerset Phase III Final Plat Variance Request

Dear Mr. Wright

At the Planning and Zoning Commission meeting for the above referenced final plat, LJA Engineering will respectfully request a variance for the provision of the Subdivision Control Ordinance that corner lots be at least 15' wider than the adjacent lot for the following lots: Lots 1 and 25, Block 38; Lots 1 and 26, Block 37; Lots 1 and 20, Block 36; Lots 11 and 12, Block 41; Lots 15 and 16, Block 40; and Lot 18, Block 35.

The lots in question are at least 10 feet wider than what is required in accordance with the Planned Development and meet the minimum exterior side yard setback criteria set out in the Planned Development.

In total, this variance request is for eleven lots out of 204 total residential lots. The number of lots for which this variance is requested, considering the total number of residential lots being platted, represents a negligible departure from the subdivision ordinance and is in keeping with the overall intent of that ordinance.

For the foregoing reasons, LJA would like the support of the City of Mansfield Planning Department in this variance request.

If you have any additional comments or concerns, please feel free to contact me.

Sincerely,



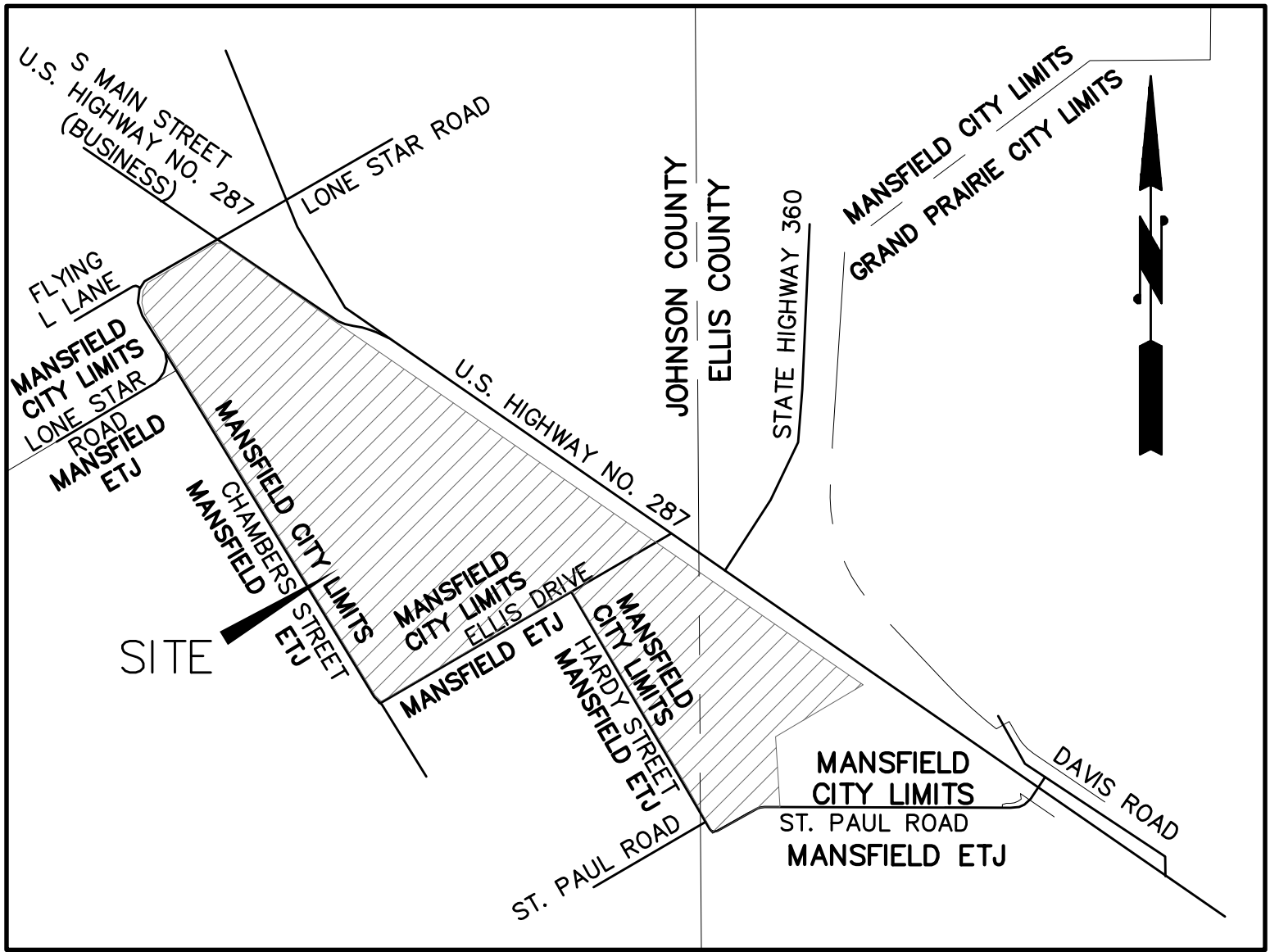
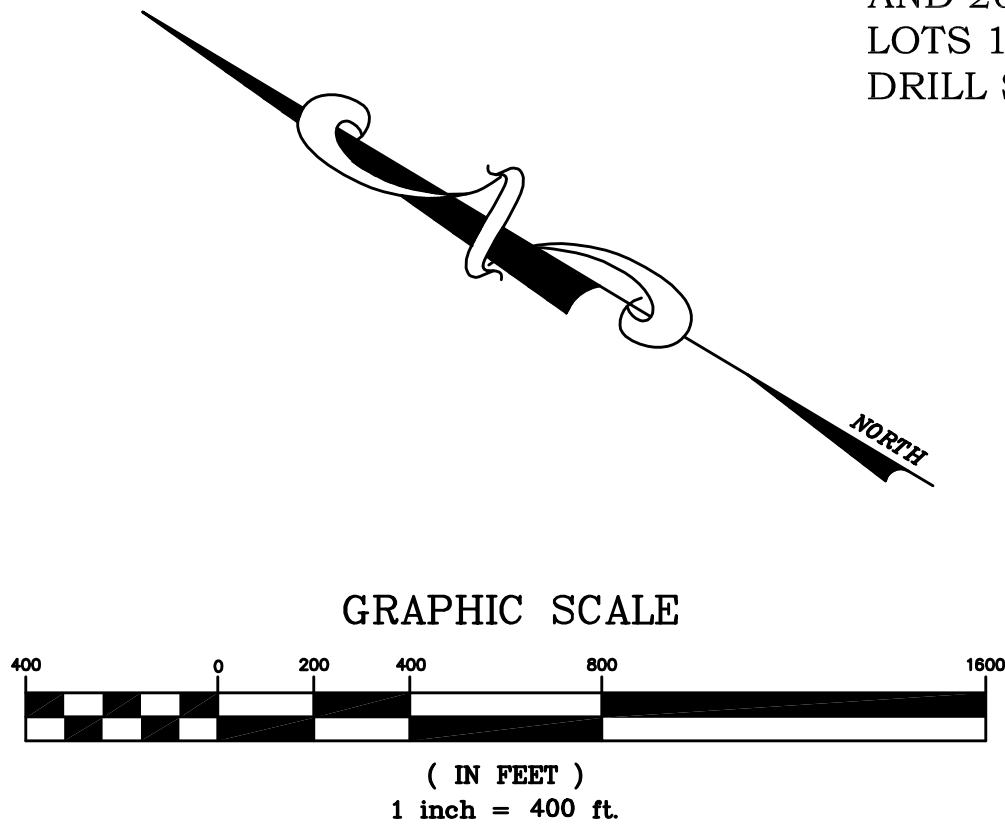
Andrew Kubiak, PE
Project Engineer

AK/rr

cc: Landon King – LJA
Clint Vincent – Bloomfield Homes
Ben Luedtke – Hanover Property Company

GAS WELL SITE NOTE:

"LOT 1, BLOCK 9; LOTS 2-7, 101 AND 102, BLOCK 10; LOTS 1-9, BLOCK 11; LOTS 1, 2, 28-30, BLOCK 12; LOTS 6 AND 7, BLOCK 14; LOTS 7-9, BLOCK 15; LOT 11, BLOCK 16; LOTS 36-42, BLOCK 24; LOTS 1-23, BLOCK 36; LOTS 1, 2, AND 30, BLOCK 37; LOTS 1-4, AND 26-29, BLOCK 38; LOTS 2-27, BLOCK 39; LOTS 1, 2, 20, AND 21, BLOCK 40; AND LOTS 1-3, BLOCK 42 ARE LOCATED WITHIN 300 FEET OF AN APPROVED GAS WELL DRILL SITE."



VICINITY MAP
(NOT TO SCALE)

- NOTE:
1. NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and/or withholding of utilities and building permits.
 2. Basis of Bearings and Coordinates shown hereon are grid values derived from the Texas North Central Zone (4202). NAD83 Texas Coordinate System by GPS observations in reference to the City of Mansfield's official GPS monuments: TNP Mansfield "F", MON-BC9, MM 9-07, and MM 17-07. Distances shown hereon are surface distances.
 3. The Retail lots in this development will comply with the Residential Proximity Standards in Section 7400 of the City of Mansfield Zoning Ordinance.
 4. Building lines will be established for Lot 1, Block 9, on the detailed site plan for this lot upon determination of use.
 5. A mandatory owners association will be responsible for the maintenance of the private amenities; common areas including but not limited to screening fences, including the parkway between a screening fence and the street; landscaping; and the round-abounds and medians.
 6. The Utility Easement for Transformers shown in the Typical 5' x 10' Utility Easement Detail shall apply to all lots with a transformer installed at the front of the lot.
 7. Lots adjacent to ponds and channels will have a finished floor elevation two feet above the 100 year water surface elevation. Elevations will be designated at time of final platting.
 8. Open space lots will be owned and maintained by the H.O.A.
 9. Proposed alignment for the Hike and Bike Trail is shown hereon. Note that actual location and associated easement will be determined at the time of Final Platting.

PRELIMINARY PLAT
SOMERSET ADDITION

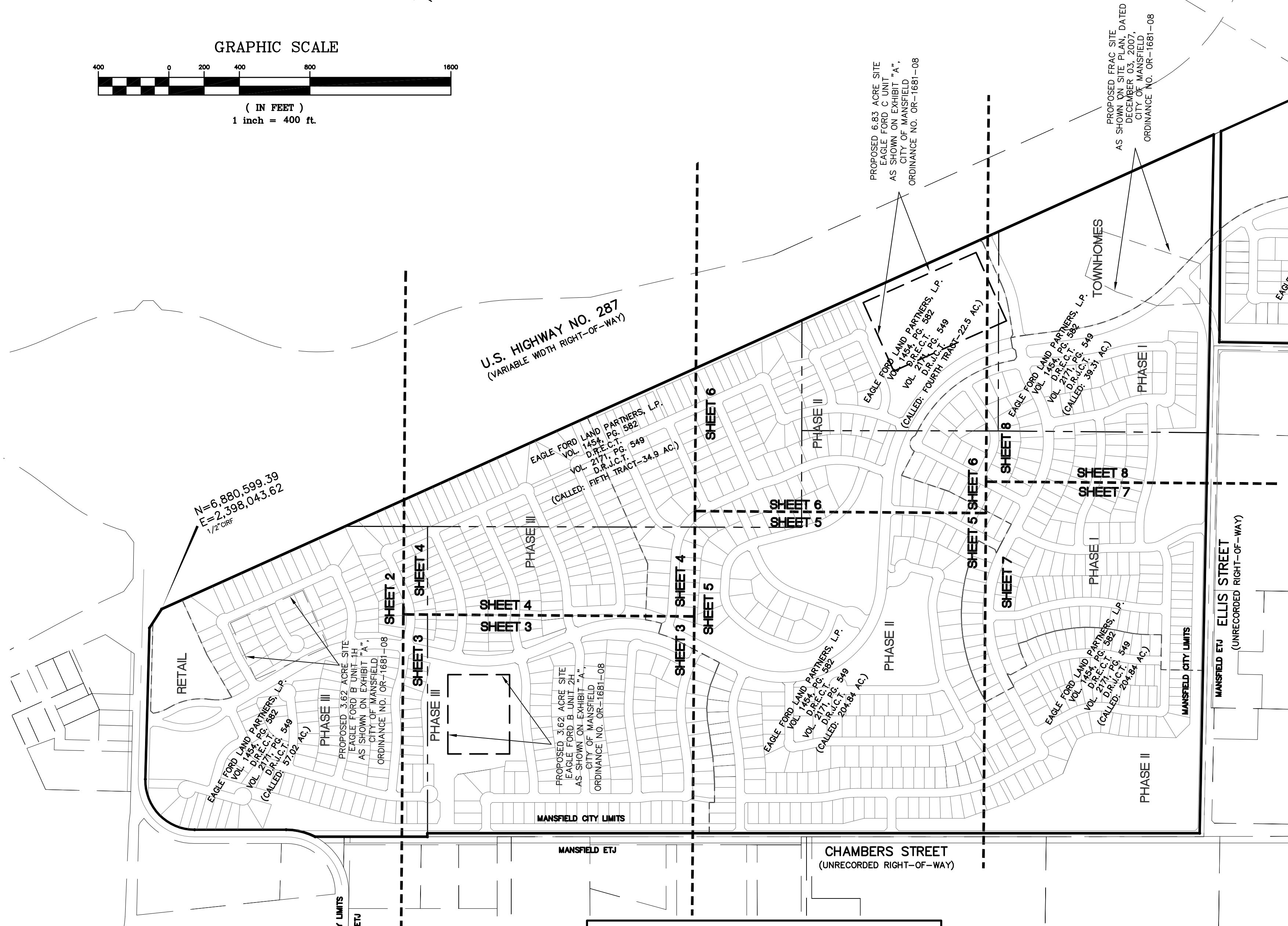
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CITY OF MANSFIELD,
ELLIS AND JOHNSON COUNTY, TEXAS

1,106 RESIDENTIAL LOTS; 48 OPENSACE / RETAIL / TOWNHOME LOTS

KNOX STREET PARTNERS NO. 10, LTD.		OWNER
3001 Knox Street, Suite 207		Phone: (214) 445-2205
Dallas, Texas 75205		Email: ben@hanoverproperty.com
Contact: Ben Luedtke		
EAGLE FORD LAND PARTNERS, LP		OWNER
4625 Greenville Ave, Suite 101		Phone: (214) 696-0575
Dallas, Texas 75206		Fax: (214) 696-0596
Contact: Tom Whittenbraker		
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Suite 200 B		
Addison, Texas 75001		Fax: (972) 248-1414
Contact: Daniel Dewey, PE		

Revised: September 29, 2015
Submitted: July 06, 2015



LOT INFORMATION:

TOTAL AREA:	487.071 ACRES
COMMERCIAL AREA:	77.621 ACRES
TOWNHOMES / MIXUSE:	18.909 ACRES

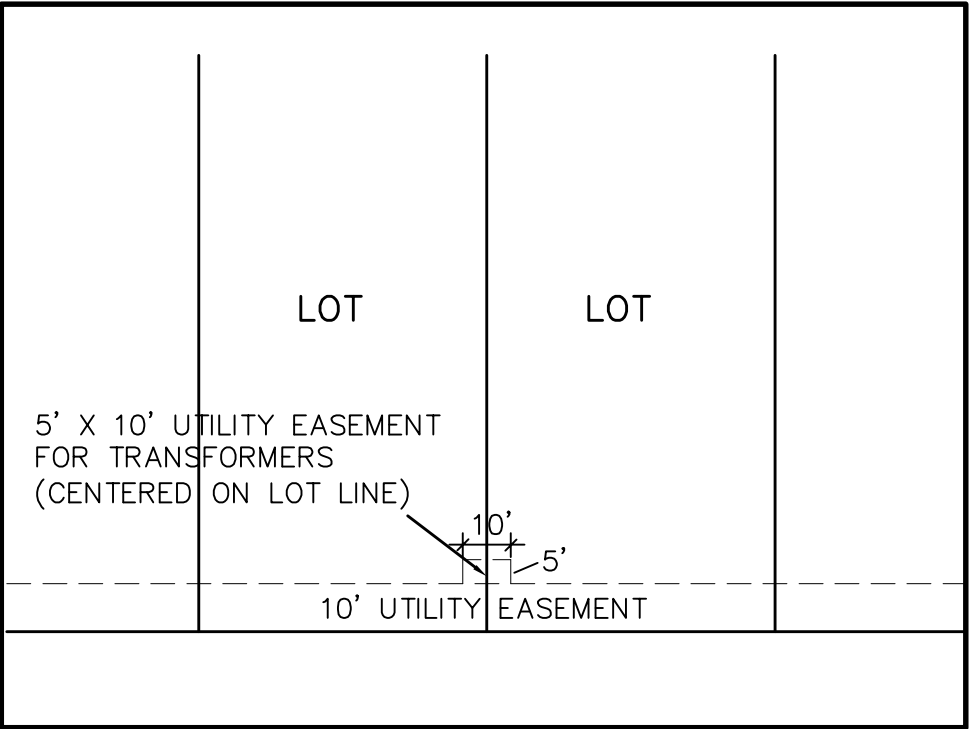
SINGLE FAMILY LOTS: 1,106 TOTAL LOTS

- RESIDENTIAL PRODUCT 1 (80' LOTS): 94 LOTS
- RESIDENTIAL PRODUCT 2 (70' LOTS): 154 LOTS
- RESIDENTIAL PRODUCT 3 (60' LOTS): 434 LOTS
- RESIDENTIAL PRODUCT 4 (50' LOTS): 424 LOTS

OPEN SPACE LOTS: 43 TOTAL LOTS

BENCHMARKS:

1. City of Mansfield Geodetic Control Monument TNP Mansfield "F", a Bernsten Top Security Monument with access cover, located at the northeast intersection of Lone Star Road and Main Street (Business 287), being approximately 1000 feet in a northwest direction from the center of Lone Star Road and being approximately 22 feet in a northeasterly direction from the easterly edge of asphalt along Main Street.
Elev. = 655.43
2. City of Mansfield monument in the southwest corner of a 10 foot inlet at the most southwesterly corner of Flying L Lane.
Elev. = 634.68
3. Square cut on the south corner of an inlet on the southwest side of U.S. Highway No. 287 being approximately 2600 feet southeast of the centerline intersection of Main Street and Lone Star Road.
Elev. = 633.16
4. Square cut on center of concrete inlet on the northwesterly side of Ellis Street being approximately 970 feet in a southwesterly direction from the centerline intersection of Ellis Street and Hardy Street.
Elev. = 605.39
5. Square cut on the east side of a headwall located on the easterly side of Chamber Street, just north of access drive to a well site that is approximately 750 feet southeasterly of the intersection of Chamber Street and Lone Star Road.
Elev. = 638.37

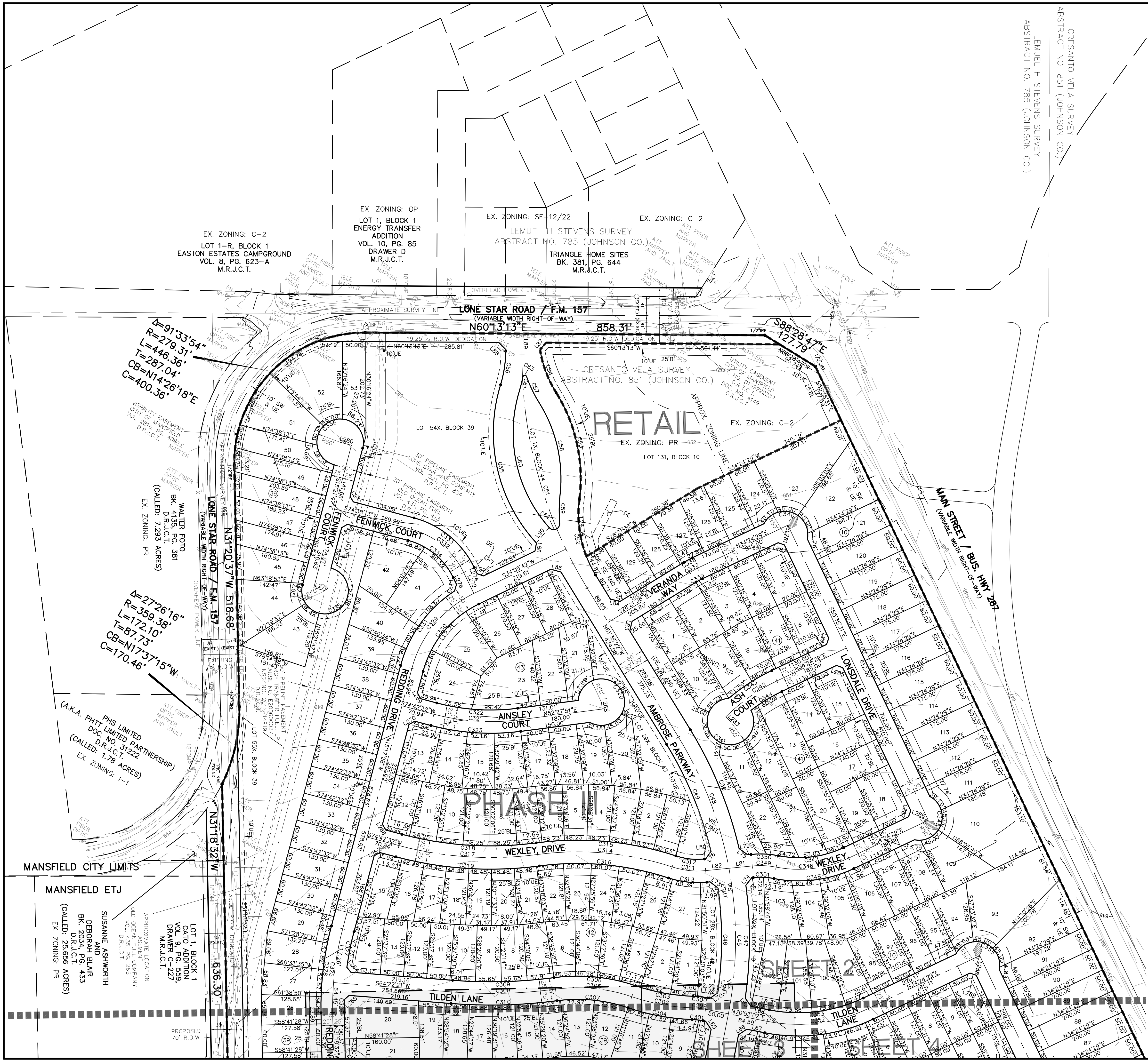


TYPICAL 5' X 10' UTILITY
EASEMENT DETAIL
(NOT TO SCALE)

SHEET INDEX

APPROVED PRELIMINARY PLAT

FLOOD STATEMENT: According to the Ellis County Community Panel No. 48139C0025F, dated June 3, 2013 and the Johnson County Community Panel No. 48251C0125J, dated December 4, 2014 of the Federal Emergency Management Agency, National Flood Insurance Program Map, this property is within Flood Zone "X", (areas determined to be outside 500-year floodplain), which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.



LEGEND

- CRF CAPPED IRON ROD FOUND
- IRS IRON ROD SET
- R.O.W. RIGHT-OF-WAY
- MON MONUMENT
- SW & UE SCREENING WALL AND UTILITY EASEMENT
- UE UTILITY EASEMENT
- DE DRAINAGE EASEMENT
- BL BUILDING LINE
- WM WATER METER
- WV WATER VALVE
- ICV IRRIGATION CONTROL VALVE
- FH FIRE HYDRANT
- RCP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- COMM COMMUNICATION
- VLT VAULT
- VIS ESMT VISIBILITY EASEMENT
- SSWR ESMT SANITARY SEWER EASEMENT
- ELEC ELECTRIC
- UGL UNDERGROUND GAS LINE MARKER
- C.R. COUNTY ROAD
- SP SERVICE POLE
- HPWL HIGH PRESSURE WATER LINE MARKER
- STREET SIGN STREET NAME CHANGE
- EXISTING WELLHEAD EXISTING WELLHEAD

AREAS WITHIN 300' OF THE DRILL SITE (SUP) BOUNDARY

GRAPHIC SCALE

(IN FEET)

1 inch = 100 ft.

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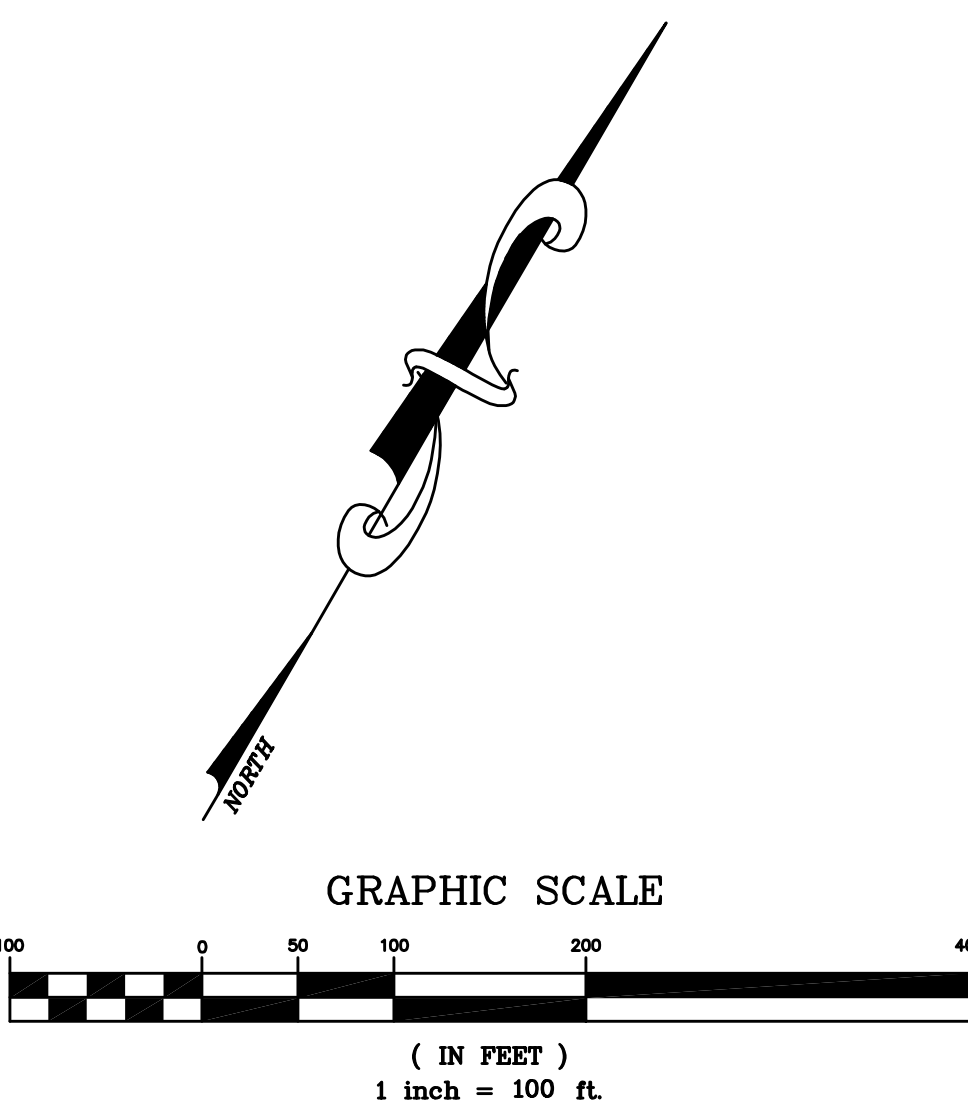
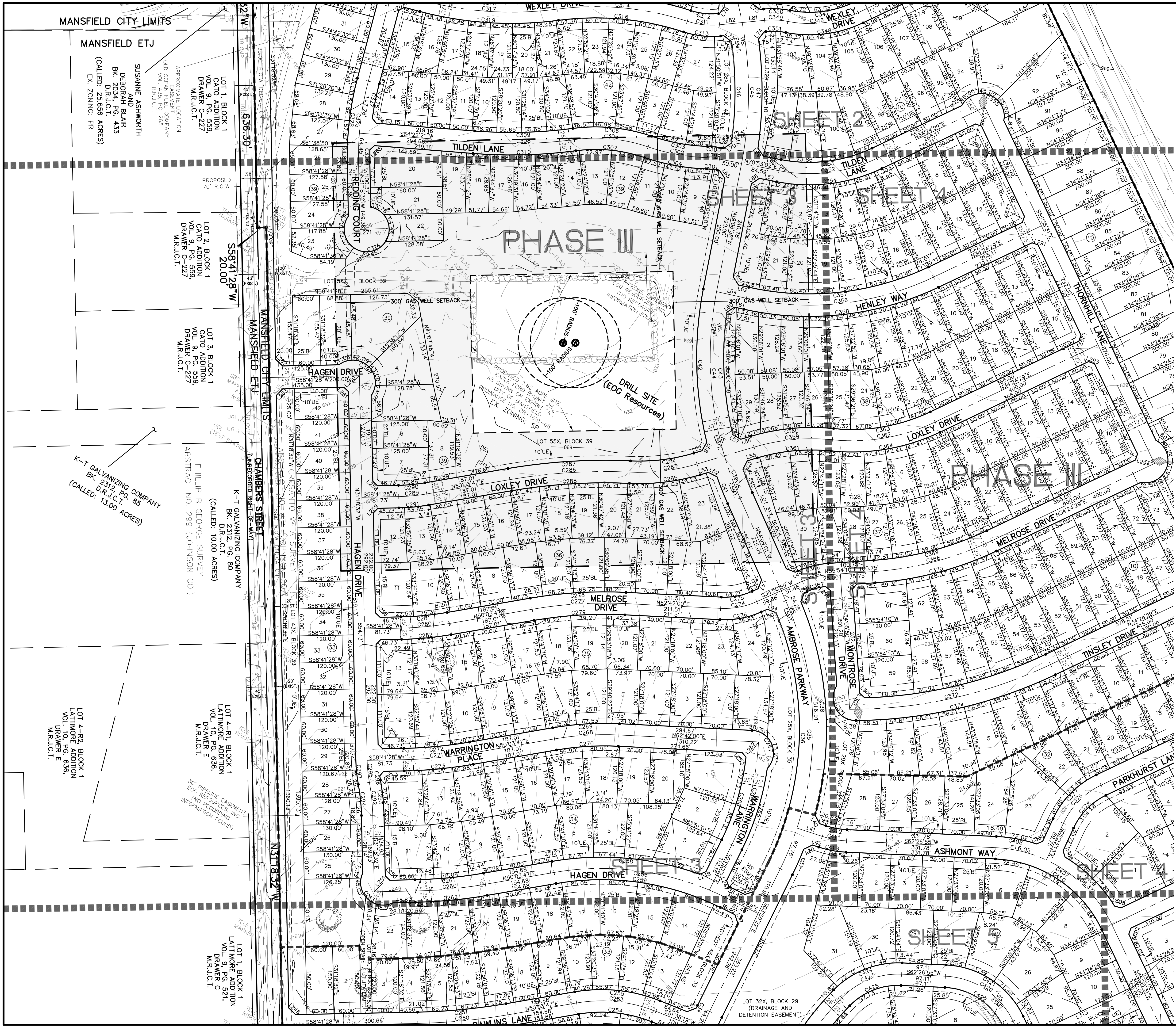
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CASE NO. (SD#15-033)



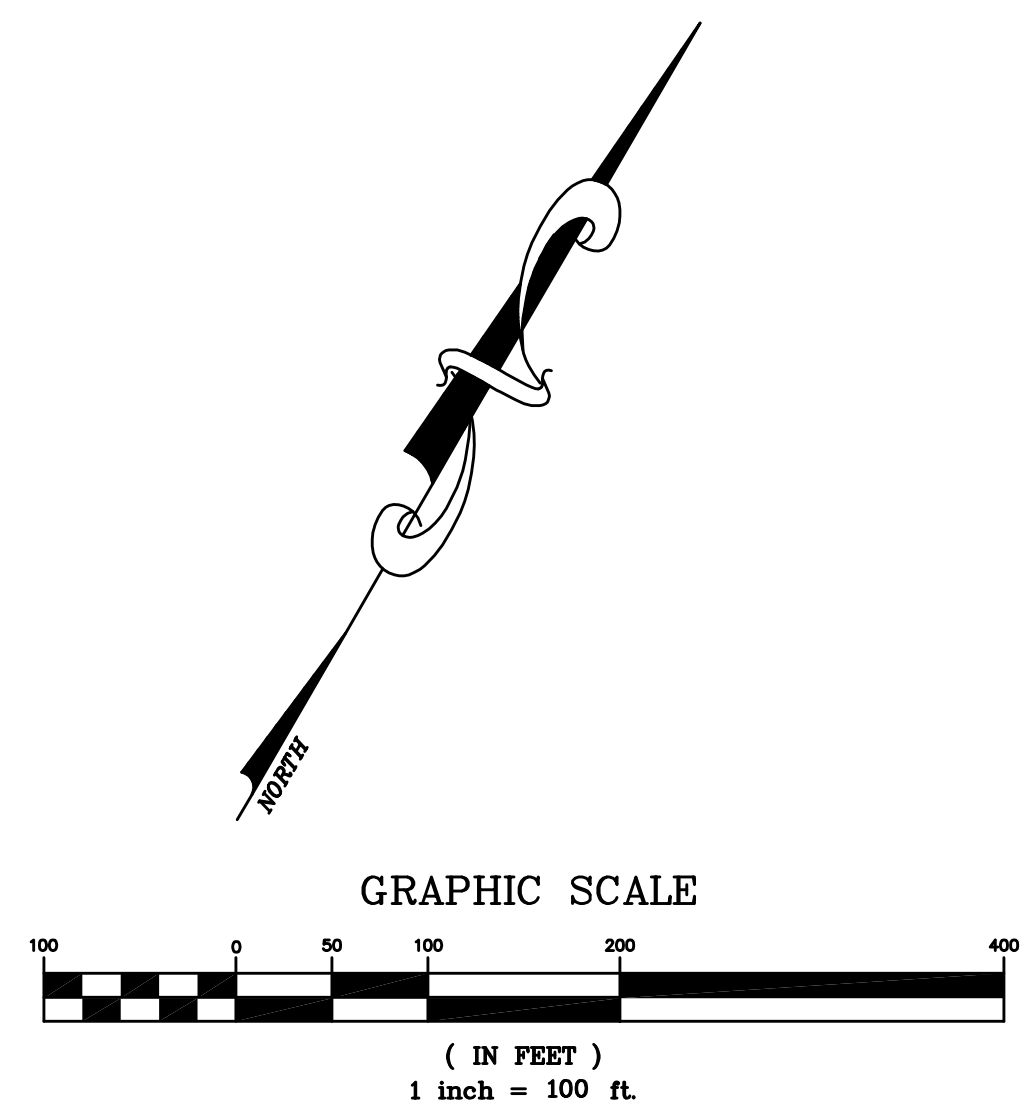
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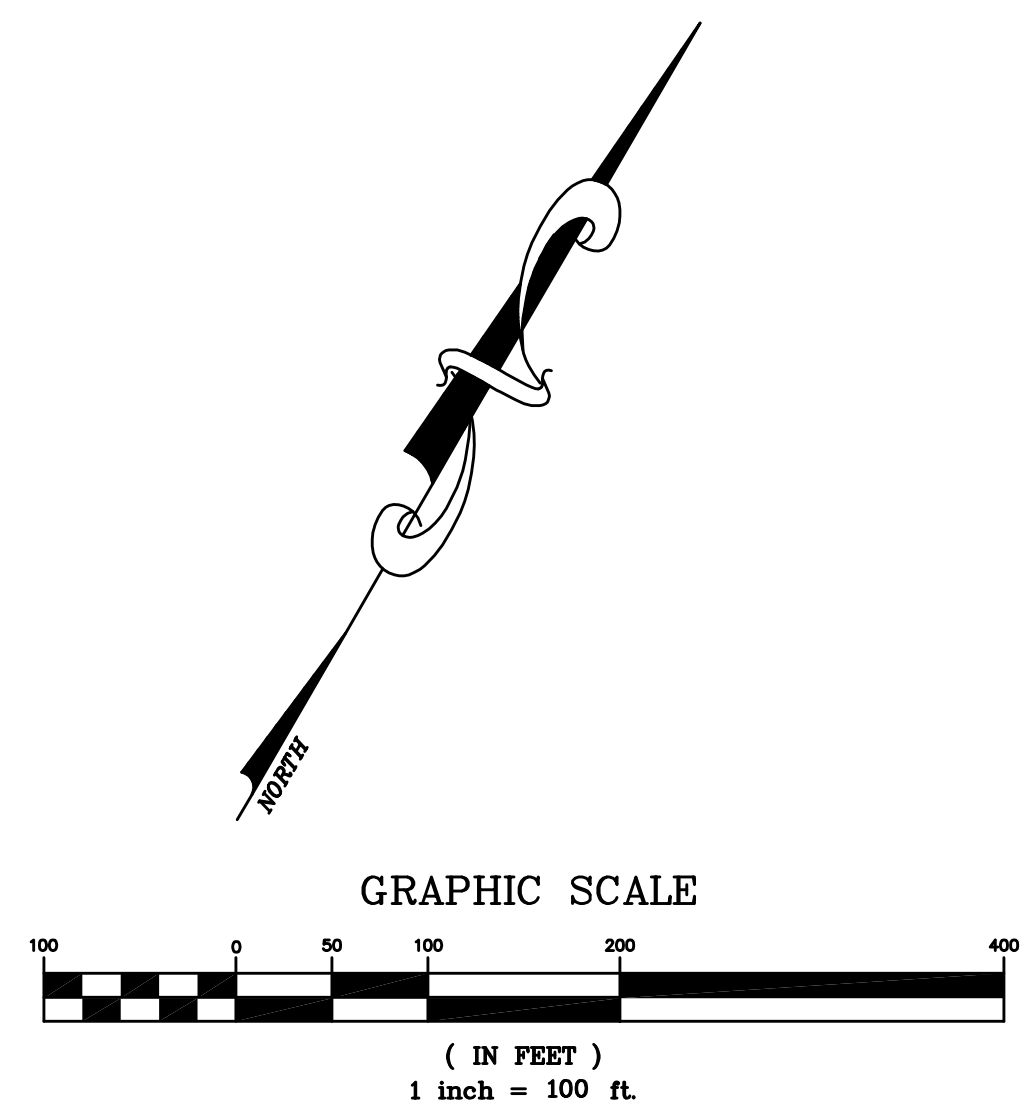
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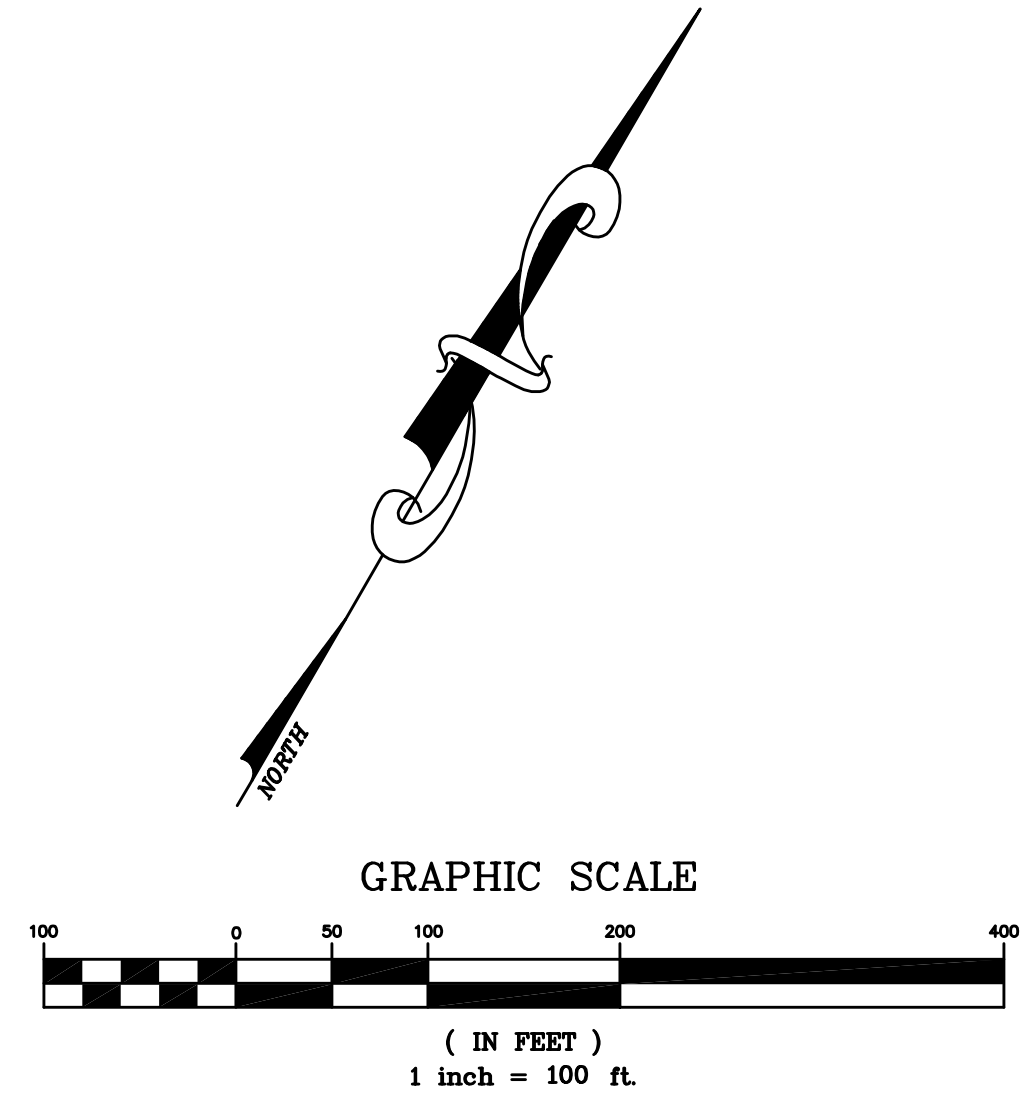
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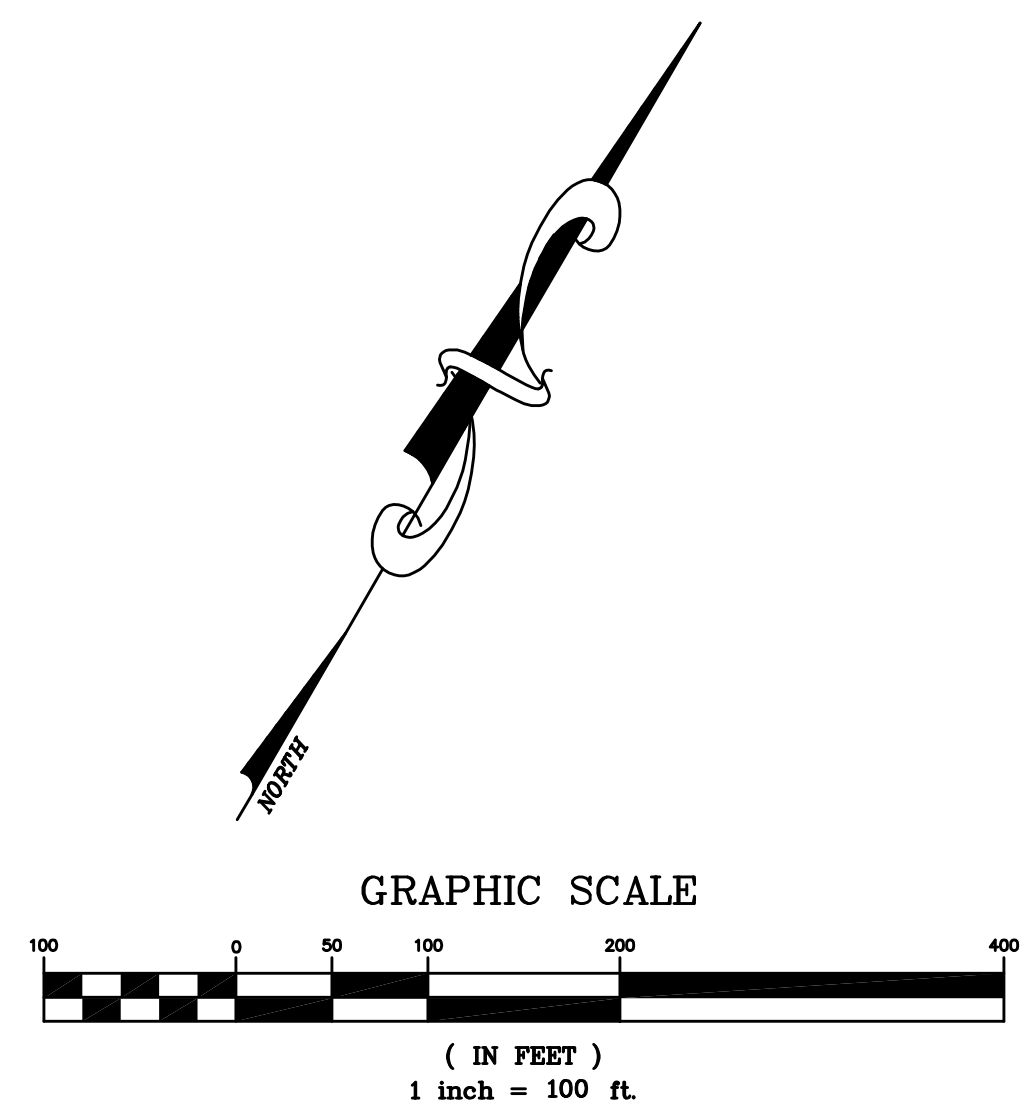
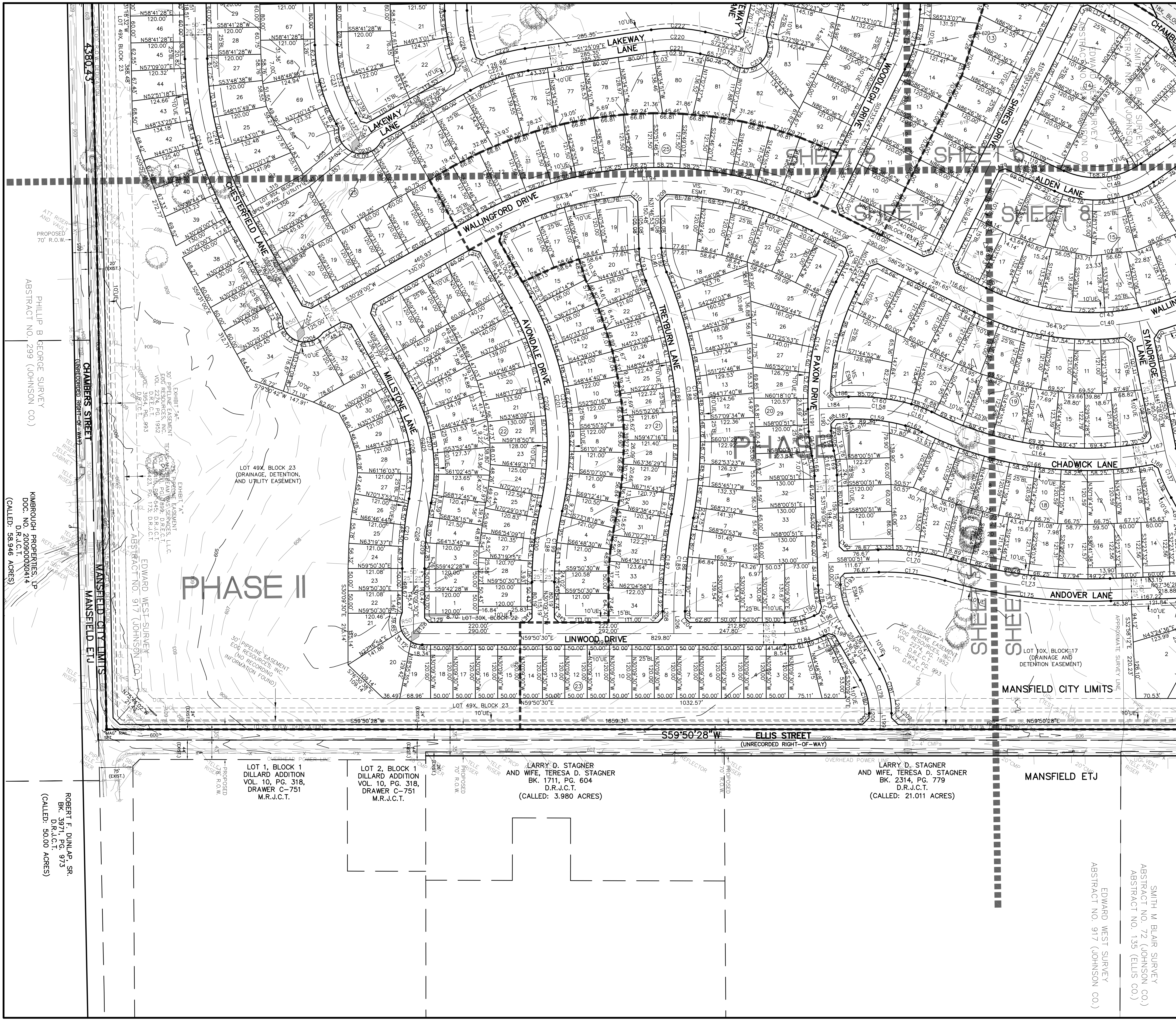
Revised: September 29, 2015
Submitted: July 06, 2015

Sheet 6 of 13

CASE NO. (SD#15-033)

Drawing: H:\Projects\150008-Whittenbraker-Longview\150008-plot.dwg Plot Date: 9/29/2015 8:30 AM Plotted by: sbuck Plot Date: 9/29/2015 8:30 AM

68



PRELIMINARY PLAT
SOMERSET ADDITION

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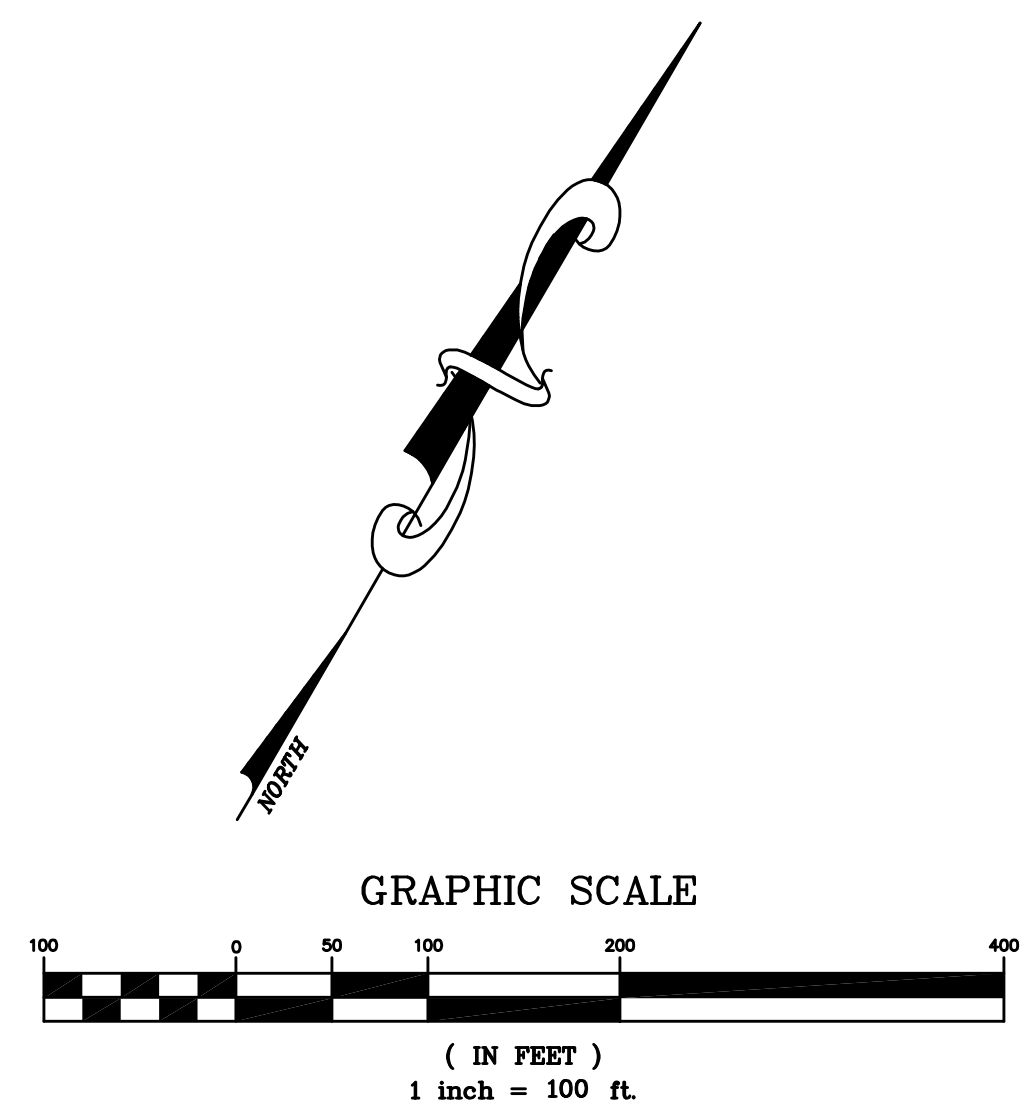
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Sheet 7 of 13



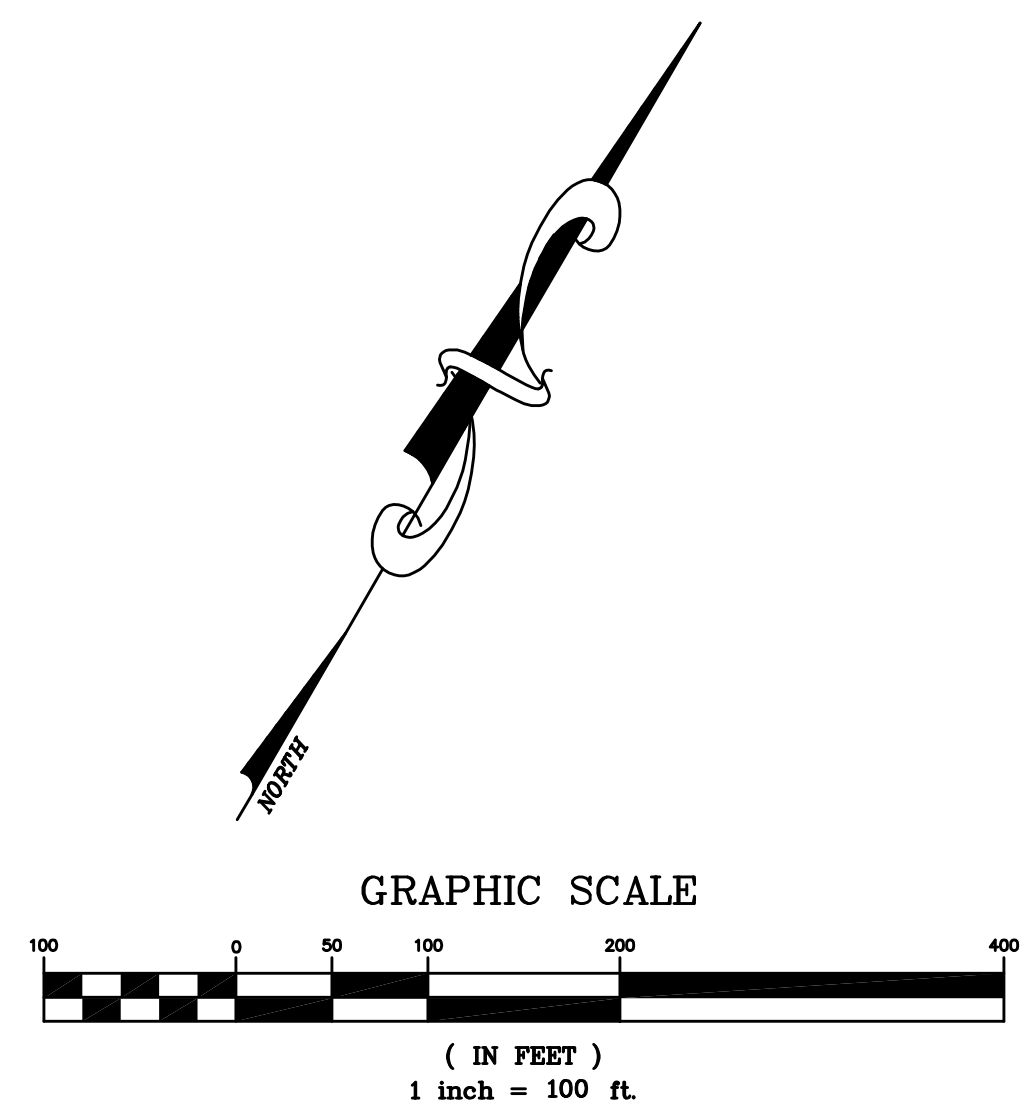
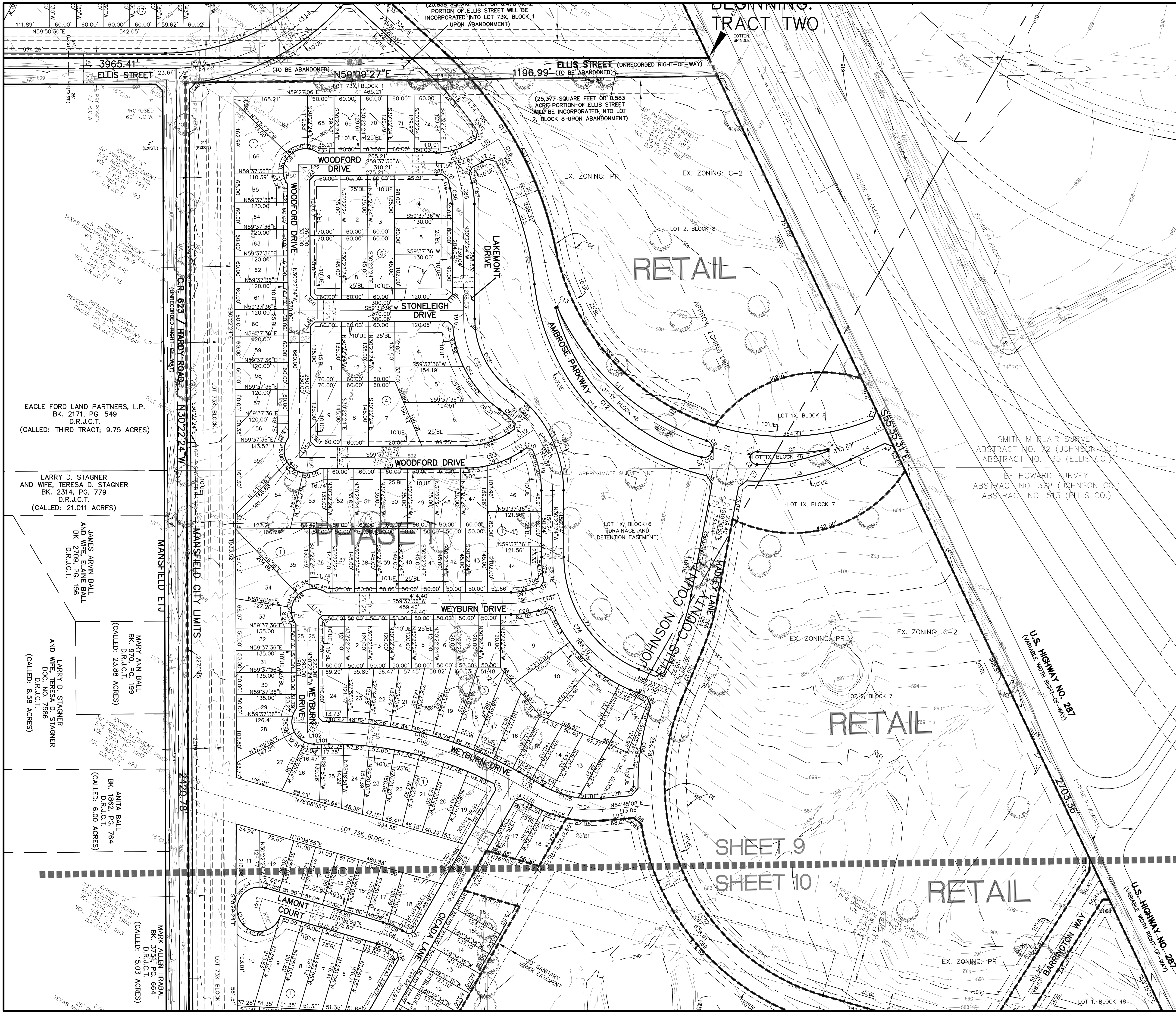
PRELIMINARY PLAT
SOMERSET ADDITION

487.071 ACRES OF THE B. HOWARD SURVEY, ABSTRACT NO. 513 (ELLIS COUNTY) AND ABSTRACT NO. 378 (JOHNSON COUNTY); A PART OF THE S. BLAIR SURVEY, ABSTRACT NO. 135 (ELLIS COUNTY) AND 72 (JOHNSON COUNTY); A PART OF THE E. WEST SURVEY, ABSTRACT NO. 917 (JOHNSON COUNTY); A PART OF THE C. VELA SURVEY, ABSTRACT NO. 851 (JOHNSON COUNTY);

CITY OF MANSFIELD,
ELLIS AND JOHNSON COUNTY, TEXAS

1,106 RESIDENTIAL LOTS; 48 OPENSACE / RETAIL / TOWNHOME LOTS

KNOX STREET PARTNERS NO. 10, LTD.		OWNER
3001 Knox Street, Suite 207 Dallas, Texas 75205 Contact: Ben Luedtke		Phone: (214) 445-2205 Email: ben@hanoverproperty.com
EAGLE FORD LAND PARTNERS, LP		OWNER
4625 Greenville Ave, Suite 101 Dallas, Texas 75206 Contact: Tom Whittenbraker		Phone: (214) 696-0575 Fax: (214) 696-0596
HANOVER PROPERTIES, INC.		DEVELOPER
3001 Knox Street, Suite 207 Dallas, Texas 75205 Contact: Ben Luedtke		Phone: (214) 445-2205 Email: ben@hanoverproperty.com
JBI PARTNERS, INC.		SURVEYOR/ENGINEER
16301 Quorum Drive Suite 200 B Addison, Texas 75001 Contact: Daniel Dewey, PE		Phone: (972) 248-7676 Fax: (972) 248-1414



PRELIMINARY PLAT
SOMERSET ADDITION

487.071 ACRES OF THE B. HOWARD SURVEY, ABSTRACT NO. 513 (ELLIS COUNTY) AND ABSTRACT NO. 378 (JOHNSON COUNTY); A PART OF THE S. BLAIR SURVEY, ABSTRACT NO. 135 (ELLIS COUNTY) AND 72 (JOHNSON COUNTY); A PART OF THE E. WEST SURVEY, ABSTRACT NO. 917 (JOHNSON COUNTY); A PART OF THE C. VELA SURVEY, ABSTRACT NO. 851 (JOHNSON COUNTY);

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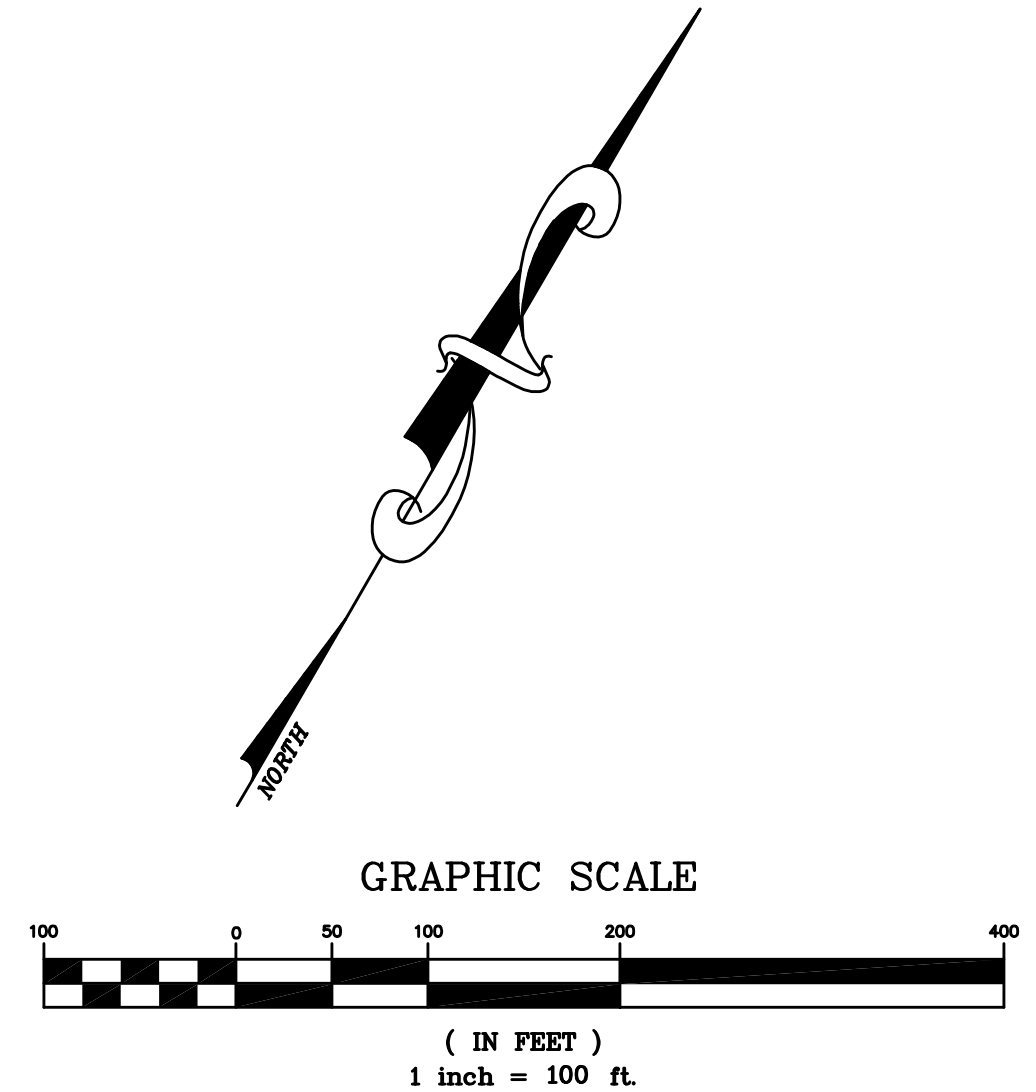
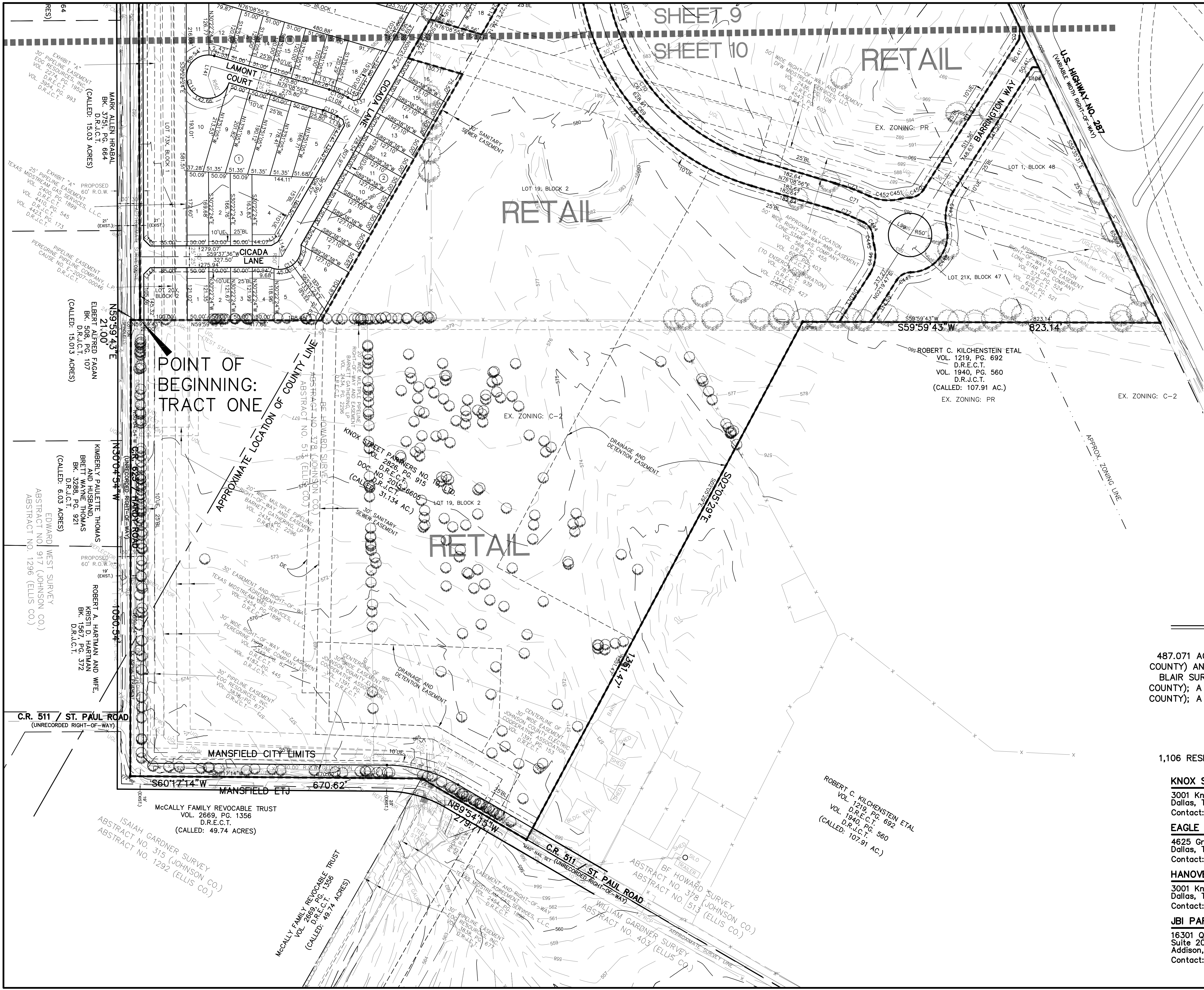
EAGLE FORD LAND PARTNERS, LP	OWNER
4625 Greenville Ave, Suite 101 Dallas, Texas 75206 Contact: Tom Whittenbraker	Phone: (214) 696-0575 Fax: (214) 696-0596

HANOVER PROPERTIES, INC.	DEVELOPER
3001 Knox Street, Suite 207 Dallas, Texas 75205 Contact: Ben Luedtke	Phone: (214) 445-2205 Email: ben@hanoverproperty.com

JB PARTNERS, INC.	SURVEYOR/ENGINEER
16301 Quorum Drive Suite 200 B Addison, Texas 75001 Contact: Daniel Dewey, PE	Phone: (972) 248-7676 Fax: (972) 248-1414

Revised: September 29, 2015
Submitted: July 06, 2015

Sheet 9 of 13



PRELIMINARY PLAT
SOMERSET ADDITION

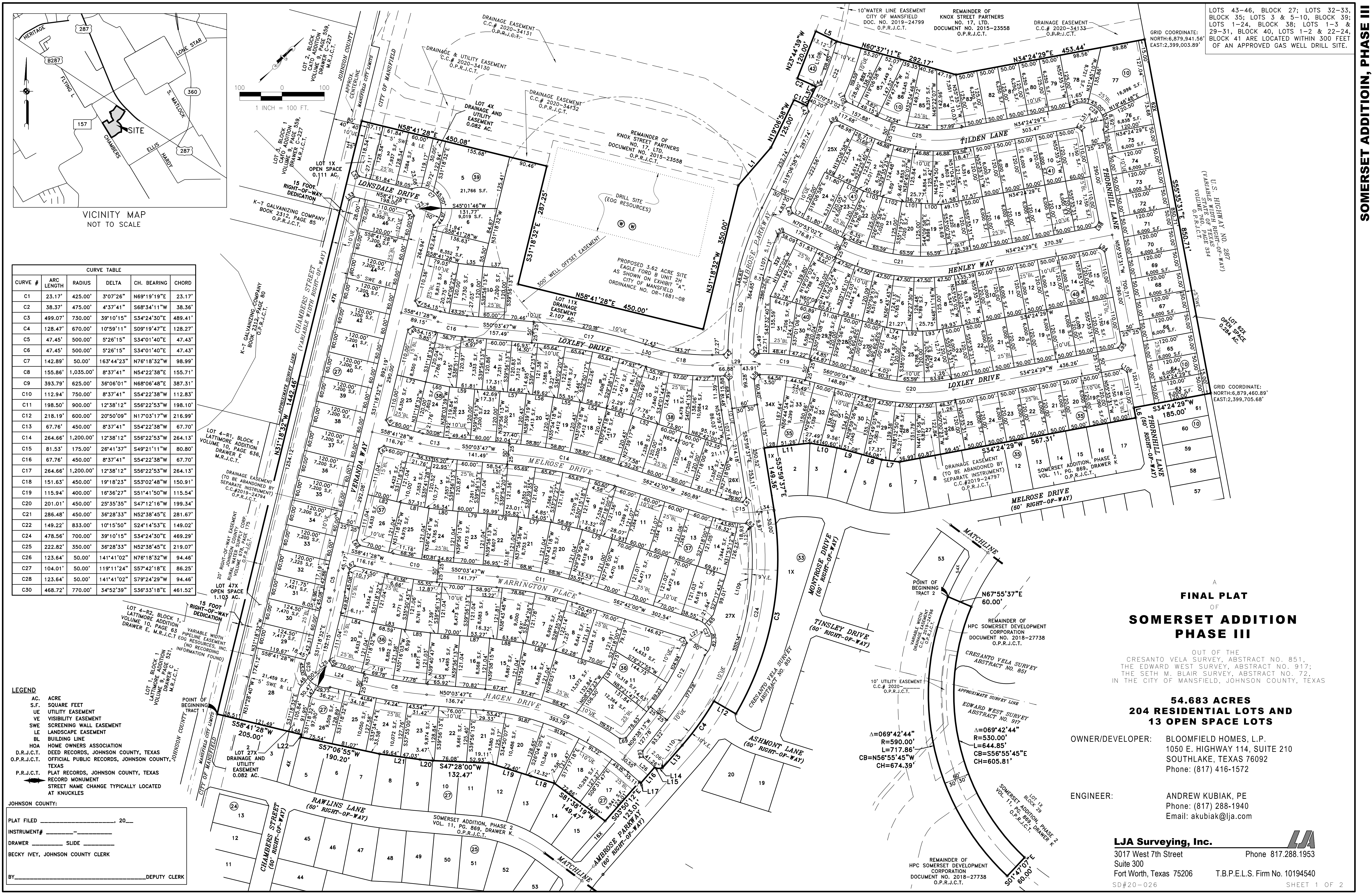
487.071 ACRES OF THE B. HOWARD SURVEY, ABSTRACT NO. 513 (ELLIS COUNTY) AND ABSTRACT NO. 378 (JOHNSON COUNTY); A PART OF THE S. BLAIR SURVEY, ABSTRACT NO. 135 (ELLIS COUNTY) AND 72 (JOHNSON COUNTY); A PART OF THE E. WEST SURVEY, ABSTRACT NO. 917 (JOHNSON COUNTY); A PART OF THE C. VELA SURVEY, ABSTRACT NO. 851 (JOHNSON COUNTY);

CITY OF MANSFIELD,
ELLIS AND JOHNSON COUNTY, TEXAS

1,106 RESIDENTIAL LOTS; 48 OPENSACE / RETAIL / TOWNHOME LOTS

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Revised: September 29, 2015
Submitted: July 06, 2015



CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA	CH. BEARING	CHORD
C1	23.17'	425.00'	3°07'26"	N69°19'19"E	23.17'
C2	38.37'	475.00'	4°37'41"	S68°34'11"W	38.36'
C3	499.07'	730.00'	39°10'15"	S34°24'30"E	489.41'
C4	128.47'	670.00'	10°59'11"	S09°19'47"E	128.27'
C5	47.45'	500.00'	5°26'15"	S34°01'40"E	47.43'
C6	47.45'	500.00'	5°26'15"	S34°01'40"E	47.43'
C7	142.89'	50.00'	163°44'23"	N76°18'32"W	98.99'
C8	155.86'	1,035.00'	8°37'41"	N54°22'38"E	155.71'
C9	393.79'	625.00'	36°06'01"	N68°06'48"E	387.31'
C10	112.94'	750.00'	8°37'41"	S54°22'38"W	112.83'
C11	198.50'	900.00'	12°38'12"	S56°22'53"W	198.10'
C12	218.19'	600.00'	20°50'09"	N17°03'17"W	216.99'
C13	67.76'	450.00'	8°37'41"	S54°22'38"W	67.70'
C14	264.66'	1,200.00'	12°38'12"	S56°22'53"W	264.13'
C15	81.53'	175.00'	26°41'37"	S49°21'11"W	80.80'
C16	67.76'	450.00'	8°37'41"	S54°22'38"W	67.70'
C17	264.66'	1,200.00'	12°38'12"	S56°22'53"W	264.13'
C18	151.63'	450.00'	19°18'23"	S53°02'48"W	150.91'
C19	115.94'	400.00'	16°36'27"	S51°41'50"W	115.54'
C20	201.01'	450.00'	25°35'35"	S47°12'16"W	199.34'
C21	286.48'	450.00'	36°28'33"	N52°38'45"E	281.67'
C22	149.22'	833.00'	10°15'50"	S24°14'53"E	149.02'
C24	478.56'	700.00'	39°10'15"	S34°24'30"E	469.29'
C25	222.82'	350.00'	36°28'33"	N52°38'45"E	219.07'
C26	123.64'	50.00'	141°41'02"	N76°18'32"W	94.46'
C27	104.01'	50.00'	119°11'24"	S57°42'18"E	86.25'
C28	123.64'	50.00'	141°41'02"	S79°24'29"W	94.46'
C30	468.72'	770.00'	34°52'39"	S36°33'18"E	461.52'

LEGEND

AC. ACRE
S.F. SQUARE FEET
UE UTILITY EASEMENT
VE VISIBILITY EASEMENT
SWE SCREENING WALL EASEMENT
LE LANDSCAPE EASEMENT
BL BUILDING LINE
HOA HOME OWNERS ASSOCIATION
D.R.J.C.T. DEED RECORDS, JOHNSON COUNTY, TEXAS
O.P.R.J.C.T. OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS
P.R.J.C.T. PLAT RECORDS, JOHNSON COUNTY, TEXAS
RECORD MONUMENT
STREET NAME CHANGE TYPICALLY LOCATED AT KNUCKLES

JOHNSON COUNTY:

PLAT FILED _____, 20____

INSTRUMENT# _____

DRAWER _____ SLIDE _____

BECKY IVEY, JOHNSON COUNTY CLERK

BY _____ DEPUTY CLERK

**FINAL PLAT OF
SOMERSET ADDITION
PHASE III**

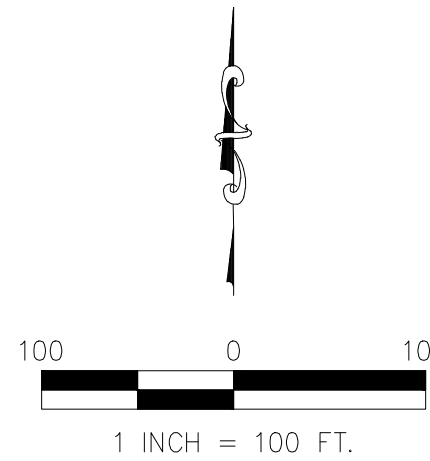
OUT OF THE
CRESANTO VELA SURVEY, ABSTRACT NO. 851,
THE EDWARD WEST SURVEY, ABSTRACT NO. 917,
THE SETH M. BLAIR SURVEY, ABSTRACT NO. 72,
IN THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS

**54.683 ACRES
204 RESIDENTIAL LOTS AND
13 OPEN SPACE LOTS**

OWNER/DEVELOPER: BLOOMFIELD HOMES, L.P.
1050 E. HIGHWAY 114, SUITE 210
SOUTHLAKE, TEXAS 76092
Phone: (817) 416-1572

ENGINEER: ANDREW KUBIAK, PE
Phone: (817) 288-1940
Email: akubiak@lja.com

LJA Surveying, Inc.
3017 West 7th Street
Suite 300
Fort Worth, Texas 75206
Phone 817.288.1953
T.B.P.E.L.S. Firm No. 10194540
SD#20-026 SHEET 1 OF 2



CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS.

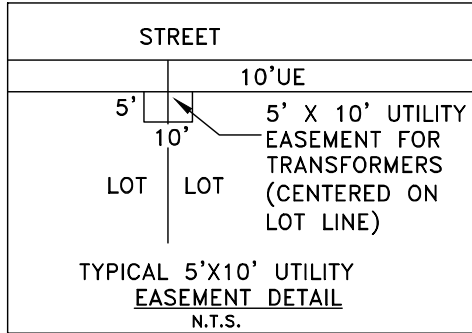
NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS, IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR FOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE WORK. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL, OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN A DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL, OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

GENERAL NOTES:

1. NOTICE: SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
2. BASIS OF BEARINGS BEING GRID NORTH, TEXAS STATE PLANE COORDINATES, NORTH CENTRAL ZONE (4202), NAD83 (2011) EPOCH 2010, DETERMINED BY GPS OBSERVATIONS IN REFERENCE TO THE CITY OF MANSFIELD'S OFFICIAL GPS MONUMENT: TNP MANSFIELD "P" CALCULATED FROM DENTON CORS ARP (PID-DF8986) AND ARLINGTON RP22 CORS (PID-DF3387). DISTANCES SHOWN ARE DERIVED FROM THE APPLICATION OF A SURFACE ADJUSTMENT FACTOR OF 1.00012 APPLIED FROM ORIGIN (0,0). COORDINATES SHOWN ARE IN GRID.
3. A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE AMENITIES: COMMON AREAS INCLUDING BUT NOT LIMITED TO SCREENING FENCES, INCLUDING THE PARKWAY BETWEEN A SCREENING FENCE AND THE STREET, LANDSCAPING, AND THE ROUND-ABOUTS AND MEDIANS.
4. OPEN SPACE LOTS WILL BE OWNED AND MAINTAINED BY THE H.O.A.
5. THE UTILITY EASEMENT FOR ALL TRANSFORMER SHALL APPLY TO ALL LOTS WITH A TRANSFORMER INSTALLED AT OR NEAR THE FRONT LOT CORNER (SEE TYPICAL 5'X10' UTILITY EASEMENT DETAIL).
6. SUBJECT TRACT APPEARS TO BE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, NO. 48251C0125J, REVISED DECEMBER 4, 2012.
7. ALL CORNERS ARE 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA SURVEYING" SET UNLESS OTHERWISE SPECIFIED.
8. NO TREES, FENCES, WALLS OR ANYTHING OVER 2' IN HEIGHT IS ALLOWED IN VISIBILITY EASEMENTS.



JOHNSON COUNTY:

PLAT FILED _____, 20____

INSTRUMENT# _____

DRAWER _____ SLIDE _____

BECKY IVEY, JOHNSON COUNTY CLERK

BY _____ DEPUTY CLERK

Line Table

Line #	Direction	Length
L1	N04° 08' 34"W	117.84'
L2	N70° 53' 03"E	10.00'
L3	N19° 33' 44"W	50.00'
L4	S70° 53' 02"W	9.61'
L5	N70° 51' 43"E	55.16'
L6	S55° 35' 31"E	24.29'
L7	S51° 58' 18"W	42.58'
L8	S59° 56' 14"W	48.45'
L9	S60° 04' 14"W	60.64'
L10	S54° 51' 39"W	65.04'
L11	S38° 56' 52"W	108.79'
L12	S75° 10' 37"W	60.00'
L13	S03° 50' 12"E	71.77'
L14	S41° 09' 48"W	14.14'
L15	S86° 09' 48"W	5.00'
L16	S03° 50' 12"E	50.00'
L17	S86° 09' 48"W	4.39'
L18	S61° 57' 54"W	58.30'
L19	S62° 17' 44"W	103.84'
L20	S50° 03' 47"W	29.75'
L21	S52° 48' 02"W	96.67'
L22	N31° 18' 32"W	5.95'
L23	S13° 41' 28"W	21.21'
L24	N58° 41' 28"E	112.19'
L25	S13° 41' 28"W	28.28'
L26	N86° 09' 48"E	39.50'
L27	N11° 59' 54"E	32.31'

Line Table

Line #	Direction	Length
L28	S38° 56' 52"W	30.04'
L29	S43° 23' 37"W	110.79'
L30	S62° 42' 00"W	17.43'
L31	N10° 35' 31"W	28.28'
L32	N76° 18' 32"W	14.14'
L33	N13° 41' 28"E	14.14'
L34	S36° 00' 23"W	39.97'
L35	S51° 37' 16"W	58.03'
L36	N02° 46' 05"W	13.83'
L37	N50° 03' 47"E	60.00'
L38	S89° 33' 19"W	13.85'
L39	N24° 32' 07"E	13.81'
L40	N64° 06' 58"W	14.14'
L41	N76° 18' 32"W	14.14'
L42	S00° 31' 55"E	14.40'
L43	S64° 06' 58"E	14.14'
L44	S24° 48' 48"W	13.88'
L45	S76° 18' 32"E	14.14'
L46	S05° 37' 47"E	30.72'
L47	N11° 23' 58"W	30.39'
L48	S58° 41' 28"W	30.00'
L49	N13° 41' 28"E	14.14'
L50	N87° 19' 09"E	14.40'
L51	S04° 12' 09"E	12.91'
L52	S63° 04' 56"W	60.59'
L53	N60° 58' 13"E	64.57'
L54	N58° 13' 12"E	64.57'

Line Table

Line #	Direction	Length
L55	N55° 28' 17"E	64.57'
L56	N52° 43' 07"E	64.57'
L57	N49° 58' 37"E	62.13'
L58	S50° 03' 47"W	42.69'
L59	N50° 03' 47"E	59.44'
L60	S56° 45' 02"W	57.67'
L61	N76° 18' 32"W	14.14'
L62	N13° 41' 28"E	14.14'
L63	N85° 46' 22"E	14.75'
L64	N50° 14' 12"W	14.48'
L65	S02° 30' 22"E	29.35'
L66	N76° 18' 32"W	14.14'
L67	N13° 41' 28"E	14.14'
L68	N76° 18' 32"W	14.14'
L69	S37° 02' 26"W	14.46'
L70	S70° 53' 43"E	13.79'
L71	S70° 53' 02"W	26.68'
L72	S58° 41' 28"W	70.00'
L73	S62° 41' 26"W	71.83'
L74	S55° 28' 56"W	38.92'
L75	S62° 07' 54"W	73.68'
L76	S58° 23' 21"W	77.06'
L77	S54° 10' 03"W	77.06'
L78	S50° 33' 28"W	73.34'
L79	S50° 03' 47"W	70.00'
L80	S50° 51' 35"W	68.81'
L81	S56° 25' 57"W	68.08'

Line Table

Line #	Direction	Length
L82	S58° 41' 28"W	80.00'
L83	N56° 37' 57"E	77.58'
L84	N58° 41' 28"E	80.00'
L85	N52° 14' 42"E	59.46'
L86	N50° 03' 47"E	69.91'
L87	N50° 03' 47"E	70.75'
L88	N53° 02' 03"E	80.00'
L89	N58° 58' 33"E	79.92'
L90	N62° 42' 00"E	132.28'
L91	S08° 39' 23"E	26.35'
L92	N47° 26' 56"E	47.02'
L93	N40° 09' 01"E	34.43'
L94	N79° 24' 29"E	14.14'
L95	S10° 35' 31"E	14.14'
L96	N25° 53' 02"E	14.14'
L97	N79° 24' 29"E	14.14'
L98	S10° 35' 31"E	14.14'
L99	S70° 49' 20"W	22.30'
L100	S47° 53' 12"W	46.96'
L101	S50° 15' 17"W	46.25'
L102	S59° 05' 48"W	46.25'
L103	S61° 56' 17"W	47.38'
L104	S70° 49' 20"W	50.00'
L105	N65° 06' 44"W	14.39'
L106	N79° 24' 29"E	14.14'
L107	N28° 30' 16"W	196.67'
L108	S29° 38' 55"E	114.46'
L109	S43° 07' 38"E	208.27'
L110	N08° 40' 04"W	244.60'

OWNER'S CERTIFICATE

STATE OF TEXAS X
COUNTY OF JOHNSON X

WHEREAS, BLOOMFIELD HOMES, L.P., ACTING BY AND THROUGH THE UNDERSIGNED, ITS DULY AUTHORIZED AGENT, IS THE SOLE OWNER OF A 54.683 ACRE TRACT OF LAND SITUATED IN THE CRESANTO VELA SURVEY, ABSTRACT NO. 851, AND THE EDWARD WEST SURVEY, ABSTRACT NO. 917 IN THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, AND BEING ALL OF THAT TRACT OF LAND DESCRIBED TO BLOOMFIELD HOMES, L.P. BY DEED RECORDED IN DOCUMENT NO. 2020-35751, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS, SAID 54.683 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

TRACT 1

BEGINNING AT A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA" FOUND ON THE WESTERLY LINE OF SAID BLOOMFIELD TRACT, SAME BEING THE EASTERLY RIGHT-OF-WAY OF CHAMBERS STREET (A VARIABLE WIDTH RIGHT-OF-WAY) FOR THE NORTHWEST CORNER OF SOMERSET ADDITION PHASE II, AN ADDITION TO THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 11, PAGE 869, DRAWER K OF THE OFFICIAL PROPERTY RECORDS OF JOHNSON COUNTY, TEXAS;

THENCE, NORTH 31°18'32" WEST, WITH THE SOUTHWESTERLY LINE OF SAID BLOOMFIELD TRACT AND SAID EASTERLY RIGHT-OF-WAY LINE OF CHAMBERS STREET, A DISTANCE OF 1442.46 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA" SET (HEREINAFTER REFERRED TO AS "SET IRON ROD") FOR CORNER, FROM WHICH A 1/2-INCH CAPPED IRON ROD STAMPED "TOPOGRAPHIC" FOUND FOR A REENTRANT CORNER ON THE WESTERLY LINE OF SAID BLOOMFIELD TRACT BEARS NORTH 31°18'32" WEST, A DISTANCE OF 178.53 FEET;

THENCE, OVER AND ACROSS SAID BLOOMFIELD TRACT, THE FOLLOWING COURSES AND DISTANCES:

NORTH 58°41'28" EAST, A DISTANCE OF 450.08 FEET TO A SET IRON ROD FOR CORNER;
SOUTH 31°18'32" EAST, A DISTANCE OF 287.25 FEET TO A SET IRON ROD FOR CORNER;
NORTH 58°41'28" EAST, A DISTANCE OF 450.00 FEET TO A SET IRON ROD FOR CORNER;
NORTH 31°18'32" WEST, A DISTANCE OF 350.00 FEET TO A SET IRON ROD FOR CORNER;
NORTH 04°08'34" WEST, A DISTANCE OF 117.84 FEET TO A SET IRON ROD FOR CORNER;
NORTH 19°06'58" WEST, A DISTANCE OF 125.00 FEET TO A SET IRON ROD FOR THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 03°07'26", A RADIUS OF 425.00 FEET, AND A CHORD THAT BEARS NORTH 69°19'19" EAST, 23.17 FEET;

ALONG SAID NON-TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 23.17 FEET TO A SET IRON ROD FOR CORNER;

NORTH 70°53'03" EAST, A DISTANCE OF 10.00 FEET TO A SET IRON ROD FOR CORNER;

NORTH 79°33'44" WEST, A DISTANCE OF 50.60 FEET TO A SET IRON ROD FOR CORNER;

SOUTH 70°53'02" EAST, A DISTANCE OF 9.61 FEET TO A SET IRON ROD FOR THE BEGINNING OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 04°37'41", A RADIUS OF 475.00 FEET, AND A CHORD THAT BEARS SOUTH 68°34'11" WEST, 38.36 FEET;

ALONG SAID CURVE TO THE LEFT, AN ARC DISTANCE OF 38.37 FEET TO A SET IRON ROD FOR CORNER;

NORTH 23°44'39" WEST, A DISTANCE OF 120.00 FEET TO A SET IRON ROD FOR CORNER;

NORTH 70°51'43" EAST, A DISTANCE OF 55.16 FEET TO A SET IRON ROD FOR CORNER;

NORTH 60°37'11" EAST, A DISTANCE OF 292.17 FEET TO A SET IRON ROD FOR CORNER;

NORTH 34°24'29" EAST, A DISTANCE OF 453.44 FEET TO A SET IRON ROD FOR CORNER ON THE NORTHEAST LINE OF SAID BLOOMFIELD TRACT AND BEING ON THE SOUTHWEST LINE OF U.S. HIGHWAY NO. 287 (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE, SOUTH 55°39'31" EAST, WITH SAID SOUTHWEST RIGHT-OF-WAY LINE, A DISTANCE OF 85.71 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA" FOUND (HEREINAFTER REFERRED TO AS "FOUND IRON ROD") FOR THE NORTHEAST CORNER OF AFORESAID SOMERSET ADDITION PHASE II;

THENCE, WITH THE NORTHWESTERLY LINE OF SAID SOMERSET ADDITION PHASE II, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 34°24'29" WEST, A DISTANCE OF 185.00 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 55°35'31" EAST, A DISTANCE OF 24.29 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 34°24'29" WEST, A DISTANCE OF 567.31 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 51°58'18" WEST, A DISTANCE OF 42.58 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 59°56'14" WEST, A DISTANCE OF 48.45 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 60°04'14" WEST, A DISTANCE OF 80.64 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 54°51'39" WEST, A DISTANCE OF 65.04 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 38°56'32" WEST, A DISTANCE OF 108.79 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 53°59'37" EAST, A DISTANCE OF 149.36 FEET TO A FOUND IRON ROD FOR THE BEGINNING

OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 39°10'19", A RADIUS OF 730.00 FEET, AND A CHORD THAT BEARS SOUTH 34°24'30" EAST, 489.41 FEET;

ALONG SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 499.07 FEET TO A FOUND IRON ROD FOR CORNER;

SOUTH 75°10'37" WEST, A DISTANCE OF 60.00 FEET TO A FOUND IRON ROD FOR THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 10°59'11", A RADIUS OF 670.00 FEET, AND A CHORD THAT BEARS SOUTH 09°19'47" EAST, 128.27 FEET;

ALONG SAID NON-TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 128.47 FEET TO A FOUND IRON ROD FOR CORNER;

SOUTH 03°50'12" EAST, A DISTANCE OF 71.77 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 81°09'48" WEST, A DISTANCE OF 14.14 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 86°09'48" WEST, A DISTANCE OF 5.00 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 03°50'12" EAST, A DISTANCE OF 50.00 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 86°09'48" WEST, A DISTANCE OF 4.39 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 03°50'12" EAST, A DISTANCE OF 123.01 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 81°38'19" WEST, A DISTANCE OF 149.47 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 61°57'54" WEST, A DISTANCE OF 58.30 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 62°17'44" WEST, A DISTANCE OF 103.84 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 47°28'00" WEST, A DISTANCE OF 132.47 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 50°03'47" WEST, A DISTANCE OF 29.75 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 52°48'02" WEST, A DISTANCE OF 96.67 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 57°06'55" WEST, A DISTANCE OF 190.20 FEET TO A FOUND IRON ROD FOR CORNER;
NORTH 31°18'32" WEST, A DISTANCE OF 5.95 FEET TO A FOUND IRON ROD FOR CORNER;
SOUTH 58°41'28" WEST, A DISTANCE OF 205.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 53.744 ACRES OR 2,341.101 SQUARE FEET OF LAND.

TRACT 2

WHEREAS, HPC SOMERSET DEVELOPMENT CORPORATION, ACTING BY AND THROUGH THE UNDERSIGNED, ITS DULY AUTHORIZED AGENT, IS THE SOLE OWNER OF A 0.939 ACRE TRACT OF LAND SITUATED IN THE CRESANTO VELA SURVEY, ABSTRACT NO. 851, AND THE EDWARD WEST SURVEY, ABSTRACT NO. 917 IN THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, AND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED TO KNOX STREET PARTNERS, NO. 17, BY DEED RECORDED IN DOCUMENT NO. 2015-23558, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS, SAID 0.939 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA" FOUND FOR THE SOUTHEAST CORNER OF LOT 54X, BLOCK 26, OF SOMERSET ADDITION PHASE II, AN ADDITION TO THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 11, PAGE 869, DRAWER K OF THE OFFICIAL PROPERTY RECORDS OF JOHNSON COUNTY, TEXAS;

THENCE, NORTH 67°55'37" EAST, WITH THE SOUTHEASTERLY LINE OF SAID SOMERSET ADDITION, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA" FOUND FOR CORNER AND BEING ON A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 69°42'44", A RADIUS OF 530.00 FEET, AND A CHORD THAT BEARS SOUTH 56°55'45" EAST, 605.81 FEET;

THENCE, OVER AND ACROSS SAID KNOX STREET PARTNERS, NO. 17 TRACT, ALONG SAID NON-TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 644.85 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA" FOUND FOR REENTRANT CORNER OF SAID SOMERSET ADDITION ON THE SOUTH LINE OF LOT 1X, BLOCK 29 OF SAME;

THENCE SOUTH 01°47'07" EAST, A DISTANCE OF 60.00 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA" FOUND FOR THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 68°42'44", A RADIUS OF 580.00 FEET, AND A CHORD THAT BEARS SOUTH 56°55'45" EAST, 674.39 FEET;

THENCE ALONG SAID NON-TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 717.88 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.939 ACRES OR 40.881 SQUARE FEET OF LAND.

TO BE KNOWN AS:

LOT 62X, 63-87 & 88X, BLOCK 10, LOTS 17-26, 27X, 28-46 & 47X, BLOCK 27;
LOTS 18-33 & 34X, BLOCK 35; LOTS 1-20, BLOCK 36;
LOTS 1-26, BLOCK 37; LOTS 1-25, BLOCK 38;
LOTS 1X, 23, 4X, 5-10 & 11X, BLOCK 39; LOTS 1-31 & 32X, BLOCK 40
LOTS 1-24 & 25X, BLOCK 41; LOTS 1X, BLOCK 42;

SOMERSET ADDITION, PHASE III

STATE OF TEXAS \$
COUNTY OF \$

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, BLOOMFIELD HOMES, L.P., BEING THE SOLE OWNER OF THE ABOVE DESCRIBED PARCEL, ACTING BY AND THROUGH THE UNDERSIGNED, ITS DULY AUTHORIZED AGENT, DOES HEREBY ADOPT THE HEREIN ABOVE DESCRIBED PROPERTY AS SOMERSET ADDITION, PHASE III, AN ADDITION TO THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS AND DOES DEDICATE TO THE PUBLIC USE THE STREETS AND EASEMENTS AS SHOWN THEREON.

BY: DONALD J. DYKSTRA
BLOOMFIELD HOMES, L.P.
1050 E. HIGHWAY 114, SUITE 210
SOUTHLAKE, TEXAS 76092
PHONE: (817)416-1572

STATE OF TEXAS \$
COUNTY OF \$

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED BEN LUEDTKE, KNOWN TO ME TO BE THE PERSON AND OFFICER WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____

STATE OF TEXAS \$
COUNTY OF \$

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, BLOOMFIELD HOMES, L.P., BEING THE SOLE OWNER OF THE ABOVE DESCRIBED PARCEL, ACTING BY AND THROUGH THE UNDERSIGNED, ITS DULY AUTHORIZED AGENT, DOES HEREBY ADOPT THE HEREIN ABOVE DESCRIBED PROPERTY AS SOMERSET ADDITION, PHASE III, AN ADDITION TO THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS AND DOES DEDICATE TO THE PUBLIC USE THE STREETS AND EASEMENTS AS SHOWN THEREON.

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