



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda

City Council

Monday, April 26, 2021

3:00 PM

Council Chambers

REGULAR MEETING

THIS MEETING MAY BE ACCESSED BY VIDEO CONFERENCING. To participate, please register at

https://mansfieldtexas.zoom.us/webinar/register/WN_hJ5FQAWfQ2KoLUm_GTIV7w by 3:00 p.m. on Monday, April 26, 2021 or join by telephone at 1-888-788-0099 (Toll Free). If joining by phone, please provide the Webinar ID number and password below:

Webinar ID: 937-9147-1462

Passcode: 1234567

Citizen comments and public hearing comments may also be submitted through the city's website www.mansfieldtexas.gov or by sending an email to susana.marin@mansfieldtexas.gov. All comments must be submitted by 3:00 p.m. on Monday, April 26, 2021. Comments received will be read into the record by the Mayor or the City Secretary.

1. 3:00 P.M. - CALL MEETING TO ORDER

2. WORKSESSION

Update from City Manager on FY 2022 Budget Preparation

Discussion Regarding Ambulance Services Rate Schedule

Follow-up Discussion Regarding Capital Improvement Projects

3. RECESS INTO EXECUTIVE SESSION

Pursuant to Section 551.071, Texas Government Code, the Council reserves the right to convene in Executive Session(s), from time to time as deemed necessary during this meeting for any posted agenda item, to receive advice from its attorney as permitted by law.

**A. Pending or Contemplated Litigation or to Seek the Advice of the City Attorney
Pursuant to Section 551.071**

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. 348-270155-14

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. DC-C202100171

Seek Advice of City Attorney Regarding Legal Issues Relating to the Operation of the Security Alarm Ordinance

Seek Advice of City Attorney Regarding Preliminary Legislative Legal Update and Possible Impacts

Seek Advice of City Attorney Regarding Possible Uses of Economic Development Incentive Programs

Seek Advice of City Attorney Regarding Issues Relating to Regulation of Signs by Municipalities

Seek Advice of City Attorney Regarding Public Information Act Requirements Relating to Social Media Usage

B. Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072

Land Acquisition for Future Development

C. Personnel Matters Pursuant to Section 551.074

D. Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087

Economic Development Project #21-01

4. 6:50 P.M. – COUNCIL BREAK PRIOR TO REGULAR BUSINESS SESSION

5. 7:00 PM OR IMMEDIATELY FOLLOWING EXECUTIVE SESSION - RECONVENE INTO REGULAR BUSINESS SESSION

6. INVOCATION

7. PLEDGE OF ALLEGIANCE

8. TEXAS PLEDGE

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

9. PROCLAMATION

[21-4043](#) Historic Preservation Month

Attachments: [National Historic Preservation Month 2021](#)

[21-4044](#) National Corrections Officers and Employees Appreciation Week

Attachments: [National Correctional Officers and Employees Week 2021](#)

10. CITIZEN COMMENTS

Citizens wishing to address the Council on non-public hearing agenda items and items not on the agenda may do so at this time. Due to regulations of the Texas Open Meetings Act, please do not expect a response from the Council as they are not able to do so. THIS WILL BE YOUR ONLY OPPORTUNITY TO SPEAK UNLESS YOU ARE SPEAKING ON A SCHEDULED PUBLIC HEARING ITEM. After the close of the citizen comments portion of the meeting only comments related to public hearings will be heard. All comments are limited to five (5) minutes.

In order to be recognized during the "Citizen Comments" or during a Public Hearing (applicants included), please complete a blue or yellow card located at the Assistant City Secretary's seating place. Please present the card to the Assistant City Secretary prior to the start of the meeting.

11. COUNCIL ANNOUNCEMENTS**12. SUB-COMMITTEE REPORTS**

[21-4050](#) Minutes - Approval of the April 13, 2021 Housing Market Growth Strategy Sub-Committee Meeting Minutes (vote will be only by members of the sub-committee) (Bounds, Lewis, Short)

Presenters: Susana Marin

Attachments: [DRAFT April 13, 2021 Meeting Minutes](#)

13. STAFF COMMENTS

In addition to matters specifically listed below, Staff comments may include updates on ongoing or proposed projects and address of posted agenda items.

A. City Manager Report or Authorized Representative

Current/Future Agenda Items

Clues in The Creek Video Summary - Rebecca Sales

14. TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION**15. CONSENT AGENDA**

All matters listed under consent agenda have been previously discussed, require little or no deliberation, or are considered to be routine by the council. If discussion is desired, then an item will be removed from the consent agenda and considered separately. Otherwise, approval of the consent agenda authorizes the City Manager to implement each item in accordance with staff's recommendation.

ITEMS TO BE REMOVED FROM THE CONSENT AGENDA

- [21-4051](#) Resolution - A Resolution Authorizing Funding in an Amount Not to Exceed \$874,571.50 and Approval of Contracts, Including Survey and Design Services with Dunaway Associates, LLC, to Prepare West Walnut Creek Sanitary Sewer Interceptor and Waterline Improvements (Cotton Dr. and Billingslea Dr.) for Public Bidding and Construction (Utility Fund)

Presenters: Bart VanAmburgh

Attachments: [Resolution](#)

[Map](#)

- [21-4052](#) Resolution - A Resolution of The City of Mansfield, Texas Finding That Oncor Electric Delivery Company LLC's Application for Approval to Amend its Distribution Cost Recovery Factor Pursuant to 16 Tex. Admin. Code § 25.243 to Increase Distribution Rates Within the City Should be Denied

Presenters: Jeff Price

Attachments: [Resolution](#)

- [21-4049](#) Minutes - Approval of the April 12, 2021 Regular City Council Meeting Minutes

Presenters: Susana Marin

Attachments: [DRAFT April 12, 2021 Meeting Minutes](#)

END OF CONSENT AGENDA

16. PUBLIC HEARING

- [21-4045](#) Public Hearing and Consideration of a Request for a Specific Use Permit for Apartments on Approximately 12.869 Acres out of the E. Mcanear Survey, Abstract No. 1005, Tarrant County, TX, Located at the Southeast Corner of Regency Pkwy. and Nahvi Rd.; Ryan Conway of JLB Partners (Developer) on Behalf of Mike Sellers of First Baptist Church, Michael P. Collini, and John C. Arnold of Fifteen Oaks Mansfield, L.P. (Owners) (SUP#21-001)

Presenters: Matt Jones

Attachments: [Maps and Supporting Information](#)

[Exhibit A](#)

[Exhibits B - E](#)

17. PUBLIC HEARING AND FIRST READING[21-4046](#)

Ordinance - Public Hearing and First Reading of an Ordinance Approving a Change of Zoning from PR Pre-Development District to PD Planned Development District for Single-Family Residential Uses on Approximately 4 Acres out of The Ray Grevious Survey, Abstract No. 1307, Tarrant County, TX, Located at 2349 N. Holland Rd.; Jeff Linder of Bannister Engineering (Engineer) on Behalf of Mouaz Allababidi of Allababidi Foundation, LLC (Owner) (ZC#21-003)

Presenters: Matt Jones

Attachments: [Ordinance](#)

[Maps and Supporting Information](#)

[Exhibit A](#)

[Exhibits B - E](#)

[Driveway Acceptance Letter](#)

[Letters of Acceptance from City of Arlington](#)

[Letter of Opposition](#)

[Letter of Support](#)

18. PUBLIC HEARING CONTINUATION AND SECOND AND FINAL READING[21-4027](#)

Ordinance - Public Hearing Continuation and Second and Final Reading of an Ordinance Approving a Change of Zoning from PR Pre-Development District to PD Planned Development for Retail Plant Nursery, Wholesale Plant Nursery, and Single-Family Residential Uses on Approximately 5.15 Acres out of the Margaret Rockerfellow Survey, Abstract No. 1267, Tarrant County, TX, Located at 1573 Newt Patterson Rd.; Michael Wilson of Bannister Engineering (Landscape Architect) on Behalf of Magdaleno I. Pacheco of Leno's Plant Farm (Owner/Developer) (ZC#21-001)

Presenters: Matt Jones

Attachments: [Ordinance](#)

[Maps and Supporting Information](#)

[Exhibit A](#)

[Exhibits B - D](#)

19. NEW BUSINESS[21-3991](#)

Ordinance - Approval of an Ordinance of the City of Mansfield, Texas Amending Chapter 97 "Alarm Systems" of the Code of Ordinances by Amending Alarm System Fee Schedules, Duties and Authority of the Alarm Administrator; and the Definition of False Alarm Notification

Presenters: Tracy Aaron

Attachments: [Ordinance](#)

[Alarm Ordinance Revisions](#)[21-4048](#)

Resolution - A Resolution of the City Of Mansfield, Texas, Authorizing the City Manager to Negotiate and Execute on Behalf of the City an Agreement by and Between The City of Mansfield, Texas, and iChoosr, LLC

Presenters: Jeff Price

Attachments: [Resolution](#)

[MOU - iChoosr - Mansfield](#)

20. ADJOURN**CERTIFICATION**

THIS IS TO CERTIFY THAT A COPY OF THE NOTICE OF the April 26, 2021 Regular City Council Agenda was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, mansfieldtexas.gov, on Thursday, April 22, 2021 prior to 5:00 p.m., in compliance with Chapter 551, Texas Government Code.

Susana Marin, City Secretary

Approved as to form:

City Attorney

DATE OF POSTING: _____ TIME: _____ am/pm

DATE TAKEN DOWN: _____ TIME: _____ am/pm

This facility is ADA compliant. If you plan to attend this public meeting and have a disability that requires special arrangements, please call (817) 473-0211 at least 48 hours in advance. Reasonable accommodation will be made to assist your needs. PLEASE SILENCE ALL PAGERS, CELL PHONES & OTHER ELECTRONIC EQUIPMENT WHILE THE CITY COUNCIL MEETING IS IN SESSION.



CITY OF MANSFIELD

1200 E. Broad St.
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STAFF REPORT

File Number: 21-4043

Agenda Date: 4/26/2021

Version: 1

Status: To Be Presented

In Control: City Council

File Type: Proclamation

Title

Historic Preservation Month

Requested Action

n/a

Recommendation

n/a

Description/History

n/a

Justification

n/a

Funding Source

n/a

Prepared By

Belinda Willis, Communications & Marketing

WHEREAS, historic preservation is an effective tool for managing growth and development, revitalizing neighborhoods, fostering local pride and maintaining community character while enhancing livability; and

WHEREAS, historic preservation is relevant for communities across the nation, both urban and rural, and for Americans of all ages, all walks of life and all ethnic backgrounds; and

WHEREAS, it is important to celebrate the role of history in our lives and the contributions made by dedicated individuals in helping to preserve the tangible aspects of the heritage that has shaped us as a people; and

WHEREAS, many Mansfield residents and organizations work hard to preserve Mansfield's heritage for future generations;

NOW, THEREFORE, I, Michael Evans, Mayor of the City of Mansfield, Texas, join with members of the City Council to hereby proclaim May 2021

NATIONAL HISTORIC PRESERVATION MONTH

in Mansfield, and I encourage the citizens of Mansfield to join their fellow citizens across the United States in recognizing this special observance.

IN WITNESS WHEREOF, I do hereby set my hand and cause the official seal of the City of Mansfield to be affixed this 26th day of April, 2021.



CITY OF MANSFIELD

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STAFF REPORT

File Number: 21-4044

Agenda Date: 4/26/2021

Version: 1

Status: To Be Presented

In Control: City Council

File Type: Proclamation

Agenda Number:

Title

National Corrections Officers and Employees Appreciation Week

Requested Action

n/a

Recommendation

n/a

Description/History

n/a

Justification

n/a

Funding Source

n/a

Prepared By

Belinda Willis, Communications & Marketing

WHEREAS, thousands of men and women across the country work in jails and community correctional facilities each and every day; and

WHEREAS, correctional officers and employees safeguard the citizens of their communities by providing safe, secure and humane incarceration of offenders within their custody; and;

WHEREAS, these dedicated correctional facility personnel provide a critical service, sometimes in hazardous conditions and dangerous situations and;

WHEREAS, National Correctional Officers and Employees Week was created by President Ronald Reagan in 1984 to recognize the service of these important public safety officials; and

WHEREAS, the men and women who work each day at the Mansfield Law Enforcement Center Jail Division provide a vital public service to the citizens of Mansfield and do so with honor and integrity;

NOW, THEREFORE, I, Michael Evans, Mayor of the City of Mansfield, Texas, join with members of the City Council to proclaim May 2-8, 2021

NATIONAL CORRECTIONAL OFFICERS AND EMPLOYEES WEEK

in Mansfield and encourage residents of our community to show their appreciation and gratitude to the officers and employees of the Mansfield Law Enforcement Center Jail Division for their dedication to our city and the safety of our citizens.

IN WITNESS WHEREOF, I do hereby set my hand and cause the official seal of the City of Mansfield to be affixed this 26th day of April, 2021.



CITY OF MANSFIELD

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STAFF REPORT

File Number: 21-4050

Agenda Date: 4/26/2021

Version: 1

Status: Approval of Minutes

In Control: City Council

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the April 13, 2021 Housing Market Growth Strategy Sub-Committee Meeting Minutes (vote will be only by members of the sub-committee) (Bounds, Lewis, Short)

Requested Action

Action to be taken by the Council to approve the minutes.

Recommendation

Approval of the minutes by the Council.

Description/History

The minutes of the April 13, 2021 Housing Market Growth Strategy Sub-Committee Meeting are in DRAFT form and will not become effective until approved by the Council at this meeting.

Justification

Permanent Record

Funding Source

N/A

Prepared By

Susana Marin, TRMC, City Secretary
817-276-4203



CITY OF MANSFIELD

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Meeting Minutes - Draft

City Council - Housing Market Growth Strategy Sub-Committee

Tuesday, April 13, 2021

9:00 AM

City Hall

CALL TO ORDER

Chairman Lewis called the meeting to order at 9:00 a.m.

Staff present: Joe Smolinski, City Manager; Matt Jones, Assistant City Manager; Matt Young, Director of Community Services; Nicolette Allen, Assistant to the City Manager; Keera Seiger, Assistant City Secretary

Present 3 - Casey Lewis; Julie Short and Tamera Bounds

CITIZEN COMMENTS

There were no citizen comments.

DISCUSSION ITEMS

Single Family Zoning Planned Developments and Single Family Lots

Assistant City Manager Matt Jones presented an overview of current zoning, single family developments, and new planned developments.

The Reserve District Dwelling Unit Layout

Matt Jones discussed the layout of The Reserve, which included a residential summary. City Manager Joe Smolinski made comments on future projects within The Reserve and discussed the vision of the city.

Multi-Family Presentation - Occupancy Rates

Matt Jones presented the occupancy rates of multi-family developments in the city. Assistant to the City Manager Nicolette Allen and Matt Jones presented potential future multi-family developments.

The Urban 3 Study

Matt Jones presented a draft interactive report from Urban 3.

The Parks 10 Year Master Plan

Matt Jones presented various projects that are needed, as well as what is possible with bonds. Director of Community Services Matt Young presented options of locations for parks. The Sub-Committee and staff marked potential options for parks, trails, and a

rail line on large printed out maps, and discussed options and visions for different parcels of land and corridors throughout the city. There was additional discussion regarding destination retail, rezoning, developing areas to meet Council's vision, and land use planning.

ADJOURNMENT

Chairman Lewis adjourned the meeting at 11:10 a.m.

ATTEST: Casey Lewis, Chairman

Susana Marin, City Secretary



CITY OF MANSFIELD

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STAFF REPORT

File Number: 21-4051

Agenda Date: 4/26/2021

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution Authorizing Funding in an Amount Not to Exceed \$874,571.50 and Approval of Contracts, Including Survey and Design Services with Dunaway Associates, LLC, to Prepare West Walnut Creek Sanitary Sewer Interceptor and Waterline Improvements (Cotton Dr. and Billingslea Dr.) for Public Bidding and Construction (Utility Fund)

Requested Action

Consider the authorization of funding and approval of contracts.

Recommendation

The authorization of funding in an amount not to exceed \$824,571.50 and approval of contracts, including survey and design services with Dunaway Associates, LLC, to prepare West Walnut Creek Sanitary Sewer Interceptor and Waterline Improvements for public bidding and construction.

Description/History

Development of the Oaks Preserve and Silver Oak subdivisions as well as anticipated future development in this West Broad St. area has created the need for this sewer interceptor project. The existing sewer system in this area cannot support these developments.

Dunaway Associates, LLC was hired in July 2020 to prepare an alignment study to determine the best alignment for the proposed sewer line and further define the scope of the project. The alignment study was completed in February.

This project will include a new 27" and 15" sanitary sewer line along the south side of Walnut Creek as well as a 24" line crossing Walnut Creek to the north to serve the Willow Branch drainage basin. It will also include a 12" sewer line south along Retta Rd. to provide capacity to the drainage basin south of West Broad St. east of Lillian Rd. This project will also serve to eliminate the Moody Lift Station located at Retta Rd. and Moody Ln.

The water line portion of the project will replace the existing water lines on Cotton Dr., Billingslea Dr. and a portion on Wilson Dr. between those streets. These water lines are asbestos cement (AC) pipe material over 40 years old and are in need of replacement. Replacement of these lines has been designated a priority in the Utility Capital Improvement Plan since 2015.

The requested funds are for survey and design services with Dunaway Associates, LLC in the amount of \$624,571.50 which includes an additional 5% design fee contingency for potential design scope changes and an allowance for easement acquisition in the amount of \$250,000.00, for a total budget not to exceed \$874,571.50.

Justification

The sewer portion of this project serving this area is included in the Wastewater Master Plan as portions of projects 5, 9 and 19. The water lines are being replaced due to the age and condition of the lines.

The Director of Public Works will be in attendance at the meeting to answer Council's questions regarding the proposed funding and contracts.

Funding Source

Utility Fund

Prepared By

Gus Chavarria, CIP Project Manager, Engineering Department, 817-276-4235

RESOLUTION NO. _____

A RESOLUTION AUTHORIZING FUNDING IN AN AMOUNT NOT TO EXCEED \$874,571.50 AND APPROVAL OF CONTRACTS, INCLUDING SURVEY AND DESIGN SERVICES WITH DUNAWAY ASSOCIATES, LLC, TO PREPARE WEST WALNUT CREEK SANITARY SEWER INTERCEPTOR AND WATERLINE IMPROVEMENTS (COTTON DR. AND BILLINGSLEA DR.) FOR PUBLIC BIDDING AND CONSTRUCTION (UTILITY FUND)

WHEREAS, the City Council recognizes the need to proceed forward with design of West Walnut Creek Sanitary Sewer Interceptor and Waterline Improvements (Cotton Dr. and Billingslea Dr.) for the benefit of the citizens of the City of Mansfield; and,

WHEREAS, City staff has reviewed the proposal for the design of West Walnut Creek Sanitary Sewer Interceptor and Waterline Improvements (Cotton Dr. and Billingslea Dr.); and,

WHEREAS, the City Council has received the recommendation of staff to contract with Dunaway Associates, LLC for surveying and design services; and,

WHEREAS, it is necessary to authorize and secure funds from the Utility Fund.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

Funding is hereby authorized in the amount of Eight Hundred Seventy Four Thousand Five Hundred Seventy One and 50/100 Dollars (\$874,571.50) to prepare this project for public bidding and construction.

SECTION 2.

The City Manager or his designee is hereby authorized and directed to execute necessary contracts to prepare this project for public bidding and construction with Dunaway Associates, LLC for survey and design services for an amount not to exceed Six Hundred Twenty Four Thousand Five Hundred Seventy One and 50/100 Dollars (\$624,571.50).

SECTION 3.

The City Manager or his Designee is hereby authorized and directed to execute contractual documents for other miscellaneous services to complete design of the project.

PASSED AND APPROVED THIS THE 26th DAY OF APRIL, 2021.

Michael Evans, Mayor

ATTEST:

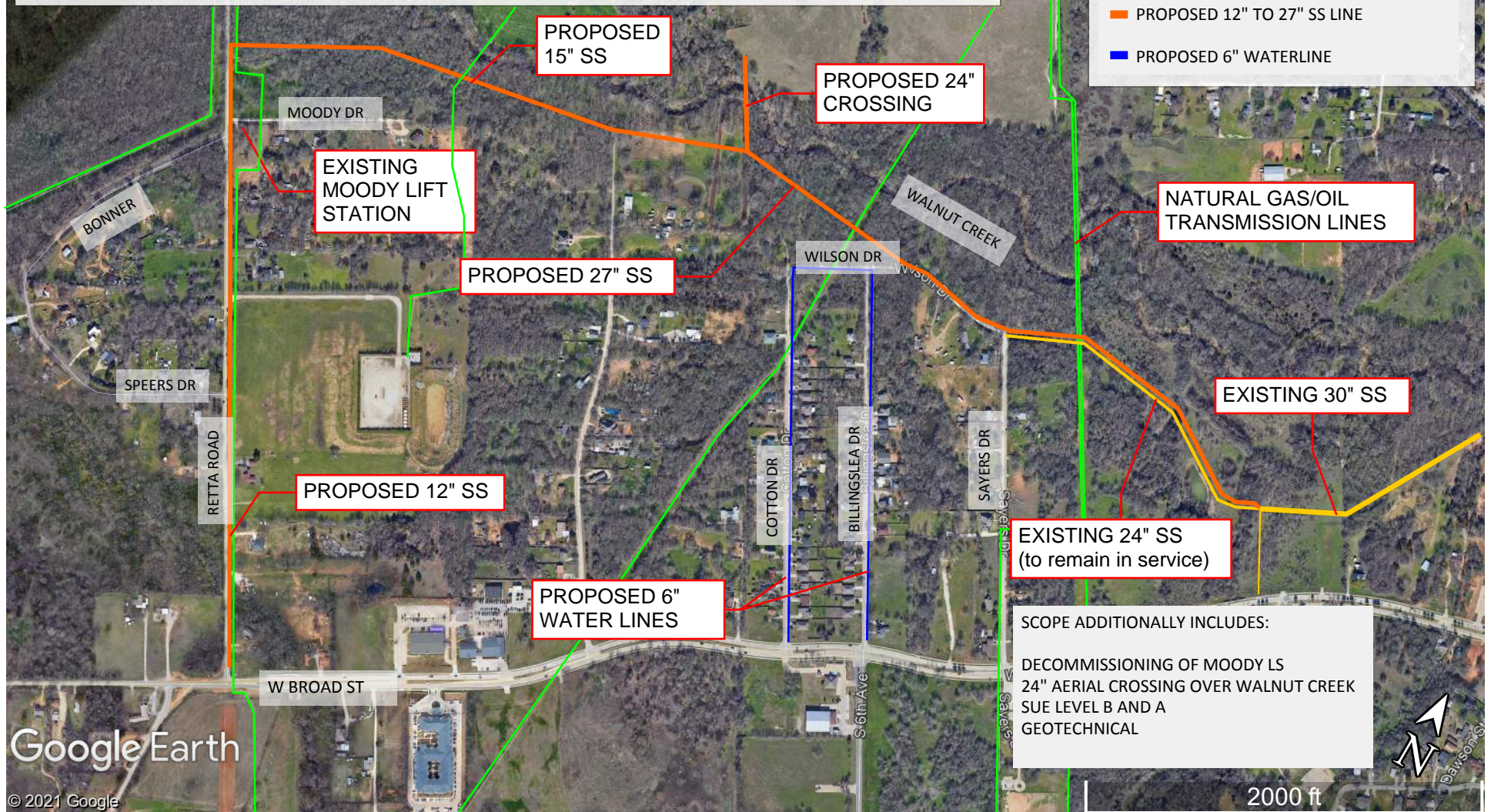
Susana Marin, City Secretary

CITY OF MANSFIELD - WALNUT CREEK SANITARY SEWER INTERCEPTOR PROJECT

APPROXIMATELY 9600 LF NEW 12" TO 27" SS LINE
APPROXIMATELY 4600 LF NEW 6" WATERLINE

LEGEND

- EXISTING SS LINES
- EXISTING GAS/OIL TRANSMISSION LINES
- PROPOSED 12" TO 27" SS LINE
- PROPOSED 6" WATERLINE



6567.002

03/22/2021



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4052

Agenda Date: 4/26/2021

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution of The City of Mansfield, Texas Finding That Oncor Electric Delivery Company LLC's Application for Approval to Amend its Distribution Cost Recovery Factor Pursuant to 16 Tex. Admin. Code § 25.243 to Increase Distribution Rates Within the City Should be Denied

Requested Action

Staff requests that the Council consider adopting this resolution, thus denying the DCRF application proposed by Oncor.

Recommendation

Staff recommends that the Council adopt the resolution.

Description/History

On April 8, 2021, Oncor Electric Delivery Company LLC ("Oncor" or "Company") filed an Application for Approval to Amend its Distribution Cost Recovery Factor (DCRF). In the filing, the Company is seeking an increase in its total distribution revenue requirement by approximately \$97,826,277.

The PUC created the DCRF to meet the requirements of Senate Bill 1693 of the 82nd Legislature in 2011. This law allows Oncor to file an abbreviated rate case annually to raise revenues to recover their investment in transmission infrastructure. This will be Oncor's fourth DCRF filing since 2011.

Justification

The Commission's rules allow cities 60 days to act on this application. That deadline is June 7, 2021.

The resolution authorizes the City to join with the Steering Committee of Cities Served by Oncor ("OCSC") to evaluate the filing, determine whether the filing complies with the law, and, if lawful, to determine what further strategy, including settlement, to pursue.

Funding Source

N/A

Prepared By

Jeff Price, Director of Utilities
817-728-3602

RESOLUTION NO. _____

A RESOLUTION OF THE CITY OF MANSFIELD, TEXAS FINDING THAT ONCOR ELECTRIC DELIVERY COMPANY LLC'S APPLICATION FOR APPROVAL TO AMEND ITS DISTRIBUTION COST RECOVERY FACTOR TO INCREASE DISTRIBUTION RATES WITHIN THE CITY SHOULD BE DENIED; AUTHORIZING PARTICIPATION WITH OCSC; AUTHORIZING THE HIRING OF LEGAL COUNSEL AND CONSULTING SERVICES; FINDING THAT THE CITY'S REASONABLE RATE CASE EXPENSES SHALL BE REIMBURSED BY THE COMPANY; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL

WHEREAS, the City of Mansfield, Texas ("City") is an electric utility customer of Oncor Electric Delivery Company LLC ("Oncor" or "Company") with an interest in the rates and charges of Oncor; and,

WHEREAS, the Steering Committee of Cities Served by Oncor ("OCSC") is a coalition of similarly situated cities served by Oncor that have joined together to efficiently and cost effectively review and respond to electric issues affecting rates charged in Oncor's service area in matters before the Public Utility Commission ("Commission") and the courts; and,

WHEREAS, on or about April 8, 2021, Oncor filed with the Commission an Application for Approval to Amend its Distribution Cost Recovery Factor ("DCRF"), Commission Docket No. 51996, seeking to increase its total distribution revenue requirement by approximately \$97,826,277; and,

WHEREAS, the City of Mansfield will cooperate with the OCSC in coordinating their review of Oncor's DCRF filing with designated attorneys and consultants, prepare a common response, negotiate with the Company, and direct any necessary litigation, to resolve issues in the Company's filing; and,

WHEREAS, all electric utility customers residing in the City will be impacted by this ratemaking proceeding if Oncor's Application is granted; and,

WHEREAS, working with the OCSC to review the rates charged by Oncor allows members to accomplish more collectively than each city could do acting alone; and,

WHEREAS, the OCSC's members and attorneys recommend that members who have retained original jurisdiction over electric utility rates deny Oncor's DCRF.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

That the City is authorized to participate with the OCSC in Commission Docket No. 51996.

SECTION 2.

That, subject to the right to terminate employment at any time, the City of Mansfield hereby authorizes the hiring of the law firm of Lloyd Gosselink Rochelle & Townsend, P.C. and consultants to negotiate with the Company, make recommendations to the City regarding reasonable rates, and to direct any necessary administrative proceedings or court litigation associated with an appeal Oncor's DCRF application.

SECTION 3.

That the rates proposed by Oncor to be recovered through its DCRF charged to customers located within the City limits should be denied.

SECTION 4.

That the Company should continue to charge its existing rates to customers within the City.

SECTION 5.

That the City's reasonable rate case expenses shall be reimbursed in full by Oncor within 30 days of the adoption of this Resolution, and within 30 days of presenting monthly bills to Oncor thereafter.

SECTION 6.

That it is hereby officially found and determined that the meeting at which this Resolution is passed is open to the public as required by law and the public notice of the time, place, and purpose of said meeting was given as required.

SECTION 7.

That a copy of this Resolution shall be sent to J. Michael Sherburne, Vice President – Regulatory, Oncor Electric Delivery Company LLC, 1616 Woodall Rodgers Freeway, Dallas, Texas 75202; to Tab R. Urbantke, Hunton Andrews Kurth LLP, 1445 Ross Avenue, Suite 3700, Dallas, Texas 7520; and to Thomas Brocato, General Counsel to OCSC, at Lloyd Gosselink Rochelle & Townsend, P.C., P.O. Box 1725, Austin, TX 78767-1725, or tbrocato@lglawfirm.com.

PASSED AND APPROVED THIS THE 26TH DAY OF APRIL, 2021.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary



CITY OF MANSFIELD

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STAFF REPORT

File Number: 21-4049

Agenda Date: 4/26/2021

Version: 1

Status: Approval of Minutes

In Control: City Council

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the April 12, 2021 Regular City Council Meeting Minutes

Requested Action

Action to be taken by the Council to approve the minutes.

Recommendation

Approval of the minutes by the Council.

Description/History

The minutes of the April 12, 2021 Regular City Council Meeting are in DRAFT form and will not become effective until approved by the Council at this meeting.

Justification

Permanent Record

Funding Source

N/A

Prepared By

Susana Marin, TRMC, City Secretary
817-276-4203



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Meeting Minutes - Draft

City Council

Monday, April 12, 2021

3:00 PM

Council Chambers

REGULAR MEETING AMENDED AGENDA

3:00 P.M. - CALL MEETING TO ORDER

Mayor Evans called the meeting to order at 3:00 p.m.

Mayor Evans advised the public they could participate during the meeting by registering through the link provided on the posted agenda or by phone. He also advised the public could address the Council by submitting an online speaker card through the city's website or by direct email to City Secretary Susana Marin.

Present 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

RECESS INTO EXECUTIVE SESSION

In accordance with Texas Government Code, Chapter 551, Mayor Evans recessed the meeting into executive session at 3:01 p.m. Mayor Evans called the executive session to order in the Council Conference Room at 3:03 p.m. Mayor Evans adjourned the executive session at 5:07 p.m.

**Pending or Contemplated Litigation or to Seek the Advice of the City Attorney
Pursuant to Section 551.071**

**Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real
Property Pursuant to Section 551.072**

Personnel Matters Pursuant to Section 551.074

City Manager Mid-Year Review

**Deliberation Regarding Commercial or Financial Information Received From or
the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking
to Locate, Stay or Expand in or Near the Territory of the City and with which the
City is Conducting Economic Development Negotiations Pursuant to Section
551.087**

RECONVENE INTO REGULAR BUSINESS SESSION

Mayor Evans reconvened the meeting into regular business session at 5:17 p.m.

WORKSESSION

Discussion Regarding Capital Projects

City Manager Joe Smolinski introduced the discussion regarding capital projects, stating staff will present various projects they would like to implement. Fire Chief Mike Ross gave a project overview of the proposed fire training tower and answered Council questions. Police Chief Tracy Aaron presented over a police and fire driving track, patrol remodel, and new police headquarters, and answered Council questions. Director of Library and Historical Services Yolanda Botello presented over the Man House Information Center and Public Library Expansion, and answered Council questions. Director of Community Services Matt Young presented various park upgrades including those to Katherine Rose Memorial Park and Gertie Barrett Park, addressed timelines for projects, and answered Council questions. Director of Finance Troy Lestina provided a financial summary of the proposed capital projects and answered questions regarding debt capacity.

RECESS INTO EXECUTIVE SESSION

In accordance with Texas Government Code, Chapter 551, Mayor Evans recessed the meeting into executive session at 7:01 p.m. Mayor Evans called the executive session to order in the Council Conference Room at 7:10 p.m. Mayor Evans adjourned the executive session at 7:36 p.m.

Pending or Contemplated Litigation or to Seek the Advice of the City Attorney Pursuant to Section 551.071

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. 348-270155-14

Seek Advice of City Attorney Regarding Texas Open Meetings Act Requirements

Seek Advice of City Attorney Regarding Preliminary Legislative Legal Update and Possible Impacts

Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072

Land Acquisition for Future Development

Personnel Matters Pursuant to Section 551.074

Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087

Economic Development Project #21-01

Economic Development Project #21-12

6:50 P.M. – COUNCIL BREAK PRIOR TO REGULAR BUSINESS SESSION

**7:00 PM OR IMMEDIATELY FOLLOWING EXECUTIVE SESSION - RECONVENE
INTO REGULAR BUSINESS SESSION**

Mayor Evans reconvened into regular business session at 7:44 p.m.

INVOCATION

Freedom Life Church representative Susan Debrew gave the Invocation.

PLEDGE OF ALLEGIANCE

Council Member Broseh led the Pledge of Allegiance.

TEXAS PLEDGE

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

Council Member Lewis led the Texas Pledge.

PROCLAMATION

[21-4020](#)

National Public Safety Telecommunicators Week

Mayor Evans read and presented the National Public Safety Telecommunicators Week proclamation to the City's dispatchers.

[21-4021](#)

Animal Care & Control Appreciation Week

Mayor Evans read and presented the Animal Care & Control Appreciation Week to the City's animal care officers.

[21-4037](#)

National Fair Housing Month (Addendum to Agenda)

Mayor Evans read and presented the National Fair Housing Month proclamation to members of the Arlington Board of Realtors.

CITIZEN COMMENTS

Karen Self, 1600 Piccadilly Court - Ms. Self spoke regarding City Council candidate residency requirements.

Shelia Favor, 503 Titleist - Ms. Favor spoke regarding zoning requirements for short term rentals such as Airbnb.

Mayor Evans read comments submitted online by the following speakers:

*Andrew Tatsak, 4209 Palmer Drive
Sandi Baumann, 4207 Iron Lane
Carroll Burney, 1202 Dover Heights Trail*

COUNCIL ANNOUNCEMENTS

Mayor Pro Tem Leyman had no announcements.

Council Member Short had no announcements.

Council Member Lewis thanked Mayor Evans and staff for amending the agenda to include the National Fair Housing Month proclamation.

Council Member Tonore had no announcements.

Council Member Bounds spoke regarding the denial of the Bosque Solutions Permanent Concrete Batch Plant and Air Quality Standard Permit by the Texas Commission on Environmental Quality (TCEQ) and stated she has registered to be in attendance to represent Mansfield to hear the final comments reminding the TCEQ Commissioners of their responsibilities to support the findings of fact in conclusion of law and deny the batch plant and permit.

Council Member Broseh had no announcements.

Mayor Evans read a comment by Mansfield resident Nina Green regarding assistance provided to her and her mother by the City after Winter Storm Uri damaged her house. He also provided an update regarding the Texas House of Representatives response to the winter storm, including six legislative bills he is working on with State Representative David Cook that are being considered at this time.

SUB-COMMITTEE REPORTS

[21-4013](#)

Minutes - Approval of the March 29, 2021 Revitalization of Historic Downtown Mansfield Sub-Committee Meeting Minutes (vote will be only by members of the sub-committee) (Bounds, Lewis, Tonore)

Chairman Tonore reported the Revitalization of Historic Downtown Mansfield Sub-Committee members are excited to bring the Downtown Economic Development Incentive Program to Council for approval and made brief comments.

A motion was made by Council Member Tonore to approve the minutes of the March 29, 2021 Revitalization of Historic Downtown Mansfield Sub-Committee Meeting as presented. Seconded by Council Member Lewis. The motion CARRIED by the following vote:

Aye: 3 - Casey Lewis; Todd Tonore and Tamera Bounds

Nay: 0

Abstain: 0

Non-Voting: 4 - Larry Broseh; Julie Short; Mike Leyman and Michael Evans

[21-4014](#)

Minutes - Approval of the April 1, 2021 Revitalization of Historic Downtown Mansfield Sub-Committee Meeting Minutes (vote will be only by members of the sub-committee) (Bounds, Lewis, Tonore)

A motion was made by Council Member Lewis to approve the minutes of the April 1, 2021 Revitalization of Historic Downtown Mansfield Sub-Committee Meeting as presented. Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 3 - Casey Lewis; Todd Tonore and Tamera Bounds

Nay: 0

Abstain: 0

Non-Voting: 4 - Larry Broseh; Julie Short; Mike Leyman and Michael Evans

[21-4022](#)

Minutes - Approval of the April 6, 2021 Revitalization of Historic Downtown Sub-Committee Meeting Minutes (vote will be only by members of the sub-committee) (Bounds, Lewis, Tonore)

A motion was made by Council Member Tonore to approve the minutes of the April 6, 2021 Revitalization of Historic Downtown Mansfield Sub-Committee Meeting as presented. Seconded by Council Member Lewis. The motion CARRIED by the following vote:

Aye: 3 - Casey Lewis; Todd Tonore and Tamera Bounds

Nay: 0

Abstain: 0

Non-Voting: 4 - Larry Broseh; Julie Short; Mike Leyman and Michael Evans

STAFF COMMENTS

City Manager Report or Authorized Representative

Current/Future Agenda Items

Quarterly Reports: Mansfield Economic Development Corporation, Mansfield Park Facilities Development Corporation, Planning and Zoning Commission, Neighborhood Services, Public Works, Code Compliance, Communications and Marketing, Mansfield Convention and Visitors Bureau, Cultural Arts, Library, Mansfield Historical Museum and Heritage Center, Historic Downtown Mansfield

Joe Smolinski noted the quarterly reports were made available to Council electronically and staff is available for questions.

Business Services Department Report

[21-4016](#)

Presentation of the Monthly Financial Report for the Period Ending February 28, 2021

Troy Lestina was available for questions.

TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION

There was no action taken.

CONSENT AGENDA

[21-4009](#)

Resolution - A Resolution Awarding a Contract for Pavement Analysis Services to Infrastructure Management Services (IMS), Authorizing and Directing the City Manager to Execute Contract Documents; and Authorizing Funding for an Amount Not to Exceed \$75,000.00 (General Operations Fund)

A motion was made by Council Member Lewis to approve the following resolution:

A RESOLUTION AWARDING A CONTRACT FOR PAVEMENT ANALYSIS SERVICES TO INFRASTRUCTURE MANAGEMENT SERVICES (IMS), AUTHORIZING AND DIRECTING THE CITY MANAGER TO EXECUTE CONTRACT DOCUMENTS; AND AUTHORIZING FUNDING FOR AN AMOUNT NOT TO EXCEED \$75,000 (GENERAL OPERATIONS FUND)

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

Enactment No: RE-3736-21

[21-4007](#)

Request For Special Event Permit: Mansfield Farmers Market

A motion was made by Council Member Lewis to approve the special event permit. Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

[21-4015](#)

Minutes - Approval of the March 22, 2021 Regular City Council Meeting Minutes

A motion was made by Council Member Lewis to approve the minutes of the March 22, 2021 Regular City Council Meeting as presented. Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

[21-4023](#)

Minutes - Approval of the March 29, 2021 Special City Council Meeting Minutes

A motion was made by Council Member Lewis to approve the minutes of the March 29, 2021 Special City Council Meeting as presented. Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

ITEMS TO BE REMOVED FROM THE CONSENT AGENDA

[21-4002](#)

Resolution - A Resolution of the City Council of the City of Mansfield, Texas, Authorizing the Execution of a Joint Election Agreement and Contract with the Tarrant County Elections Administrator to Perform Election Services for the May 1, 2021 General Election; and Providing and Effective Date

Council Member Lewis removed this item from the consent agenda. City Secretary Susana Marin provided information regarding early voting locations and times and answered Council questions. City Attorney Allen Taylor answered Council questions.

A motion was made by Council Member Lewis to approve the following resolution:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, AUTHORIZING THE EXECUTION OF A CONTRACT WITH THE TARRANT COUNTY ELECTIONS ADMINISTRATOR TO PERFORM ELECTION SERVICES FOR THE MAY 1, 2021 GENERAL ELECTION; AND PROVIDING AN EFFECTIVE DATE

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Broseh. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

Enactment No: RE-3734-21

[21-4008](#)

Resolution - A Resolution Authorizing the City of Mansfield to Submit Transportation Improvement Projects for Consideration in the Tarrant County 2021 Transportation Bond Program

Council Member Short removed this item from the consent agenda. Director of Transportation and Public Works Bart VanAmburgh answered Council questions.

A motion was made by Council Member Short to approve the following resolution:

A RESOLUTION AUTHORIZING THE CITY OF MANSFIELD TO SUBMIT TRANSPORTATION IMPROVEMENT PROJECTS FOR CONSIDERATION IN THE TARRANT COUNTY 2021 TRANSPORTATION BOND PROGRAM

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Mayor Pro Tem Leyman. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

Enactment No: RE-3735-21

[21-4011](#)

Resolution - A Resolution Authorizing the City of Mansfield, Texas to Enter into a Chapter 380 Agreement with Highland Homes - Dallas, LLC for the Purpose of Promoting Economic Development Within the City of Mansfield, Texas

Council Member Lewis removed this item from the consent agenda. Troy Lestina presented an overview of the Chapter 380 Agreement and answered Council questions.

A motion was made by Council Member Lewis to approve the following resolution:

A RESOLUTION AUTHORIZING THE CITY OF MANSFIELD, TEXAS TO ENTER INTO A CHAPTER 380 AGREEMENT WITH HIGHLAND HOMES – DALLAS, LLC FOR THE PURPOSE OF PROMOTING ECONOMIC DEVELOPMENT WITHIN THE CITY OF MANSFIELD, TEXAS; AND APPROVING OTHER MATTERS RELATED THERETO

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Mayor Pro Tem Leyman. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

Enactment No: RE-3737-21

[21-4017](#)

Resolution - A Resolution Awarding Contracts for the Construction of Paving and Drainage Improvements for Heritage Parkway (South Main Street to Commerce Drive) to RPM xConstruction, LLC for Construction, and to Wier & Associates, Inc. for Surveying, and Authorizing Funding for an Amount Not to Exceed \$2,344,901.58 (Street Bond Fund and Drainage Fund)

Mayor Pro Tem Leyman removed this item from the consent agenda. Bart VanAmburgh answered Council questions.

A motion was made by Mayor Pro Tem Leyman to approve the following resolution:

A RESOLUTION AWARDED CONTRACTS FOR THE CONSTRUCTION OF PAVING AND DRAINAGE IMPROVEMENTS FOR HERITAGE PARKWAY (SOUTH MAIN STREET TO COMMERCE DRIVE) TO RPM XCONSTRUCTION, LLC, FOR CONSTRUCTION, TO WIER & ASSOCIATES, INC. FOR SURVEYING; AND AUTHORIZING AND DIRECTING THE CITY MANAGER TO EXECUTE CONTRACT DOCUMENTS

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

Enactment No: RE-3738-21

[21-4019](#)

Resolution - A Resolution Awarding Contracts for the Construction of Price Road and Plainview Drive Paving and Drainage Improvements (East Dallas Street to South Main Street) to Ed Bell Construction Company for Construction and to Brittain and Crawford, LLC, for Surveying, and Authorizing Funding for an Amount Not to Exceed \$1,133,897.06 (Street Bond Fund and Utility Fund)

Mayor Pro Tem Leyman removed this item from the consent agenda. Bart VanAmburgh answered Council questions.

A motion was made by Mayor Pro Tem Leyman to approve the following resolution:

A RESOLUTION AWARDED CONTRACTS FOR THE CONSTRUCTION OF PRICE ROAD AND PLAINVIEW DRIVE PAVING AND DRAINAGE IMPROVEMENTS (EAST DALLAS STREET TO SOUTH MAIN STREET) TO ED BELL CONSTRUCTION COMPANY FOR CONSTRUCTION AND TO BRITTAIN AND CRAWFORD, LLC FOR SURVEYING; AND APPROPRIATING FUNDS; AND AUTHORIZING AND DIRECTING THE CITY MANAGER TO EXECUTE CONTRACT DOCUMENTS

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Short. The motion CARRIED by the following

vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

Enactment No: RE-3739-21

[21-4024](#)

Resolution - A Resolution to Consider Executing a Consultant Agreement with Barker Rinker Seacat Architecture in the amount of \$148,432 for Professional Services Related to the Design and Feasibility Options for a Potential Future Multi-Generational Recreation Center and Library

Council Member Bounds removed this item from the consent agenda. Matt Young gave a brief overview of the background and purpose for this item and presented a projected timeline.

A motion was made by Council Member Lewis to approve the following resolution:

A RESOLUTION TO CONSIDER EXECUTING A CONSULTANT AGREEMENT WITH BARKER RINKER SEACAT ARCHITECTURE IN THE AMOUNT OF \$148,432 FOR PROFESSIONAL SERVICES RELATED TO THE DESIGN AND FEASIBILITY OPTIONS FOR A POTENTIAL FUTURE MULTI-GENERATIONAL RECREATION CENTER AND LIBRARY

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

Enactment No: RE-3740-21

[21-4028](#)

Resolution - A Resolution of the City Council of the City of Mansfield, Texas Amending Resolution RE-3682-20 by Amending the List of Qualified Broker Dealers and Investment Advisors for Engaging in Investment Transactions for the City

Council Member Lewis removed this item from the consent agenda. Troy Lestina answered Council questions.

A motion was made by Council Member Lewis to approve the following resolution:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS AMENDING RESOLUTION RE-3682-20 BY AMENDING THE LIST OF QUALIFIED BROKER DEALERS FOR ENGAGING IN INVESTMENT TRANSACTIONS OF THE CITY

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Tonore. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

Enactment No: RE-3741-21

[21-4030](#)

Resolution - A Resolution Authorizing Additional Funding to Plummer Associates, Inc. (Plummer) in the Amount Not to Exceed \$75,000.00 to Cover Costs Associated with Special Services for the Clearwell #4 Project (Utility Construction Fund)

Council Member Broseh removed this item from the consent agenda. Director of Water Utilities Jeff Price answered Council questions.

A motion was made by Council Member Broseh to approve the following resolution:

A RESOLUTION AUTHORIZING ADDITIONAL FUNDING TO PLUMMER ASSOCIATES, INC. IN AN AMOUNT NOT TO EXCEED \$75,000.00 TO COVER COSTS ASSOCIATED WITH SPECIAL SERVICES FOR THE CLEARWELL #4 PROJECT (UTILITY CONSTRUCTION FUND)

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

Enactment No: RE-3742-21

END OF CONSENT AGENDA

PUBLIC HEARING AND FIRST READING

[21-4027](#)

Public hearing and first reading of an ordinance approving a change of zoning from PR Pre-Development District to PD Planned Development for retail plant nursery, wholesale plant nursery, and single-family residential uses on approximately 5.15 acres out of the Margaret Rockerfellow Survey, Abstract No. 1267, Tarrant County, TX, located at

1573 Newt Patterson Rd.; Michael Wilson of Bannister Engineering (landscape architect) on behalf of Magdaleno I. Pacheco of Leno's Plant Farm (owner/developer) (ZC#21-001)

Assistant City Manager Matt Jones gave a brief presentation and answered Council questions. Applicant Carina Pacheco answered Council questions.

Mayor Evans opened the public hearing at 9:03 p.m.

Michael Wilson, 3616 Norton Dr., Richland Hills, Bannister Engineering, applicant - Mr. Wilson shared the design intent, including how the site is now in compliance from an accessibility and fire access standpoint.

Carina Pacheco, 1525 Newt Patterson Road - Ms. Pacheco presented a background of the business and gave a brief overview of how Leno's Plant Farm has worked with the City to be in compliance.

Mayor Evans continued the public hearing through second reading at 9:06 p.m.

Allen Taylor answered Council questions regarding the number of readings for this item.

A motion was made by Council Member Broseh to approve the first reading of the following ordinance:

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR RETAIL PLANT NURSERY, WHOLESALE PLANT NURSERY, AND SINGLE-FAMILY RESIDENTIAL USES, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

Seconded by Council Member Short. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

NEW BUSINESS

21-4029

Discussion and Possible Action by the City of Mansfield, Texas, Establishing an Economic Development Program for Drinking and Dining Establishment Recruitment in the Historic Mansfield Reinvestment Zone Pursuant to Chapter 380 of the Texas Local Government Code to Promote Economic Development and Stimulate Business and Commercial Activity in the City

Assistant to the City Manager/Downtown Coordinator Nicolette Allen presented a draft of the Historic Downtown Mansfield Economic Development Incentive Program and

answered Council questions. Troy Lestina answered Council questions.

A motion was made by Council Member Bounds to approve the Economic Development Program for Drinking and Dining Establishment Recruitment in the Historic Mansfield Reinvestment Zone. Seconded by Council Member Lewis. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

21-4018

Consideration of an Ordinance Establishing the Conveyance of a Permanent Sidewalk Easement to the City of Mansfield for the Construction, Maintenance, and Operation of Sidewalk Facilities

Bart VanAmburgh made a brief presentation and answered Council questions.

A motion was made by Mayor Pro Tem Leyman to approve the following ordinance:

AN ORDINANCE APPROVING THE CONVEYANCE OF A PERMANENT SIDEWALK EASEMENT TO THE CITY OF MANSFIELD FOR THE CONSTRUCTION AND MAINTENANCE OF A SIDEWALK

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Council Member Broseh. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

Enactment No: OR-2204-21

ADJOURN

A motion was made by Council Member Broseh to adjourn the meeting at 9:31 p.m. Seconded by Council Member Lewis. The motion CARRIED by the following vote:

Aye: 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Abstain: 0

ATTEST: Michael Evans, Mayor

Susana Marin, City Secretary



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4045

Agenda Date: 4/26/2021

Version: 1

Status: Public Hearing

In Control: City Council

File Type: Zoning Case

Agenda Number:

Title

Public Hearing and Consideration of a Request for a Specific Use Permit for Apartments on Approximately 12.869 Acres out of the E. Mcanear Survey, Abstract No. 1005, Tarrant County, TX, Located at the Southeast Corner of Regency Pkwy. and Nahvi Rd.; Ryan Conway of JLB Partners (Developer) on Behalf of Mike Sellers of First Baptist Church, Michael P. Collini, and John C. Arnold of Fifteen Oaks Mansfield, L.P. (Owners) (SUP#21-001)

Requested Action:

To consider the subject specific use permit request.

Recommendation:

The Planning & Zoning Commission held a public hearing on April 5, 2021, and voted 7-0 to recommend approval with the condition that the screening of rooftop equipment be revised to provide for building parapets at least 1' taller than the tallest piece of equipment on all building facades per staff's recommendation. Several commissioners were impressed with the proposed development and the architecture. There was discussion regarding density, impact on the schools, walkability, long-term ownership of the development, demand and occupancy rates, market saturation, expected rent prices, expected time to complete construction, leasing time frames, location of fencing, screening of rooftop equipment, which buildings would include elevators and which would include stairs only, future road connectivity, parking, usage of the parallel parking spaces, underground utilities, breakdown and variety of unit types, naming of the development, plans for the memorial plaque, composition of uses in The Reserve, status of approved apartment developments in the City, and how long it could take to exhaust the remaining dwelling units allowed in The Reserve.

The applicant has revised their plans to clarify that adjacent to public and private streets, the rooftop equipment will be screened by building parapets at least 1' taller than the tallest piece of equipment, and that rooftop equipment on all other facades will be screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment. A detail rendering for the guardrail screening system has also been provided and the screening system has been revised to better screen the equipment with only 1" gaps in the rails. The screening system will be composed of fiber cement trim boards painted to match the roof. In addition, the Landscape Plan has been revised to provide for additional landscaping (evergreen groundcover and perennials) in the curb bump-outs along Nahvi Road and the east perimeter street.

Description/History:

Existing Use: Vacant Land

Existing Zoning: PD Planned Development

Surrounding Land Use & Zoning:

North - Vacant land, PD

South - Assisted senior living facility, PD

East - Vacant land, PD

West - Regency Pkwy; vacant land & professional offices (PD) across the street

Thoroughfare Plan Specification:

Regency Pkwy. - major collector (four-lane undivided)

Nahvi Rd. - minor collector (three-lane undivided)

Street along east perimeter - minor collector (three-lane undivided)

Comments and Considerations

The subject property consists of 12.869 acres of vacant land on the east side of Regency Parkway and the south side of future Nahvi Road (an extension of Robert Road). The property is located in the Workplace Sub-District of The Reserve, which is intended to provide opportunities for employment-related land uses including commercial and office, as well as multi-family residential and supporting service-related uses.

The applicant is requesting a Specific Use Permit for 356 apartment units. The Workplace Sub-District allows a maximum of 1,024 residential dwelling units. Urban Living Phase 1 (under construction) has already taken 295 units. If this development is approved, 373 units will remain available in this sub-district.

Site Plan

The applicant plans to develop an urban-style multi-family residential development called JLB Mansfield. Of the 12.869 total acres, the apartment development will be constructed on 10.475 acres, with the balance of the property to be dedicated as public right-of-way for new streets along the north and east perimeter of the development. The street along the north side of the development will be called Nahvi Road, which is an extension of Robert Road. Nahvi Road was identified in a previously-approved preliminary plat and was named after a local veteran (U.S. Army Spc. Russell Nahvi) who was killed in action in the War on Terror. The street on the east side remains unnamed and the applicant will construct the west half of the street located on their property. A private drive will run north-south through the center of the development to connect to the existing private drive in the Highlands Village senior living community to the south.

JLB Mansfield will include three (3) three-story buildings and two (2) four-story buildings, as well as four outdoor amenity spaces. The development will include a mix of tuck-under garage parking spaces, uncovered surface parking spaces, covered (carport) parking spaces, and parallel parking spaces along Nahvi Road and the street along the east perimeter. Building 1 is located on the west side of the development near the intersection of Nahvi Road and Regency Parkway and is three stories; it will include some ground-floor live-work units and is flanked by amenities on the west and east sides of the

building. To the east is Building 2, which is four stories and includes the leasing office, indoor amenities, and an outdoor courtyard amenity with swimming pool; Building 2 fronts on Nahvi Road and the central private drive. Buildings 3 and 5 are to the east of Building 2 and are both three stories; Building 3 fronts Nahvi and the private drive, while Building 5 fronts the private drive. Building 4 is the easternmost building and is an L-shaped four-story building that fronts both Nahvi Road and the street along the eastern perimeter. An additional amenity area with dog park and resident activity area is located roughly equi-distant to Buildings 3, 4, and 5. Combined, the buildings will include 356 apartments over 10.475 acres for a net density of about 34 dwelling units per acre.

The number of units, floors, floor area, and footprint size for each building is:

Building 1 (61 units; three stories): 71,583 sq. ft. floor area; 23,861 sq. ft. footprint
Building 2 (117 units; four stories): 142,752 sq. ft. floor area; 35,688 sq. ft. footprint
Building 3 (38 units; three stories): 47,216 sq. ft. floor area; 15,739 sq. ft. footprint
Building 4 (112 units; four stories): 121,339 sq. ft. floor area; 30,335 sq. ft. footprint
Building 5 (28 units; three stories): 37,256 sq. ft. floor area; 12,419 sq. ft. footprint
The lot coverage is 27% and the floor area ratio is 0.945.

The applicant is proposing the following unit mix:

Efficiency/studio (min. 600 sq. ft. floor area): 26 units (7.3%)
Efficiency/one-bedroom (min. 700 sq. ft. floor area): 141 units (39.6%)
One-bedroom (min. 750 sq. ft. floor area): 94 units (26.4%)
Two-bedroom (min. 950 sq. ft. floor area): 86 units (24.2%)
Live-work/one-bedroom (min. 750 sq. ft. floor area): 9 units (2.5%)

The units are distributed in a fairly balanced manner amongst the buildings, with the exception that Building 1 will be the only building to include live-work units.

Access, Circulation, and Parking

The main access to the development will be via the central north-south drive that connects to Nahvi Road on the north and the Highlands Village development to the south. From there, two gated access points will be provided to allow access to the west and east sides of the development. Secondary gated access points will be provided on Nahvi Road between Buildings 1 & 2 and on the east perimeter street on the south side of Building 4.

Parallel parking spaces with a pedestrian-friendly urban streetscape with enhanced sidewalk and tree wells will be provided along Nahvi Road and along the east perimeter street. This streetscape will also be provided along the central drive, however this central drive will include head-in parking instead of parallel parking in order to meet the parking needs for the development. All of these spaces will be accessible to the public and residents alike. In addition, dedicated spaces will be provided near the leasing office for future residents and parcel carriers.

Restricted parking areas (accessed via gates) include a mix of uncovered spaces, covered (carport) spaces, and tuck-under garage spaces in the apartment buildings. The tuck-under spaces are all located on the interior of the development and do not directly

face any public streets. The carport spaces are all located on interior drives that are not designated as fire lanes. There are 58 tuck-under garage spaces, 99 carport spaces, 338 standard parking spaces, and 14 ADA spaces, for a total of 509 spaces. The development will provide for a ratio of 1.15 spaces per bedroom and 1.43 spaces per unit.

To serve pedestrians, sidewalks will be located along the perimeter of most building facades (except where tuck-under garages are located) and sidewalk and crosswalk connections will allow for connection between buildings and access to amenities and parking areas. An 8' sidewalk will also be provided along Regency Parkway and enhanced sidewalks with tree wells will be provided along Nahvi Road, the eastern perimeter street, and both sides of the central drive.

Storage, Equipment/Service Area Screening, and Lighting

The applicant notes that there will be no outside storage or outside operations on the property, no parking of boats/trailers/recreational vehicles, all utilities with the exception of electric transmission lines will be placed underground, all service areas and mechanical equipment will be located and screened in accordance with the requirements of The Reserve, and adequate lighting will be provided in accordance with the requirements of The Reserve. Three masonry trash enclosures will be provided along the south side of the development and will be screened by shrubs. A maintenance garage will be located in Building 5. The applicant has provided for the screening of rooftop equipment by parapet walls adjacent to public and private streets and the screening of rooftop equipment by a fiber cement guardrail system painted to match the roof with 1" gaps in between each rail. All screening will be at least 1' taller than the tallest piece of equipment.

Elevations and Perspectives

The applicant has provided elevations for all facades of each building, the carports and trash enclosures, as well as a few perspectives to illustrate how the development will look from key intersections at different angles and at different times of day.

The building materials primarily include a mix of brick, cementitious paneling, and cementitious siding. Each building material includes three different colors. Reds, greys, and whites form the predominant color scheme of the development, in addition to a black metal railing system. The tuck-under garage doors are paneled and residential in character. The buildings are heavily articulated with wall plane and roof height recesses and projections, balconies, alternating building materials and colors, abundant windows and doors, and soldier coursing and banding repeated throughout the buildings. The buildings will also include tower features at the building corners. The buildings include a mix of parapet walls along street frontages as well as pitched roofs along the interior facades with asphalt shingles and a 4:12 predominant roof pitch. The ground floor liv-work units in Building 1 facing Nahvi Road and the amenity areas in Building 2 are designed in a storefront condition. In addition, the ground-floor residential units facing public streets have finished floor elevations above the finished sidewalk grade.

The overall building materials percentages are as follows:

Building 1: 74.6% brick; 19.1% cementitious panel; 6.3% siding
Building 2: 62.4% brick; 37.6% cementitious panel
Building 3: 65.4% brick; 15.9% cementitious panel; 18.7% siding
Building 4: 68.9% brick; 15% cementitious panel; 16.1% siding
Building 5: 64.7% brick; 16.5% cementitious panel; 18.8% siding

It is noted that all elevations facing public or private streets are at least 75% masonry or masonry-like as required by the Workplace Sub-District regulations. The percentage of glass on each building is no more than 32%.

The trash enclosures and outer carport columns will include masonry to match the buildings. The screening of rooftop equipment on non-street-facing facades will include fiber cement panels painted to match the roof.

The design of the site and the building architecture provides for prominent building corners at street intersections, abundant building façade relief and articulation, abundant roof line articulation, and a pedestrian-friendly streetscape design, all consistent with the standards for the Workplace Sub-District of The Reserve.

Landscaping, Screening, and Hardscaping

A Landscape Plan has been provided showing the overall landscaping and hardscaping to be provided throughout the site, as well as tables specifying the requirements, planting types and quantities, and details for the fencing and gates.

As required, street trees will be provided approximately every 40' along Regency Parkway and approximately every 30' in tree wells along Nahvi Road, the east perimeter street, and the central drive. The curb bump-outs along Nahvi Road and the east perimeter street will also include evergreen groundcover and perennials. Trees will also be provided in the parking lot islands and shrubs will be provided to screen parking areas from adjacent streets and properties. Shrubs will also be provided around building foundations and a mixture of landscaping and hardscaping will be provided in the amenity areas. Hardscape elements including benches, trash receptacles, street lights, and bike racks will be provided at regular intervals along Nahvi Road and the east perimeter street as required by the Workplace Sub-District regulations.

While The Reserve regulations discourage fencing, interior sections of the development are fenced and gated in order to restrict access to resident parking, living, and amenity areas. However, the portions of the development along public and private streets are not gated in order to provide for the street-oriented, pedestrian-friendly atmosphere intended by The Reserve. The fencing material will be a decorative ornamental metal fence in order to provide for an open, pedestrian-friendly aesthetic.

Amenities

The development will include four amenity areas:

- Amenity Area 1 will include the indoor club and fitness area as well as the mail center and leasing office, all located in Building 2; it will also include outdoor amenities in the courtyard of Building 2, including a resort-style pool with enhanced pavement pool

deck, lounge chairs and outdoor furniture, covered open-air lounge space, grilling station with bar counter, and synthetic turf lawn areas.

- Amenity Area 2 will be located between Buildings 3, 4 and 5 and will include a fenced dog park with pet stations, lawn area for structured recreational activities, covered pavilion, outdoor furniture and bench seating, festive string lighting, and shade trees and enhanced planting.
- Amenity Area 3 will be located on the east side of Building 1 and will be designed as a passive space adjacent to Nahvi Road that will be accessible to the public and improved with enhanced pavement, bench seating and masonry seat wall, shade trees and enhanced planting, and pedestrian-scaled light fixtures.
- Amenity Area 4 will be located on the west side of Building 1 near the intersection of Regency Parkway and Nahvi Road and will include a masonry seat wall with memorial plaque to Spc. Russell Nahvi, as well as enhanced paving and landscaping.

Signage

A signage plan has been provided, showing limited signage consistent with the standards of The Reserve with a total of three wall signs, one each on Building 1 (facing Regency Parkway), Building 2 (facing Nahvi Road), and Building 4 (facing the east perimeter street). Each wall sign will be allowed a maximum length of 20' and a maximum height of 4' (80 sq. ft.).

Summary

The subject property is located in the Workplace Sub-District of The Reserve. This sub-district is intended to accommodate employment-related uses, multi-family residential, and supporting commercial service uses. After the Urban Living development provided the initial multi-family residential units to this sub-district, this development will bring additional units and help anchor the western portion of this development along Regency Parkway with active residential uses to help balance the office/employment-related uses along this corridor and help to further the pedestrian-friendly design already established with the Urban Living development to the northeast.

The applicant has worked cooperatively with staff to design the development in such a way to meet the intent of The Reserve Planned Development Regulations, including increasing the height of some of the buildings to four stories, providing for a pedestrian-friendly streetscape, committing to building half of the east perimeter street, providing a central drive that is open to the public and enhanced with pedestrian-friendly elements, providing tuck-under garage spaces, limiting perimeter fencing and screening to only interior sections of the development, and providing for quality architecture, landscaping, hardscaping, and amenities throughout the development.

The apartments will also provide for convenient living options near the continued expansion of employment and commercial uses in this area, including the Broad Street, Heritage Parkway, and Regency Parkway corridors and the City's growing medical, educational, and recreational facilities. The development will complement the Urban Living development and continue the gridded street system with pedestrian-friendly streetscape as intended by The Reserve. The dense urban-style design in combination

with the limits on the number of dwelling units established in The Reserve also allows for the continued careful stewardship of land resources in the City, including preservation of land for commercial and employment uses in much of the remainder of the Workplace Sub-District.

Prepared By

Andrew Bogda, Planner
817-276-4287

Attachments:

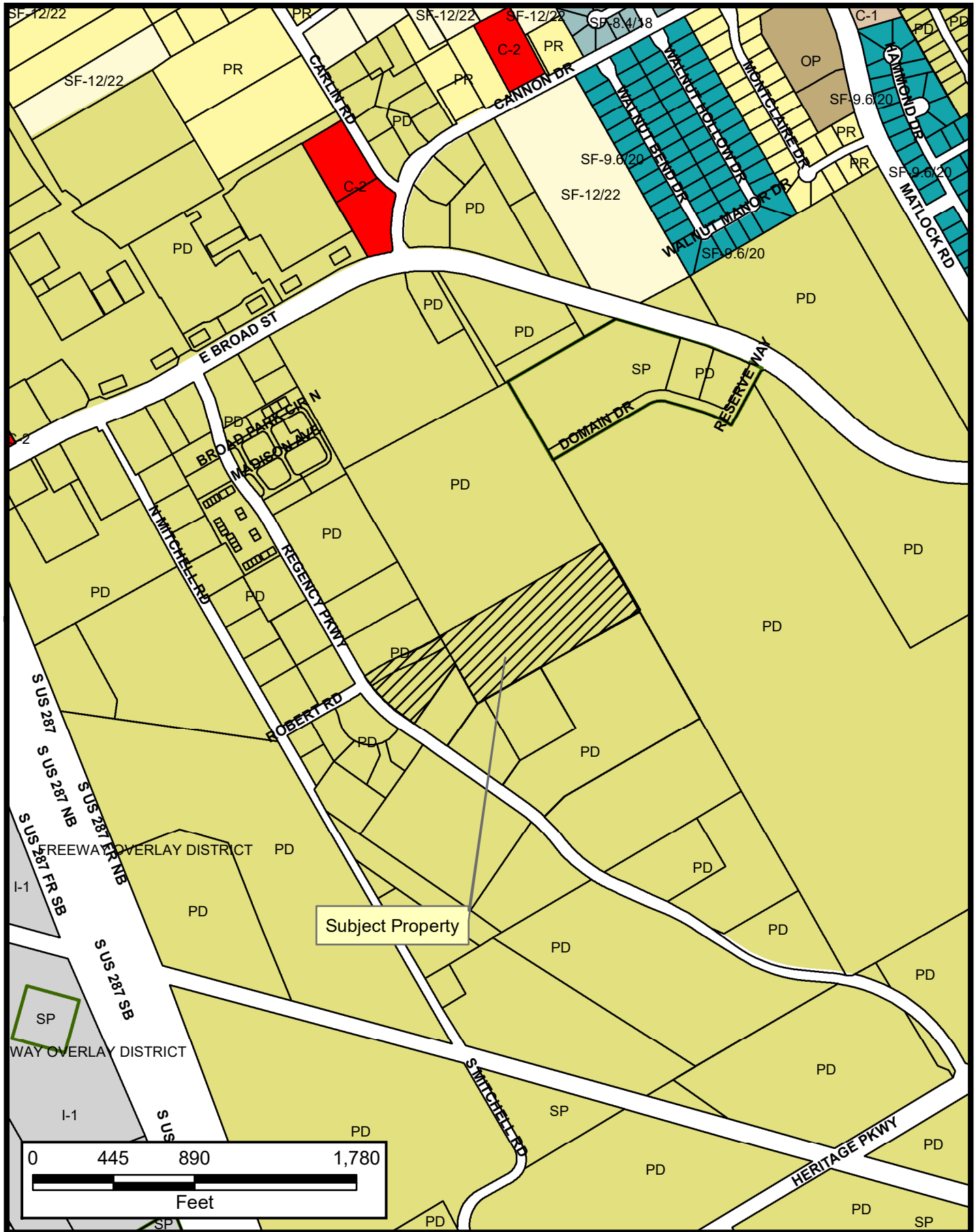
Maps and Supporting Information
Exhibit A
Exhibits B - E



SUP#21-001

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

3/25/2021



SUP#21-001

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3/25/2021

Property Owner Notification for SUP#21-001

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
FOUNTAINVIEW CENTER	BLK 1	RITTER, THOMAS J JR	1703 FOUNTAINVIEW DR STE 103	MANSFIELD, TX	76063-5092
FOUNTAINVIEW CENTER	BLK 1	RITTER, THOMAS J JR	1703 FOUNTAINVIEW DR STE 103	MANSFIELD, TX	76063-5092
FOUNTAINVIEW CENTER	BLK 1	MANSFIELD SPECIALISTS HOLDINGS	1021 MATLOCK RD #103	MANSFIELD, TX	76063
HIGHLAND HEIGHTS ADDN	BLK 1	GRAND REGENCY PARTNERS LLC	1100 W PIONEER PKWY	ARLINGTON, TX	76013-6367
HIGHLAND HEIGHTS ADDN	BLK 1	HIGHLANDS VILLAGE SENIOR LIVING LLC	1100 WEST PIONEER PKWY	ARLINGTON, TX	76013
HIGHLAND HEIGHTS ADDN	BLK 1	MANSFIELD DERMATOLOGY PLLC	130 REGENCY PKWY	MANSFIELD, TX	76063
MCANEAR, ELIZABETH SURVEY	A 1005	HORNING-LOCKWOOD, STEPHEN C	20 WOODLAND CT	MANSFIELD, TX	76063-6033
MCANEAR, ELIZABETH SURVEY	A 1005	FIRST BAPTIST CH MANSFIELD	PO BOX 2255	MANSFIELD, TX	76063-0047
MCANEAR, ELIZABETH SURVEY	A 1005	FIFTEEN OAKS MANSFIELD LP	3557 BELLAIRE DR S	FORT WORTH, TX	76109-2134
MCANEAR, ELIZABETH SURVEY	A 1005	COLLINI, MICHAEL P	1410 LONG AND WINDING RD	MANSFIELD, TX	76063-5607
MCANEAR, ELIZABETH SURVEY	A 1005	COLLINI, MICHAEL P	1410 LONG AND WINDING RD	MANSFIELD, TX	76063-5607
MCCASLIN BUSINESS PARK	BLK 1	TEKNON LLC	500 THROCKMORTON ST APT 3206	FORT WORTH, TX	76102
MCCASLIN BUSINESS PARK	BLK 2	MASTER METER INC	101 REGENCY PKWY	MANSFIELD, TX	76063-5093
MCCASLIN BUSINESS PARK	BLK 3	BHAKTA INVESTMENT GROUP LLC	3 HIDDEN LAKE CT	MANSFIELD, TX	76063

SUP#21-001 EXHIBIT A

METES AND BOUNDS DESCRIPTION

BEING a tract of land situated in the E. McAnier Survey, Abstract No. 1005, City of Mansfield, Tarrant County, Texas, being part of a tract conveyed to Fifteen Oaks Mansfield, L.P., recorded in Document No. D205288048 of the Official Public Records, Tarrant County, Texas (OPRTCT), and being all of a Tract 2 conveyed to Michael P. Collini, recorded in Document No. D210239946 OPRTCT, and being part of a tract conveyed to First Baptist Church of Mansfield, by deed recorded in Volume 7667, Page 1119 of the Deed Records, Tarrant County, Texas (DRTCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found on the east line of Regency Parkway, a 70-foot right-of-way created by the final plat of Section One, McCaslin Business Park, recorded in Document No. D203330304 OPRTCT, for the south corner of a tract conveyed to Michael P. Collini, recorded in Document No. D212112078 OPRTCT;

THENCE along the southeast line thereof, the following:

N 54°56'11" E, 14.22 feet to a 1/2" iron rod found;

A tangent curve to the right having a central angle of 11°52'41", a radius of 1035.00 feet, a chord of N 60°52'31" E - 214.18 feet, an arc length of 214.57 feet to a 1/2" iron rod found;

N 66°48'52" E, 65.10 feet to a 1/2" iron rod found;

A tangent curve to the left having a central angle of 06°41'16", a radius of 965.00 feet, a chord of N 63°28'14" E - 112.57 feet, an arc length of 112.64 feet to a 1/2" iron rod found;

And N 60°07'36" E, 1085.76 feet to a point on the lower northeast line thereof, being on the southwest line of a tract conveyed to Stephen Clare Horning-Lockwood, recorded in Volume 10470, Page 1069 DRTCT;

THENCE S 30°07'32" E, 425.14 feet along the southwest line thereof to a 1/2" iron rod with plastic cap found for the north corner of a right-of-way dedication created by the final plat of Highland Heights Addition;

SUP#21-001 EXHIBIT A

THENCE S 60°08'03" W, 1031.11 feet along the northwest line of Highland Heights Addition to a 1/2" iron rod found for the east corner of Lot 2, Block 3, McCaslin Business Park, recorded in Document No. D204167038, Official Public Records, Tarrant County, Texas, for a northwesterly corner of Lot 1, Block 1, Highland Heights Addition, recorded in Document No. D216107477 OPRTCT;

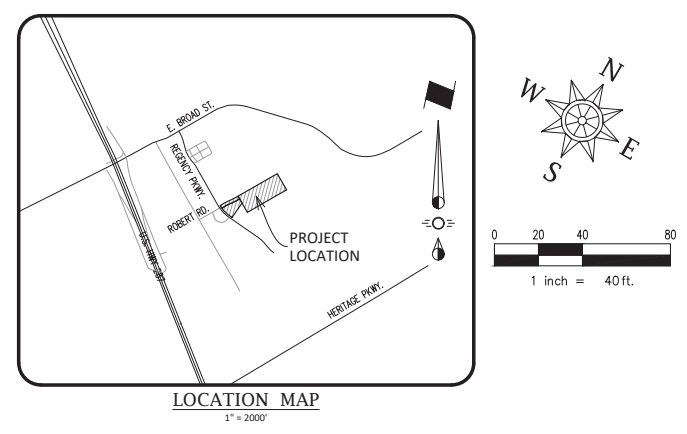
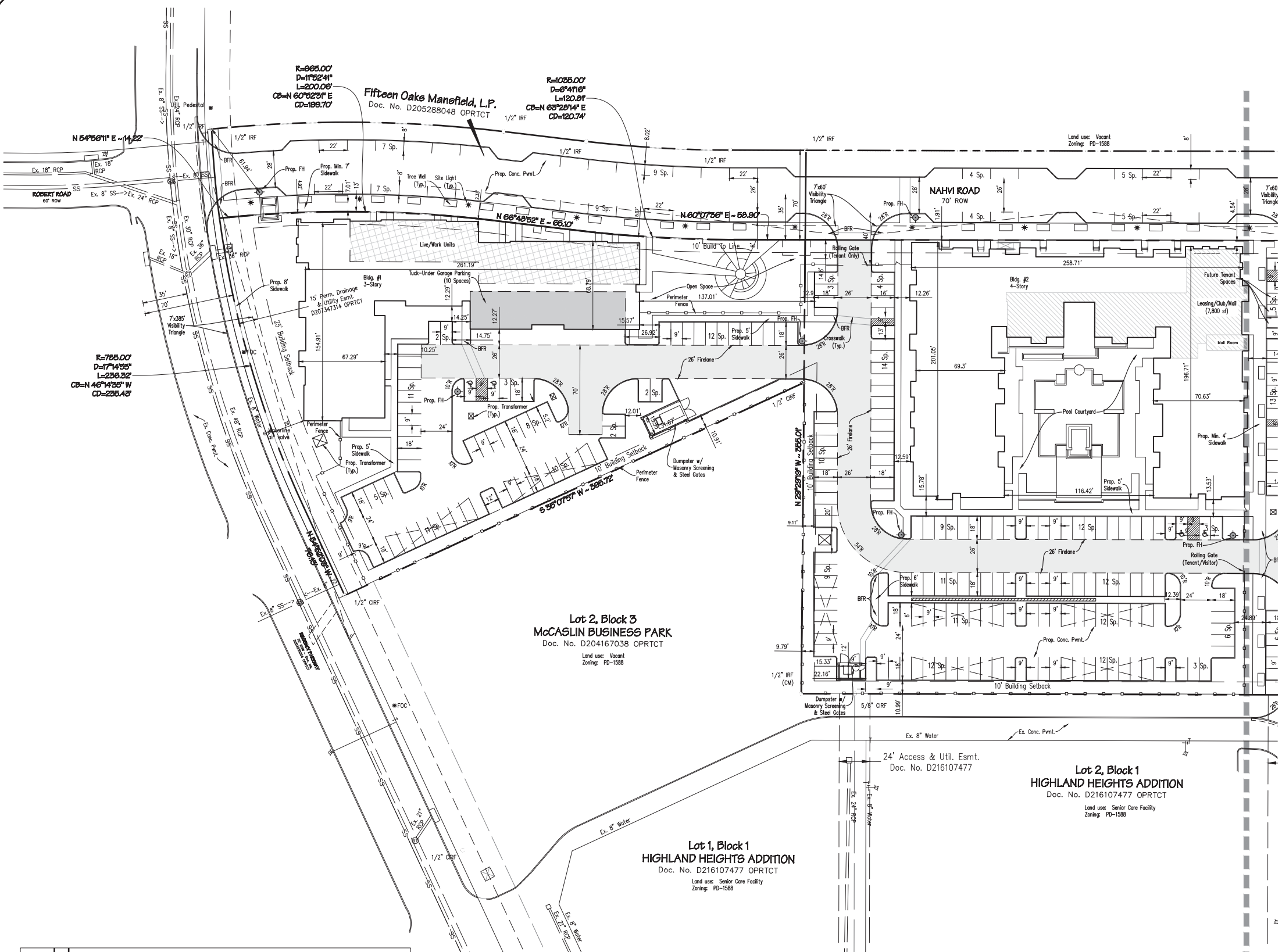
THENCE N 29°29'19" W, 243.27 feet along the northeast line of Lot 2, Block 3 to a 1/2" iron rod with plastic cap found for the north corner thereof, being the east corner of said Collini tract;

THENCE S 35°07'57" W, 395.72 feet along the northwest line of Lot 2 to a 1/2" iron rod with plastic cap found on the east line of Regency Parkway, a 70-foot right-of-way created by the final plat of Section One, McCaslin Business Park, recorded in Document No. D203330304 OPRTCT, for the west corner of Lot 2;

THENCE N 54°52'03" W, 76.13 feet along the east line of Regency Parkway to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

THENCE continuing along the east line of Regency Parkway, around a tangent curve to the right having a central angle of 22°21'35", a radius of 785.00 feet, a chord of N 43°41'16" W - 304.40 feet, an arc length of 306.35 feet to the POINT OF BEGINNING with the subject tract containing 560,584 square feet or 12.869 acres of land.

Drawn: C:\2020\JLB\20-001\JLB Mansfield\20-001 Site Plan.dwg Saved By: Brouwer Date: 3/24/2021 3:21:55 PM
Printed By: JLB Mansfield Date: 3/26/2021 11:38 PM



SITE DATA			
SITE DENSITY	Site Area	12.869 Acres (Gross)	10.202 Acres (Net)
		560,584 Sq. Ft. (Gross)	444,399 Sq. Ft. (Net)
Total Units	356		
Density	27.7 UPA		34.9 UPA
UNIT MIX			
Type of Unit	# of Units	Min. Floor Area	Total %
Efficiency (Studio)	26	600 SF	7.3%
Efficiency (One Bedroom)	141	700 SF	39.6%
One Bedroom (A)	94	750 SF	26.4%
Two Bedroom (B)	86	950 SF	24.2%
Live Work (One Bedroom)	9	750 SF	2.5%
Total	356		100.0%
UNIT TABULATION			
Bldg. Number	Efficiency/One Bedroom / LW	Two Bedroom	Total
Bldg. 1	55	6	61
Bldg. 2	78	39	117
Bldg. 3	29	9	38
Bldg. 4	92	20	112
Bldg. 5	19	9	28
Total	273	83	356
BUILDING TABULATION			
Bldg. Number	Footprint	Total Building Area	
Bldg. 1	23,861 SF	71,583 SF	
Bldg. 2	35,688 SF	142,752 SF	
Bldg. 3	15,739 SF	47,216 SF	
Bldg. 4	30,335 SF	121,339 SF	
Bldg. 5	12,419 SF	37,256 SF	
Total	118,042 SF	420,146 SF	
Lot Coverage	27%		
Floor Area Ratio	0.945 :1		
PARKING REQUIRED			
1 Bedroom & Eff. Units	1 Space/Unit	235 Spaces	
2 Bedroom Units	2 Spaces/Unit	172 Spaces	
Total		407 Spaces	
PARKING PROVIDED			
Standard Parking Spaces		338	
Standard HC Parking Spaces		13	
Covered Parking Spaces		99	
Covered HC Parking Spaces		1	
Attached Tuck-Under Garages		58	
Total Provided		509	
Space Per Bed		1.15	
Space Per Unit		1.43	

NOTES

- No trees, signs, or anything over 2' in height is allowed within the visibility triangles.
- Adequate lighting shall be provided throughout the development in accordance with Section 7 of the workplace sub-district of the Reserve Planned Development District Standards.
- All service areas and mechanical equipment will be located and screened in accordance with Section 10 of the Workplace Sub-District of The Reserve Planned Development Standards.
- All rooftop equipment shall be screened by at least 1' higher than the tallest piece of equipment.
- No outside storage or outside operations of any kind shall be permitted.
- No boats, motor homes, trailers, recreational vehicles, towed trailers, or similar vehicular equipment shall be parked or stored on the property.
- All utilities except electrical transmission lines shall be placed underground in accordance with the Planned Development Standards.

LEGEND

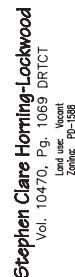
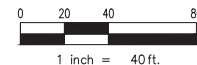
- Proposed Firelane
- Existing Sign
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Proposed Transformer
- Edge of Proposed Paving*
- Edge of Future Paving
- Proposed ADA Parking Space
- Covered Parking

* All Proposed Street and Sidewalk Shall Be Concrete

SUP#21-001 EXHIBIT B
SPECIFIC USE PERMIT SITE PLAN
JLB MANSFIELD
BLOCK A, LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
E. McANIER SURVEY, ABST. NO. 1005
456,299 Sq. Ft./ 10.475 Acres (Net)
560,584 Sq. Ft./ 12.869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBEPE No. F-2121
Contact: Joe Lehman
joe.lehman@spiarsengineering.com

OWNER / APPLICANT
JLB Realty, LLC
3890 W. Northwest Highway, 7th Floor
Dallas, Texas 75220
Contact: Britton Church
bchurch@jlbpartners.com
Phone: 214-271-8480



Doc. No. D216107477 OPRTCT
Land use: Vacant
Zoning: PD-1588

1. No trees, signs, or anything over 2' in height is allowed within the visibility triangles.
2. All outdoor lighting shall be provided throughout the development in accordance with the lighting standards of the sub-district of the Reserve Planned Development District Standards.
3. All service areas and mechanical equipment will be screened and screened in accordance with Section 10 of the Workplace District of the Reserve Planned Development Standards.
4. All rooftop equipment shall be placed at or higher than the tallest piece of equipment.
5. No outside storage or outdoor operations of any kind shall be permitted.
6. No buses, motor homes, trailers, recreational vehicles, towed trailers, or similar vehicular equipment shall be stored or stored on the property.
7. All utilities except electrical transmission lines shall be placed underground in accordance with the Planned Development Standards.

* All Proposed Street and Sidewalk Shall Be Concrete

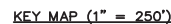
BLOCK A, LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS

E. McANIER SURVEY, ABST. NO. 1005
456,299 Sq. Ft./ 10.475 Acres (Net)
560,584 Sq. Ft./ 12.869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Joe Lehman
e.lehman@spiarsengineering.com

OWNER / APPLICANT
JLB Realty, LLC
3890 W. Northwest Highway, 7th Floor
Dallas, Texas 75220
Contact: Britton Church
bchurch@jlbpartners.com
Phone: 214-271-8480

SHEET 2 OF 2 Scale: 1"=40' March, 2021 SEI Job No. 20-095



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	74.6%
BRICK - FIELD 01	58.6%
BRICK - FIELD 02	11.2%
BRICK - FIELD 03	4.8%
CEMENTITIOUS PANEL	19.1%
SIDING	6.3%
GLASS/WINDOW/DOOR	
26.8%	

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND -
FIELD COLOR 01
- 06.2

BRICK MASONRY BAND -
FIELD COLOR 02
- 06.3

BRICK MASONRY BAND -
FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING
SYSTEM
- 11

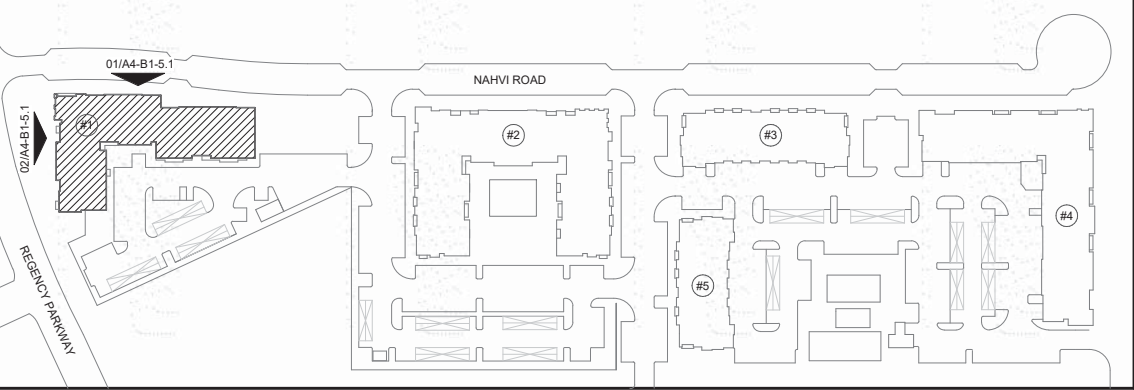
ALUMINIUM PARAPET
COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



ROOF MOUNTED EQUIPMENT SCREEN NOTE:
All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades. (Ref. to Page 12 of 15 for additional details)



02 WEST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	80.6%
BRICK - FIELD 01	50.4%
BRICK - FIELD 02	12.7%
BRICK - FIELD 03	17.5%
CEMENTITIOUS PANEL	19.4%
GLASS/WINDOW/DOOR	
27.1%	



01 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	79.6%
BRICK - FIELD 01	49.4%
BRICK - FIELD 02	18.8%
BRICK - FIELD 03	11.5%
CEMENTITIOUS PANEL	20.4%
GLASS/WINDOW/DOOR	
30.5%	

CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX-75254
CONTACT PERSON -JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net

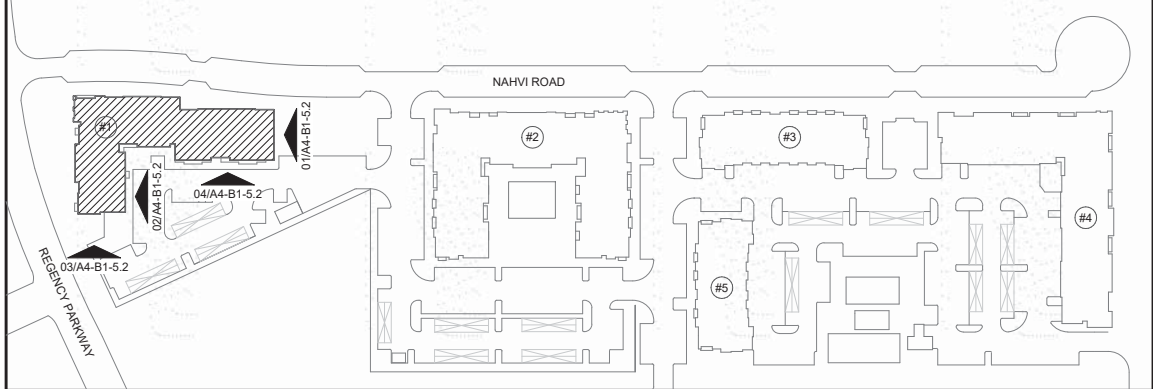
Revisions

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	74.6%
BRICK - FIELD 01	58.6%
BRICK - FIELD 02	11.2%
BRICK - FIELD 03	4.8%
CEMENTITIOUS PANEL	19.1%
SIDING	6.3%
GLASS/WINDOW/DOOR	26.8%

MATERIAL LEGEND

- | | | | | | |
|------|--|------|---|----|--------------------------------|
| 01.1 | BRICK MASONRY VENEER - FIELD COLOR 01 | 04 | PREFINISHED VINYL WINDOW SYSTEM | 07 | SPECIALTY WINDOW |
| 01.2 | BRICK MASONRY VENEER - FIELD COLOR 02 | 05.1 | CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01 | 08 | CAST STONE |
| 01.3 | BRICK MASONRY VENEER - FIELD COLOR 03 | 05.2 | CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02 | 09 | METAL RAILING SYSTEM |
| 02.1 | CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01 | 05.3 | CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03 | 10 | ASPHALT SHINGLE ROOFING SYSTEM |
| 02.2 | CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02 | 06.1 | BRICK MASONRY BAND - FIELD COLOR 01 | 11 | ALUMINIUM PARAPET COPING CAP |
| 02.3 | CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03 | 06.2 | BRICK MASONRY BAND - FIELD COLOR 02 | 12 | METAL CANOPY |
| 03 | PATIO DOOR UNIT | 06.3 | BRICK MASONRY BAND - FIELD COLOR 03 | 13 | DOWNSPOUT |
| | | | | 14 | RESIDENTIAL STEEL DOOR |

KEY PLAN - BUILDING LEGEND



ROOF MOUNTED EQUIPMENT SCREEN NOTE:
All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades. (Ref. to Page 12 of 15 for additional details)



04 SOUTH ELEVATION 02
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	41.0%
BRICK - FIELD 01	41.0%
BRICK - FIELD 02	0%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	33.1%
SIDING	25.9%
GLASS/WINDOW/DOOR	31.3%



3 SOUTH ELEVATION 01
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	95.0%
BRICK - FIELD 01	95.0%
BRICK - FIELD 02	0%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	5.0%
SIDING	0%
GLASS/WINDOW/DOOR	14.3%



02 EAST ELEVATION 01
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	73.5%
BRICK - FIELD 01	73.5%
BRICK - FIELD 02	0%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	14.4%
SIDING	12.1%
GLASS/WINDOW/DOOR	27.1%



01 EAST ELEVATION 02
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	77.9%
BRICK - FIELD 01	42.0%
BRICK - FIELD 02	35.9%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	22.1%
SIDING	0%
GLASS/WINDOW/DOOR	11.1%

CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	62.39%
BRICK - FIELD 01	47.99%
BRICK - FIELD 02	8.80%
BRICK - FIELD 03	5.60%
CEMENTITIOUS PANEL	37.61%
SIDING	0
GLASS/WINDOW/DOOR	25.16%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER - FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER - FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER - FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND - FIELD COLOR 01
- 06.2

BRICK MASONRY BAND - FIELD COLOR 02
- 06.3

BRICK MASONRY BAND - FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING SYSTEM
- 11

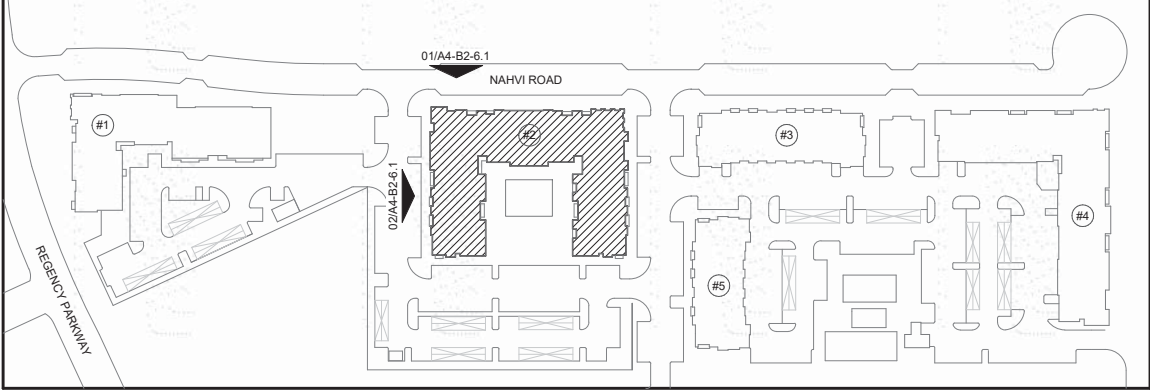
ALUMINIUM PARAPET COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



ROOF MOUNTED EQUIPMENT SCREEN NOTE:
All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades. (Ref. to Page 12 of 15 for additional details)



02 WEST ELEVATION 01
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	81.0%
BRICK - FIELD 01	55.5%
BRICK - FIELD 02	16.3%
BRICK - FIELD 03	9.2%
CEMENTITIOUS PANEL	19.0%
GLASS/WINDOW/DOOR	25.8%



01 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	83.0%
BRICK - FIELD 01	45.7%
BRICK - FIELD 02	17.6%
BRICK - FIELD 03	19.7%
CEMENTITIOUS PANEL	17.0%
GLASS/WINDOW/DOOR	22.7%

0 3 6 9 12 15
CASE NUMBER_SUP #21 - 001
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14881 QUORUM DR#550
DALLAS, TX-75254
CONTACT PERSON - JUAN TORRES
(sr. proj. manager)
EMAIL - juan@hlrinc.net

Revisions

ROOF MOUNTED EQUIPMENT SCREEN NOTE:
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(Ref. to Page 12 of 15 for additional details)

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	62.39%
BRICK - FIELD 01	47.99%
BRICK - FIELD 02	8.80%
BRICK - FIELD 03	5.60%
CEMENTITIOUS PANEL SIDING	37.61%
GLASS/WINDOW/DOOR	25.16%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER - FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER - FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER - FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND - FIELD COLOR 01
- 06.2

BRICK MASONRY BAND - FIELD COLOR 02
- 06.3

BRICK MASONRY BAND - FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING SYSTEM
- 11

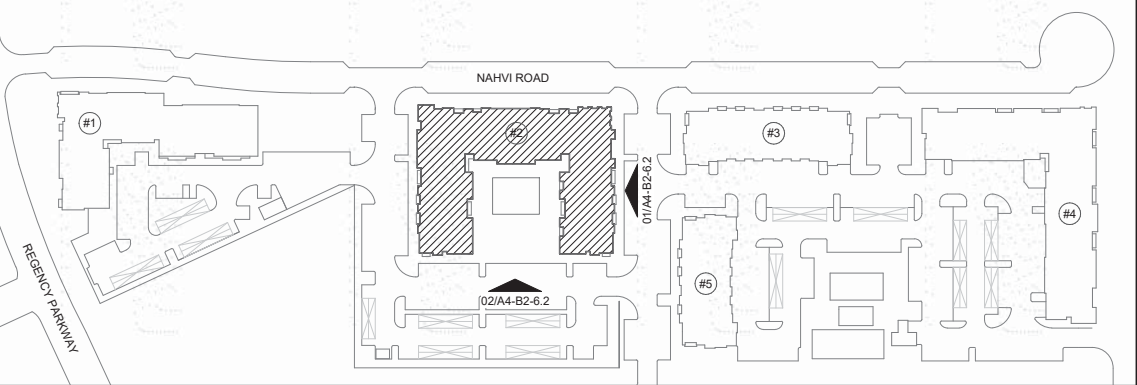
ALUMINIUM PARAPET COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



2 SOUTH ELEVATION 03
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	61.64%
BRICK - FIELD 01	47.81%
BRICK - FIELD 02	13.83%
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	38.36%
GLASS/WINDOW/DOOR	14.59%



01 EAST ELEVATION 03
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	78.0%
BRICK - FIELD 01	53.8%
BRICK - FIELD 02	13.9%
BRICK - FIELD 03	10.3%
CEMENTITIOUS PANEL	22.0%
GLASS/WINDOW/DOOR	27.0%

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14881 QUORUM DR#550
DALLAS, TX-75254
CONTACT PERSON - JUAN TORRES
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EMAIL - juan@hlrinc.net

ROOF MOUNTED EQUIPMENT SCREEN NOTE:
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(Ref. to Page 12 of 15 for additional details)

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	62.39%
BRICK - FIELD 01	47.99%
BRICK - FIELD 02	8.80%
BRICK - FIELD 03	5.60%
CEMENTITIOUS PANEL	37.61%
SIDING	0
GLASS/WINDOW/DOOR	25.16%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND -
FIELD COLOR 01
- 06.2

BRICK MASONRY BAND -
FIELD COLOR 02
- 06.3

BRICK MASONRY BAND -
FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING
SYSTEM
- 11

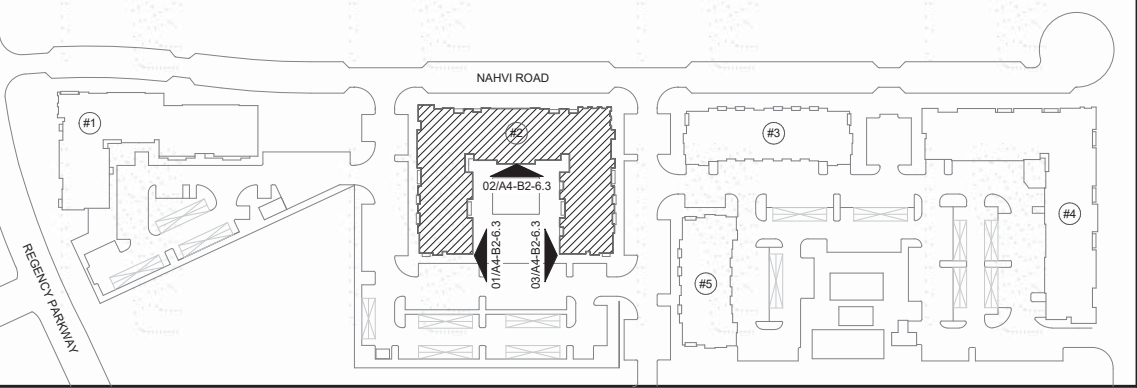
ALUMINIUM PARAPET
COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



03 WEST ELEVATION 03
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	51.86%
BRICK - FIELD 01	51.86%
BRICK - FIELD 02	0
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	48.14%
GLASS/WINDOW/DOOR	27.37%



02 SOUTH ELEVATION 02
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	29.35%
BRICK - FIELD 01	29.35%
BRICK - FIELD 02	0
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	70.65%
GLASS/WINDOW/DOOR	31.32%



01 EAST ELEVATION 01
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	51.86%
BRICK - FIELD 01	51.86%
BRICK - FIELD 02	0
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	48.14%
GLASS/WINDOW/DOOR	27.37%

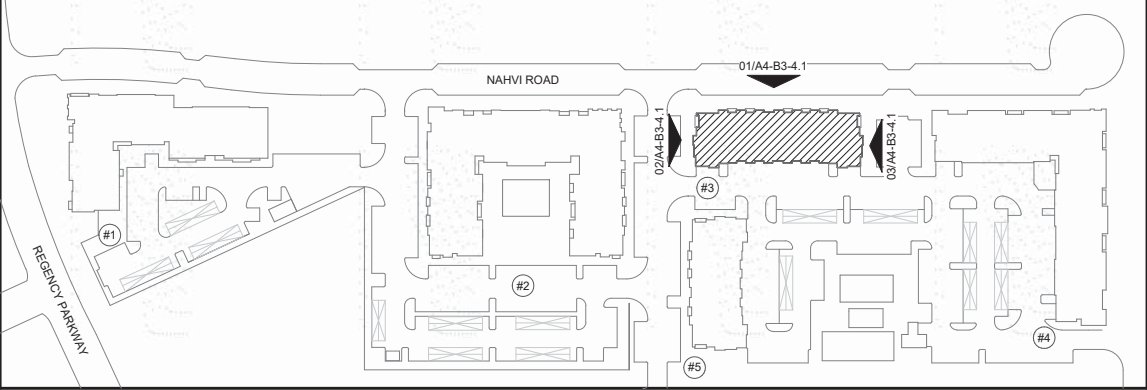
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HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
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(Ref. to Page 12 of 15 for additional details)

MATERIAL LEGEND

- | | | | | | |
|------|--|------|---|----|--------------------------------|
| 01.1 | BRICK MASONRY VENEER - FIELD COLOR 01 | 04 | PREFINISHED VINYL WINDOW SYSTEM | 07 | SPECIALTY WINDOW |
| 01.2 | BRICK MASONRY VENEER - FIELD COLOR 02 | 05.1 | CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01 | 08 | CAST STONE |
| 01.3 | BRICK MASONRY VENEER - FIELD COLOR 03 | 05.2 | CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02 | 09 | METAL RAILING SYSTEM |
| 02.1 | CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01 | 05.3 | CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03 | 10 | ASPHALT SHINGLE ROOFING SYSTEM |
| 02.2 | CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02 | 06.1 | BRICK MASONRY BAND - FIELD COLOR 01 | 11 | ALUMINIUM PARAPET COPING CAP |
| 02.3 | CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03 | 06.2 | BRICK MASONRY BAND - FIELD COLOR 02 | 12 | METAL CANOPY |
| 03 | PATIO DOOR UNIT | 06.3 | BRICK MASONRY BAND - FIELD COLOR 03 | 13 | DOWNSPOUT |
| | | | | 14 | RESIDENTIAL STEEL DOOR |

KEY PLAN - BUILDING LEGEND



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.4%
BRICK - FIELD 01	51.7%
BRICK - FIELD 02	13.7%
CEMENTITIOUS PANEL	15.9%
SIDING	18.7%
GLASS/WINDOW/DOOR	
	22.5%



03 EAST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.5%
BRICK - FIELD 01	55.1%
BRICK - FIELD 02	10.4%
CEMENTITIOUS PANEL	8.3%
SIDING	26.2%
GLASS/WINDOW/DOOR	
	22.5%



02 WEST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	84.5%
BRICK - FIELD 01	53.8%
BRICK - FIELD 02	30.7%
CEMENTITIOUS PANEL	8.6%
SIDING	6.9%
GLASS/WINDOW/DOOR	
	22.8%



01 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	77.2%
BRICK - FIELD 01	69.7%
BRICK - FIELD 02	7.4%
CEMENTITIOUS PANEL	22.8%
SIDING	0.0%
GLASS/WINDOW/DOOR	
	24.7%

0 3 5 10 15

CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX-75254
CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net

ROOF MOUNTED EQUIPMENT SCREEN NOTE:
All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades.
(Ref. to Page 12 of 15 for additional details)

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER - FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER - FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER - FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND - FIELD COLOR 01
- 06.2

BRICK MASONRY BAND - FIELD COLOR 02
- 06.3

BRICK MASONRY BAND - FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING SYSTEM
- 11

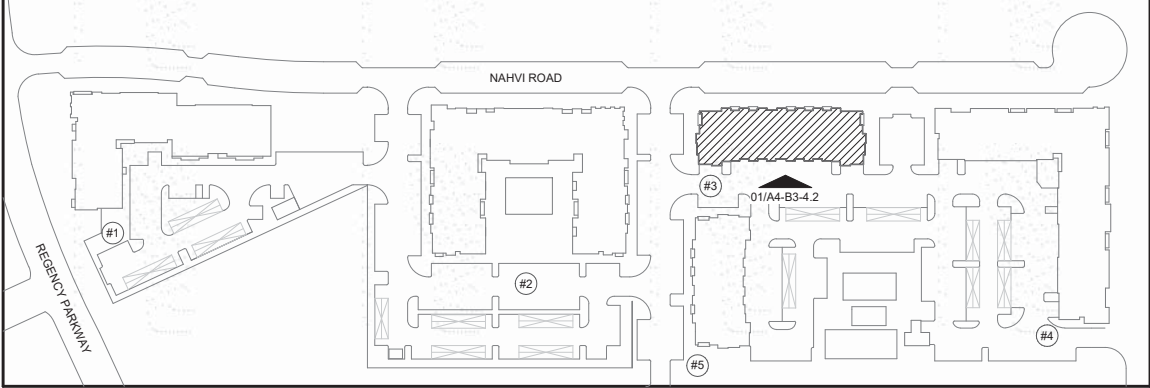
ALUMINIUM PARAPET COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.4%
BRICK - FIELD 01	51.7%
BRICK - FIELD 02	13.7%
CEMENTITIOUS PANEL	15.9%
SIDING	18.7%
GLASS/WINDOW/DOOR	
	22.5%



01 South elevation
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	34.6%
BRICK - FIELD 01	28.2%
BRICK - FIELD 02	6.4%
CEMENTITIOUS PANEL	23.9%
SIDING	41.5%
GLASS/WINDOW/DOOR	
	19.7%



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EMAIL - juan@hlrinc.net



HENSLEY LAMKIN RACHEL, INC.
DALLAS • HOUSTON • SEATTLE
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PH: 972.726.9400

Revisions

BRUCE W. RACHEL, AIA
TX LICENCE NO. 14373
PRELIMINARY DRAWING
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LAMKIN RACHEL, INC.

Project Title:

NAHVI ROAD

EXHIBIT C

MANSFIELD, TX.



Project ID: #20410

Sheet No.

PAGE 7 OF 15

ROOF MOUNTED EQUIPMENT SCREEN NOTE:
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(Ref. to Page 12 of 15 for additional details)

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	68.88%
BRICK - FIELD 01	47.11%
BRICK - FIELD 02	17.71%
BRICK - FIELD 03	4.06%
CEMENTITIOUS PANEL	14.97%
SIDING	16.13%
GLASS/WINDOW/DOOR	21.94%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND -
FIELD COLOR 01
- 06.2

BRICK MASONRY BAND -
FIELD COLOR 02
- 06.3

BRICK MASONRY BAND -
FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING
SYSTEM
- 11

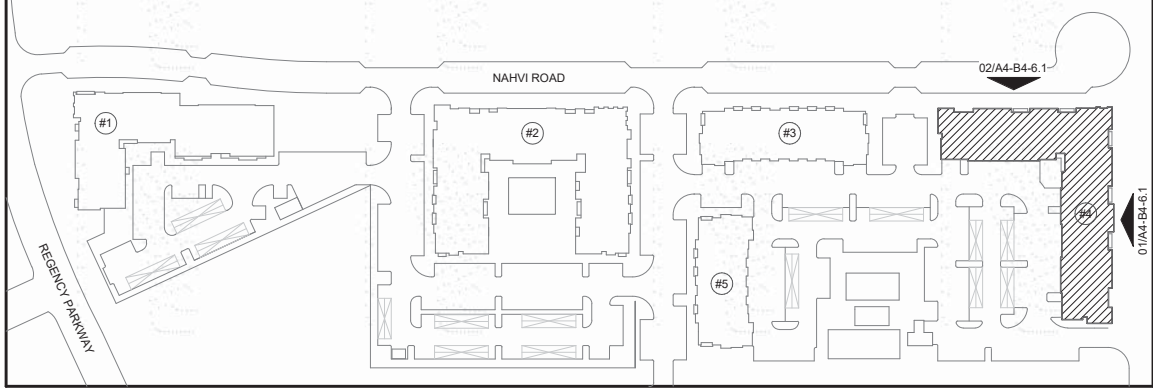
ALUMINIUM PARAPET
COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



02 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	98.0%
BRICK - FIELD 01	61.6%
BRICK - FIELD 02	18.1%
BRICK - FIELD 03	18.3%
CEMENTITIOUS PANEL	2.0%
GLASS/WINDOW/DOOR	24.4%



01 EAST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	87.7%
BRICK - FIELD 01	63.5%
BRICK - FIELD 02	18.1%
BRICK - FIELD 03	6.1%
CEMENTITIOUS PANEL	12.3%
GLASS/WINDOW/DOOR	26.6%



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CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	68.88%
BRICK - FIELD 01	47.11%
BRICK - FIELD 02	17.71%
BRICK - FIELD 03	4.06%
CEMENTITIOUS PANEL SIDING	16.13%
GLASS/WINDOW/DOOR	21.94%

MATERIAL LEGEND

01.1

BRICK MASONRY VENEER - FIELD COLOR 01

01.2

BRICK MASONRY VENEER - FIELD COLOR 02

01.3

BRICK MASONRY VENEER - FIELD COLOR 03

02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01

02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02

02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03

03

PATIO DOOR UNIT

04

PREFINISHED VINYL WINDOW SYSTEM

05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01

05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02

05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03

06.1

BRICK MASONRY BAND - FIELD COLOR 01

06.2

BRICK MASONRY BAND - FIELD COLOR 02

06.3

BRICK MASONRY BAND - FIELD COLOR 03

07

SPECIALTY WINDOW

08

CAST STONE

09

METAL RAILING SYSTEM

10

ASPHALT SHINGLE ROOFING SYSTEM

11

ALUMINIUM PARAPET COPING CAP

12

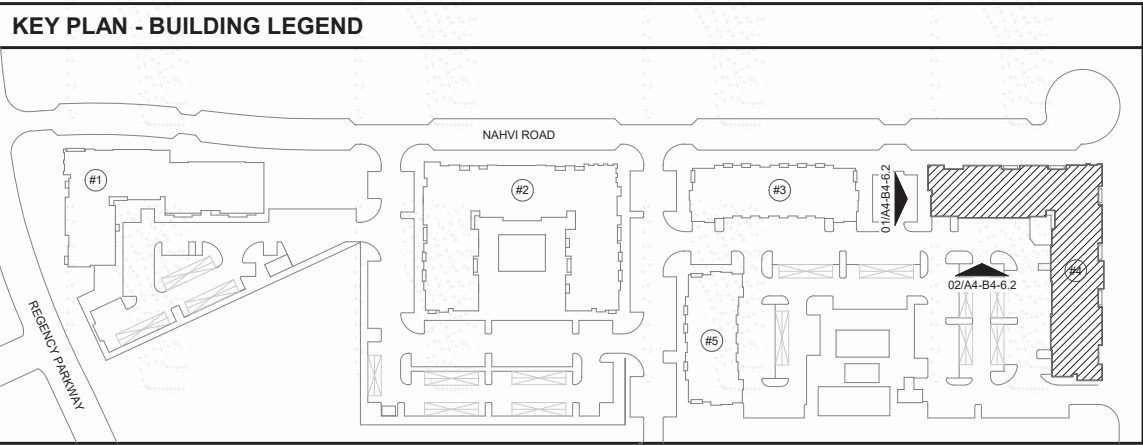
METAL CANOPY

13

DOWNSPOUT

14

RESIDENTIAL STEEL DOOR



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2 SOUTH ELEVATION-1
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	32.33%
BRICK - FIELD 01	26.40%
BRICK - FIELD 02	5.93%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL SIDING	20.79%
GLASS/WINDOW/DOOR	46.88%



1 WEST ELEVATION-1
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	82.94%
BRICK - FIELD 01	53.12%
BRICK - FIELD 02	29.82%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL SIDING	17.06%
GLASS/WINDOW/DOOR	14.52%



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Revisions

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Project Title:
NAHVI ROAD
EXHIBIT C
MANSFIELD, TX.



Project ID: #20410

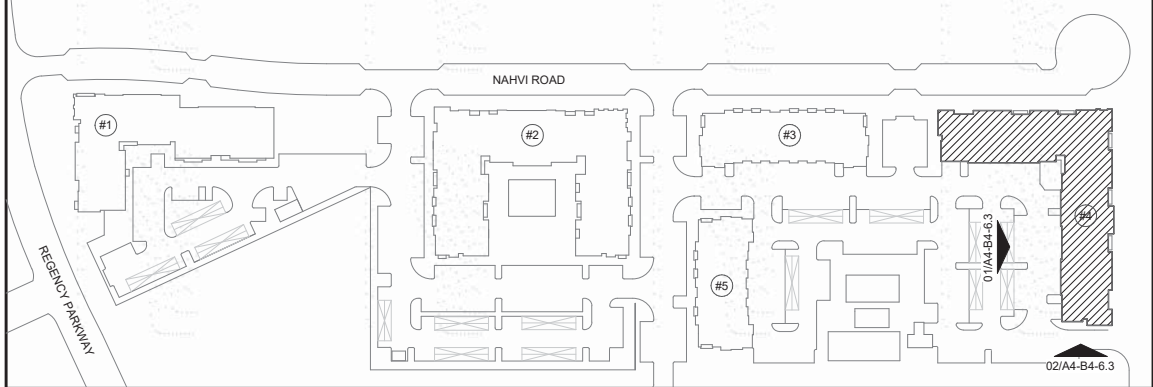
Sheet No.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	68.88%
BRICK - FIELD 01	47.11%
BRICK - FIELD 02	17.71%
BRICK - FIELD 03	4.06%
CEMENTITIOUS PANEL	14.97%
SIDING	16.13%
GLASS/WINDOW/DOOR	21.94%

MATERIAL LEGEND

- | | | |
|---|--|-----------------------------------|
| 01.1 BRICK MASONRY VENEER - FIELD COLOR 01 | 04 PREFINISHED VINYL WINDOW SYSTEM | 07 SPECIALTY WINDOW |
| 01.2 BRICK MASONRY VENEER - FIELD COLOR 02 | 05.1 CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01 | 08 CAST STONE |
| 01.3 BRICK MASONRY VENEER - FIELD COLOR 03 | 05.2 CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02 | 09 METAL RAILING SYSTEM |
| 02.1 CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01 | 05.3 CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03 | 10 ASPHALT SHINGLE ROOFING SYSTEM |
| 02.2 CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02 | 06.1 BRICK MASONRY BAND - FIELD COLOR 01 | 11 ALUMINIUM PARAPET COPING CAP |
| 02.3 CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03 | 06.2 BRICK MASONRY BAND - FIELD COLOR 02 | 12 METAL CANOPY |
| 03 PATIO DOOR UNIT | 06.3 BRICK MASONRY BAND - FIELD COLOR 03 | 13 DOWNSPOUT |
| | | 14 RESIDENTIAL STEEL DOOR |

KEY PLAN - BUILDING LEGEND



ROOF MOUNTED EQUIPMENT SCREEN NOTE:

All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades. (Ref. to Page 12 of 15 for additional details)



MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	82.94%
BRICK - FIELD 01	53.12%
BRICK - FIELD 02	29.82%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	17.06%
SIDING	0%
GLASS/WINDOW/DOOR	14.52%



01 WEST ELEVATION -2
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	29.42%
BRICK - FIELD 01	24.93%
BRICK - FIELD 02	4.49%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	20.64%
SIDING	49.94%
GLASS/WINDOW/DOOR	26.09%

CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX-75254
CONTACT PERSON - JUAN TORRES
(sr. proj. manager)
EMAIL - juan@hlrinc.net

ROOF MOUNTED EQUIPMENT SCREEN NOTE:
All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades.
(Ref. to Page 12 of 15 for additional details)

MATERIAL LEGEND

01.1

BRICK MASONRY VENEER -
FIELD COLOR 01

01.2

BRICK MASONRY VENEER -
FIELD COLOR 02

01.3

BRICK MASONRY VENEER -
FIELD COLOR 03

02.1

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 01

02.2

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 02

02.3

CEMENTITIOUS PANEL
SYSTEM - FIELD COLOR 03

03

PATIO DOOR UNIT

04

PREFINISHED VINYL
WINDOW SYSTEM

05.1

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 01

05.2

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 02

05.3

CEMENTITIOUS SIDING
SYSTEM - FIELD COLOR 03

06.1

BRICK MASONRY BAND -
FIELD COLOR 01

06.2

BRICK MASONRY BAND -
FIELD COLOR 02

06.3

BRICK MASONRY BAND -
FIELD COLOR 03

07

SPECIALTY WINDOW

08

CAST STONE

09

METAL RAILING SYSTEM

10

ASPHALT SHINGLE ROOFING
SYSTEM

11

ALUMINIUM PARAPET
COPING CAP

12

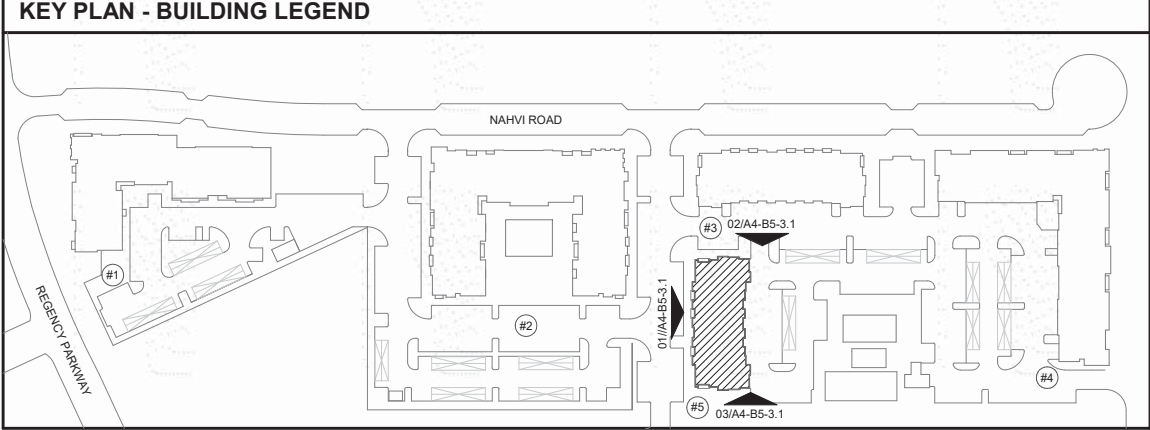
METAL CANOPY

13

DOWNSPOUT

14

RESIDENTIAL STEEL DOOR



03 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.5%
BRICK - FIELD 01	55.1%
BRICK - FIELD 02	10.4%
CEMENTITIOUS PANEL	8.3%
SIDING	26.2%
GLASS/WINDOW/DOOR	22.5%



02 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	84.8%
BRICK - FIELD 01	55.0%
BRICK - FIELD 02	29.8%
CEMENTITIOUS PANEL	8.3%
SIDING	6.9%
GLASS/WINDOW/DOOR	22.5%

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	64.7%
BRICK - FIELD 01	50.6%
BRICK - FIELD 02	14.1%
CEMENTITIOUS PANEL	16.5%
SIDING	18.8%
GLASS/WINDOW/DOOR	21.9%



01 WEST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	75.2%
BRICK - FIELD 01	63.1%
BRICK - FIELD 02	12.1%
CEMENTITIOUS PANEL	28.4%
SIDING	0.0%
GLASS/WINDOW/DOOR	24.2%

CASE NUMBER _SUP #21 - 001
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14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj. manager)
EMAIL - juan@hlrinc.net

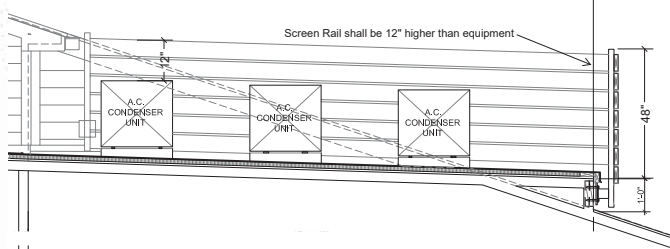
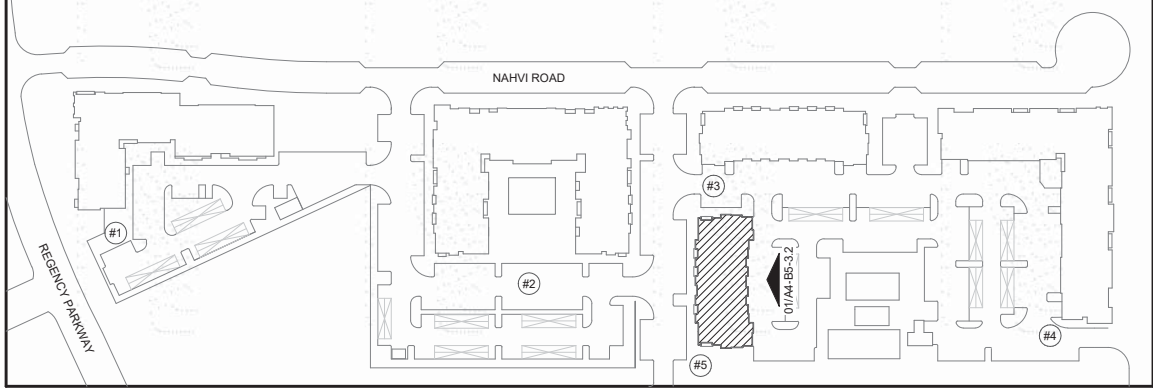
Revisions

ROOF MOUNTED EQUIPMENT SCREEN NOTE:
All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades.
(Ref. to Page 12 of 15 for additional details)

MATERIAL LEGEND

01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM	07	SPECIALTY WINDOW
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01	08	CAST STONE
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02	09	METAL RAILING SYSTEM
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03	10	ASPHALT SHINGLE ROOFING SYSTEM
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01	11	ALUMINIUM PARAPET COPING CAP
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02	12	METAL CANOPY
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03	13	DOWNSPOUT
				14	RESIDENTIAL STEEL DOOR

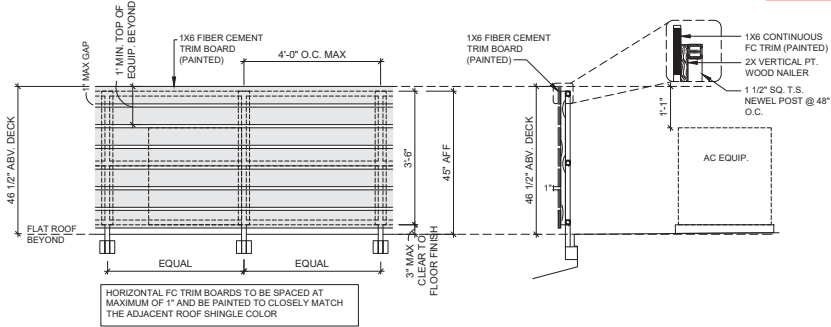
KEY PLAN - BUILDING LEGEND



02 CONDENSER DITCH OUT SECTION PROFILE
Scale: NTS

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK - FIELD 01	64.7%
BRICK - FIELD 02	50.6%
CEMENTITIOUS PANEL	14.1%
SIDING	16.5%
GLASS/WINDOW/DOOR	18.8%

- 1) SCREEN WILL BE PAINTED TO MATCH ADJ. ROOF SHINGLE COLOR
- 2) 1" MAX GAP BETWEEN FC TRIM BOARDS
- 3) FC TRIM BOARDS AND GUARDRAIL TO BE PAINTED TO CLOSELY MATCH ADJ. ROOF SHINGLE COLOR



03 ELEVATION VIEW

SECTION VIEW



01 EAST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	36.8%
BRICK - FIELD 01	29.2%
BRICK - FIELD 02	7.6%
CEMENTITIOUS PANEL	21.1%
SIDING	42.1%
GLASS/WINDOW/DOOR	18.7%

CASE NUMBER_SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX-75254
CONTACT PERSON - JUAN TORRES
(sr. proj. manager)
EMAIL - juan@hlrinc.net



HENSLEY LAMKIN RACHEL, INC.
DALLAS • HOUSTON • SEATTLE
WWW.HLRINC.NET
PH: 972.726.9400

Revisions

BRUCE W. RACHEL, AIA
TX LICENCE NO. 14373
PRELIMINARY DRAWING
NOT FOR CONSTRUCTION
NOT FOR GOVERNMENTAL REVIEW

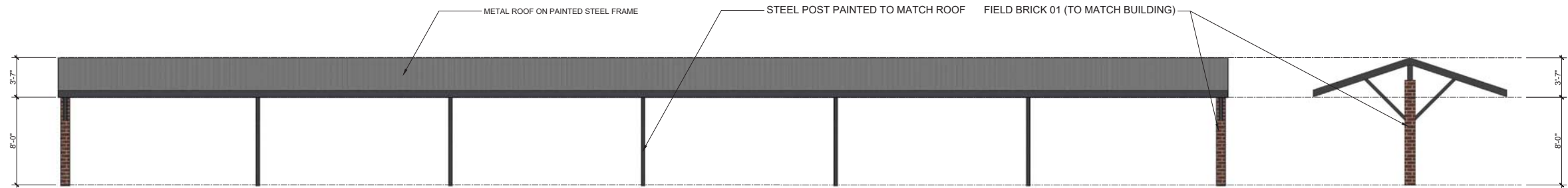
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LAMKIN RACHEL, INC.

Project Title:
NAHVI ROAD
EXHIBIT C
MANSFIELD, TX.

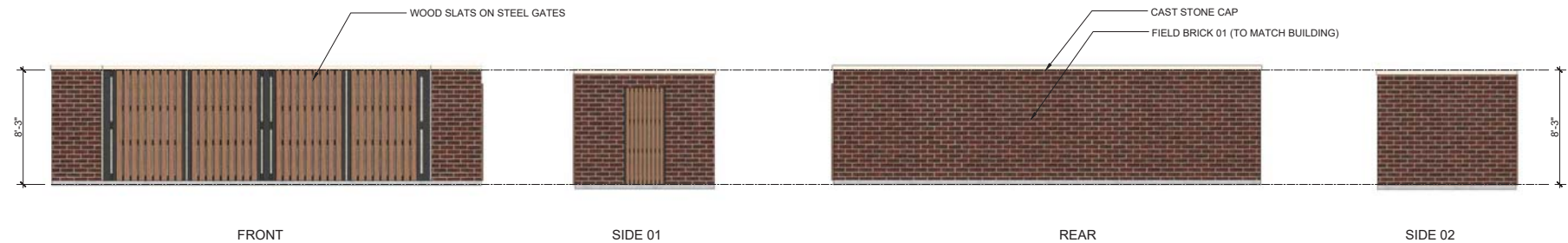


Project ID: #20410

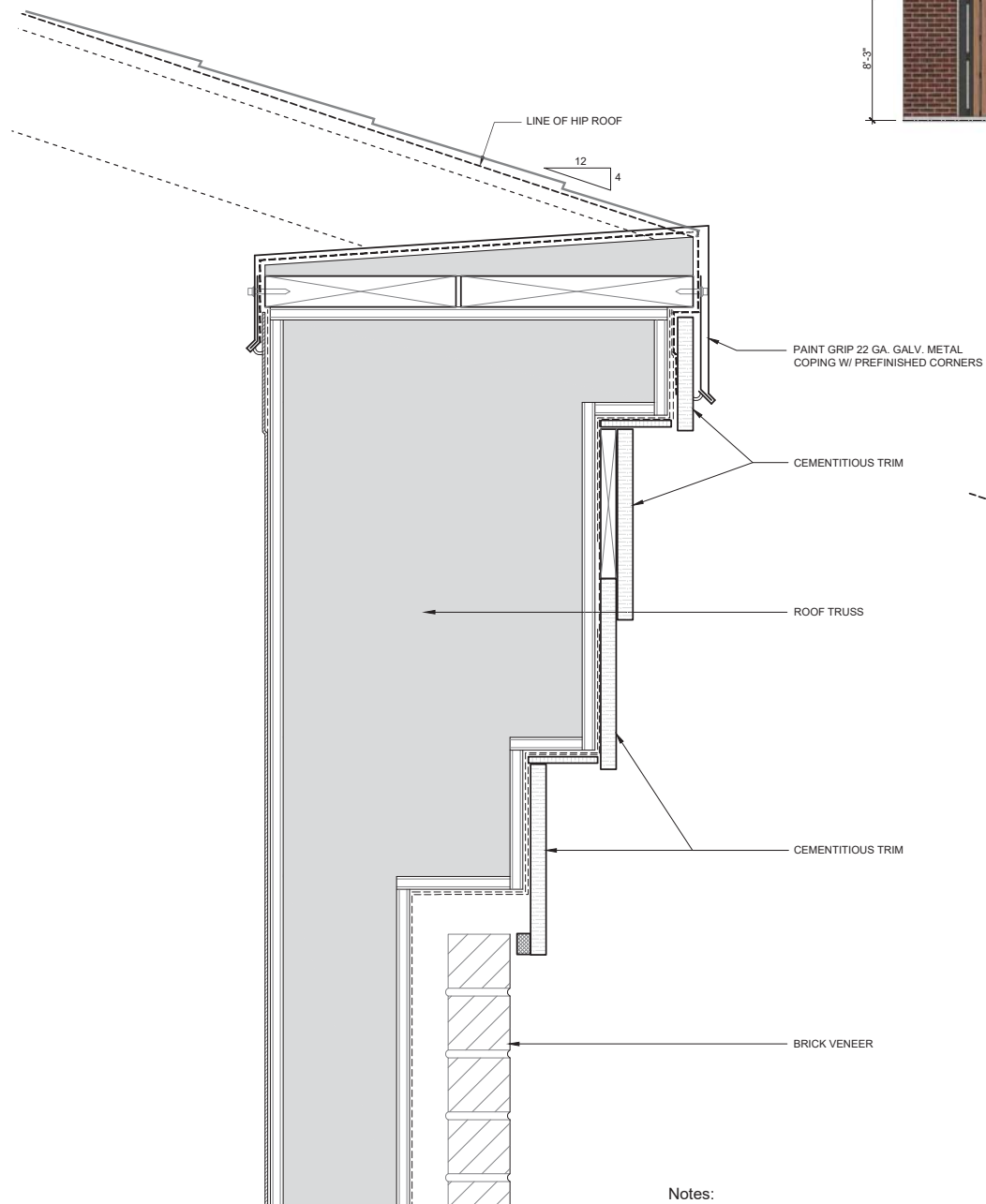
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05 CARPORT ELEVATIONS
SCALE: 3/16" = 1'-0"

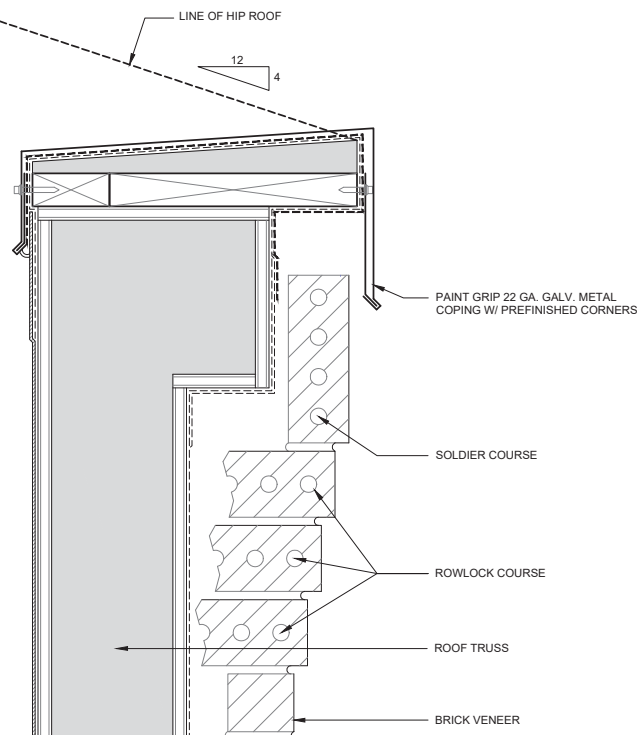


04 TRASH ENCLOSURE ELEVATIONS
SCALE: 3/16" = 1'-0"

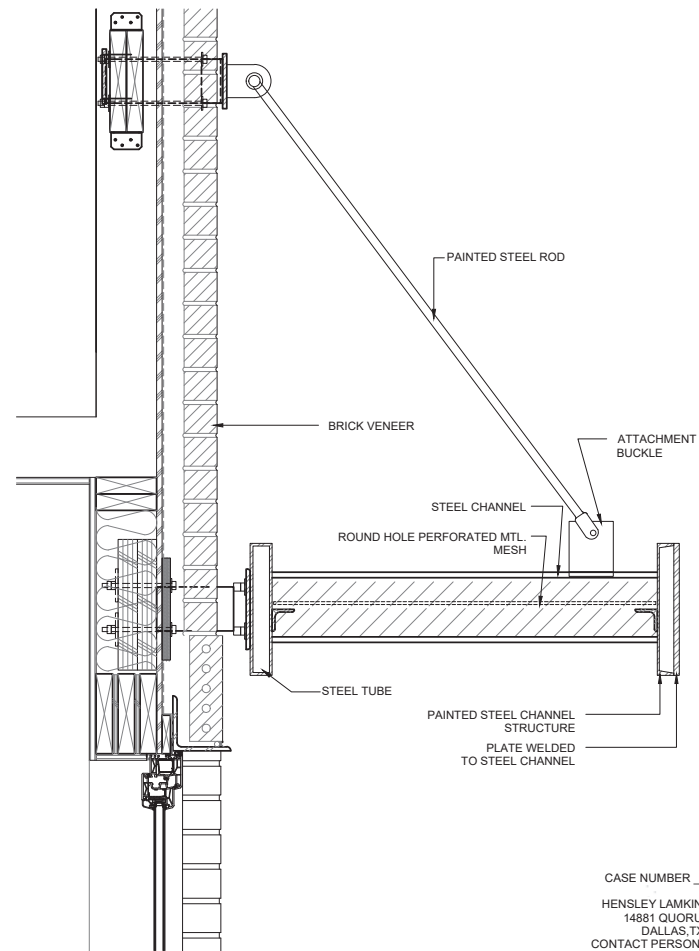


03 ARTICULATED PARAPET DETAIL
SCALE: 3" = 1'-0"

Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



02 ARTICULATED PARAPET DETAIL
SCALE: 3" = 1'-0"



01 TYP. ROOF AWNING DETAIL
SCALE: 1 1/2" = 1'-0"

CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX-75254
CONTACT PERSON - JUAN TORRES
(sr.proj manager)
EMAIL - juan@hlrinc.net



CONCEPT RENDER - BLDG 1 - INTERSECTION OF ROBERT ROAD AND RECENCY PARKWAY

Revisions

BRUCE W. RACHEL, AIA
TX LICENCE NO. 14373
PRELIMINARY DRAWING
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LAMKIN RACHEL, INC.

Project Title:
NAHVI ROAD

EXHIBIT C

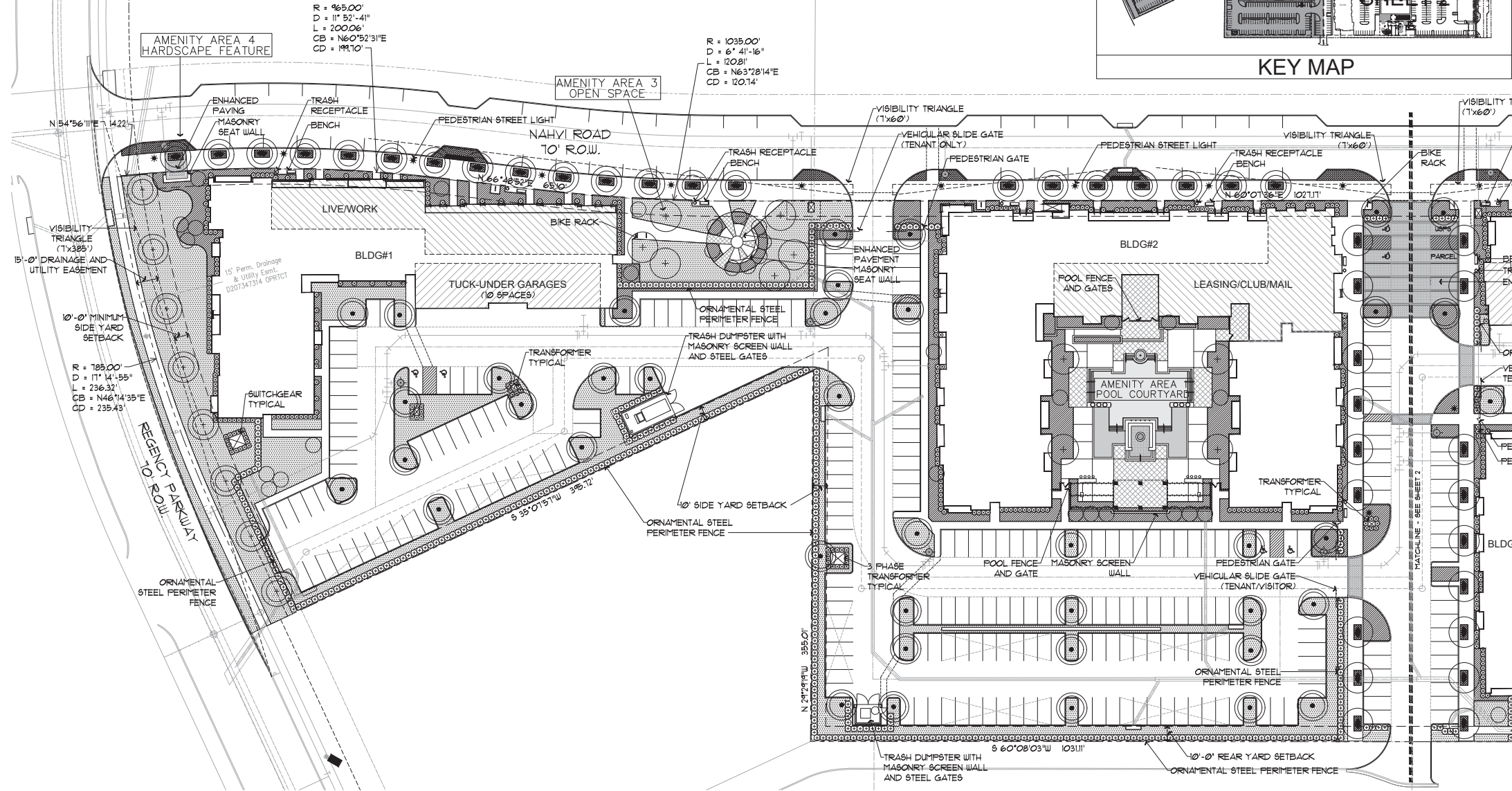
MANSFIELD, TX.

Project ID: #20410

Sheet No.



CONCEPT RENDER - BLDG 2 - LEASING ALONG NAHVI RD



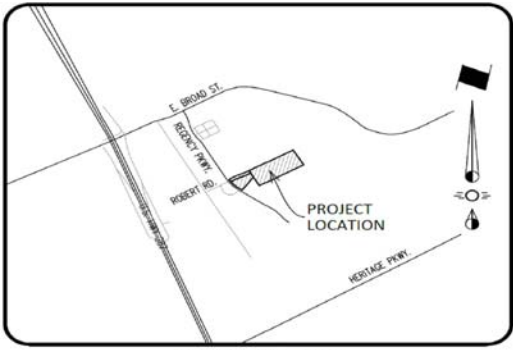
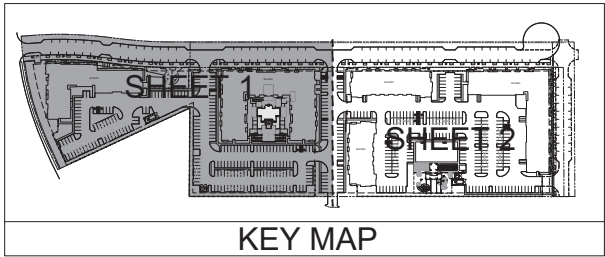
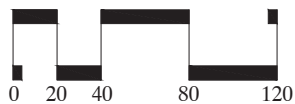
MATERIAL NOTES:

1. GATE AND FENCE LOCATIONS ARE SCHEMATIC AND SUBJECT TO CHANGE.
2. AMENITY AREA 1 - POOL COURTYARD (APPROX. 10500 SF)
 - CLUB AND FITNESS SPACES INTEGRATE WITH COURTYARD
 - COVERED OPEN-AIR LOUNGE SPACE
 - RESORT STYLE POOL WITH SUN SHELF AND WATER FEATURES
 - LOUNGE CHAIRS AND OUTDOOR FURNITURE
 - GRILLING STATION WITH BAR COUNTER
 - ENHANCED PAVEMENT POOL DECK
 - SYNTHETIC TURF LAWN AREAS
3. AMENITY AREA 2 - DOG PARK/RESIDENT ACTIVITY ZONE (APPROX. 13200 SF)
 - FENCED DOG PARK WITH PET STATIONS
 - LAWN AREA FOR RESIDENT STRUCTURED RECREATIONAL ACTIVITY
 - SHARED COVERED PAVILION BETWEEN THE TWO ADJACENT SPACES
 - OUTDOOR FURNITURE AND BENCH SEATING
 - FESTIVE STRING LIGHTING
 - SHADE TREES AND ENHANCED PLANTING
4. AMENITY AREA 3 - OPEN SPACE (APPROX. 45000 SF)
 - PASSIVE ZONE ADJACENT TO STREET FRONTAGE AND ACCESSIBLE TO THE PUBLIC
 - INTIMATE HARD SURFACE SITTING AREA
 - BENCH SEATING AND MASONRY SEAT WALL
 - SHADE TREES AND ENHANCED PLANTING
 - PEDESTRIAN SCALED LIGHT FIXTURES
 - ENHANCED PAVEMENT
5. AMENITY AREA 4 - HARDSCAPE FEATURE
 - MASONRY SEAT WALL WITH MEMORIAL PLAQUE
 - ENHANCED PAVEMENT
 - ENHANCED PLANTING
6. DETAILS SPECIFIC TO EACH AMENITY AREA TO BE PROVIDED WITH CONSTRUCTION PLANS.

GENERAL NOTES:

1. LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIAL THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
2. IRRIGATION: ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM THAT MAY INCLUDE A DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED, INSTALLED, MAINTAINED, ALTERED, REPAIRED, SERVICED AND OPERATED IN A MANNER THAT WILL PROMOTE WATER CONSERVATION.
3. FIRE APPARATUS CLEARANCE: FIRE DEPARTMENT RISER ROOM ACCESS SHALL REMAIN CLEAR OF SHRUBS OR OTHER LANDSCAPE MATERIAL THAT MAY CAUSE OBSTRUCTION. THREE (3) FOOT CLEARANCE SHALL BE MAINTAINED AROUND FIRE DEPARTMENT CONNECTIONS AND FIRE HYDRANT TYPICAL.
4. VISIBILITY TRIANGLE: NO TREES, SIGNS OR ANYTHING OVER TWO (2) FEET IN HEIGHT IS ALLOWED WITHIN THESE TRIANGLES.

scale: 1" = 40'-0"



CONCEPT PLANT SCHEDULE

MAY INCLUDE BUT NOT LIMITED TO

(+)	STREET TREE (5' CALIFER MINIMUM/3.5' CALIFER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54
(•)	PARKING LOT TREE (3.5' CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11
(+)	ADDITIONAL CANOPY TREE (3' CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	40
(○)	SMALL TREE (2' CALIFER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angust-castus / Chase Tree	42
(●●●)	DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Elaeagnus ebbengelii / Elaeagnus Ilex x attenuata 'Foster' / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica pusilla / Dwarf Wax Myrtle	600
(●●●)	SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Hesperaloe parviflora / Red Yucca Juniperus sabina 'Tanaisifolia' / Tan Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spiraea sp. / Dwarf Spiraea	133
(—)	PERENNIAL (1 GALLON MINIMUM)	484
(■)	PLANTING AREA (INCLUDING SHRUBS, GROUNDCOVER AND/OR PERENNIALS)	17,140 sf
(■)	TURF (SOLID 600)	51,140 sf
(■)	EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	4320 sf

SUP #21-001

LANDSCAPE PLAN - EXHIBIT D

JLB MANSFIELD

BLOCK A LOT 1

IN THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

E. McANIER SURVEY, ABST. NO. 1005
560584 Sq. Ft. (Gross) / 12.869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

LANDSCAPE ARCHITECT
ENVIRO DESIGN
1424 GREENVILLE AVENUE, SUITE 200
DALLAS, TX 75231
PHONE: (214) 981-3010
CONTACT: STEVEN REDDY
SREDDY@ENVIRODESIGN-DALLAS.COM

OWNER / APPLICANT
JLB REALTY, LLC
3890 W. NORTHWEST HIGHWAY, 1TH FLOOR
DALLAS, TEXAS 75220
CONTACT: BRITTON CHURCH
BCHURCH@JLBPARTNERS.COM
PHONE: (214) 271-8480

ENVIRO DESIGN
LANDSCAPE ARCHITECTURE
SITE PLANNING



7424 Greenville Ave. Suite 200 Dallas, TX 75231 (214) 987-5010

RICHARD B. ARTING

FOR
PRELIMINARY
REVIEW ONLY.
NOT FOR
PERMITTING
OR
CONSTRUCTION

REVISIONS
03-04-2021
03-18-2021
03-26-2021
04-04-2021

JLB MANSFIELD
JLB PARTNERS, LLC
MANSFIELD, TEXAS

SCALE

1" = 40'-0"

DATE

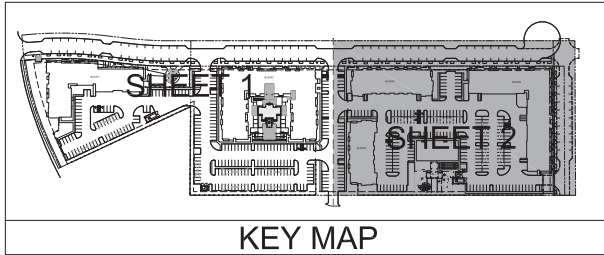
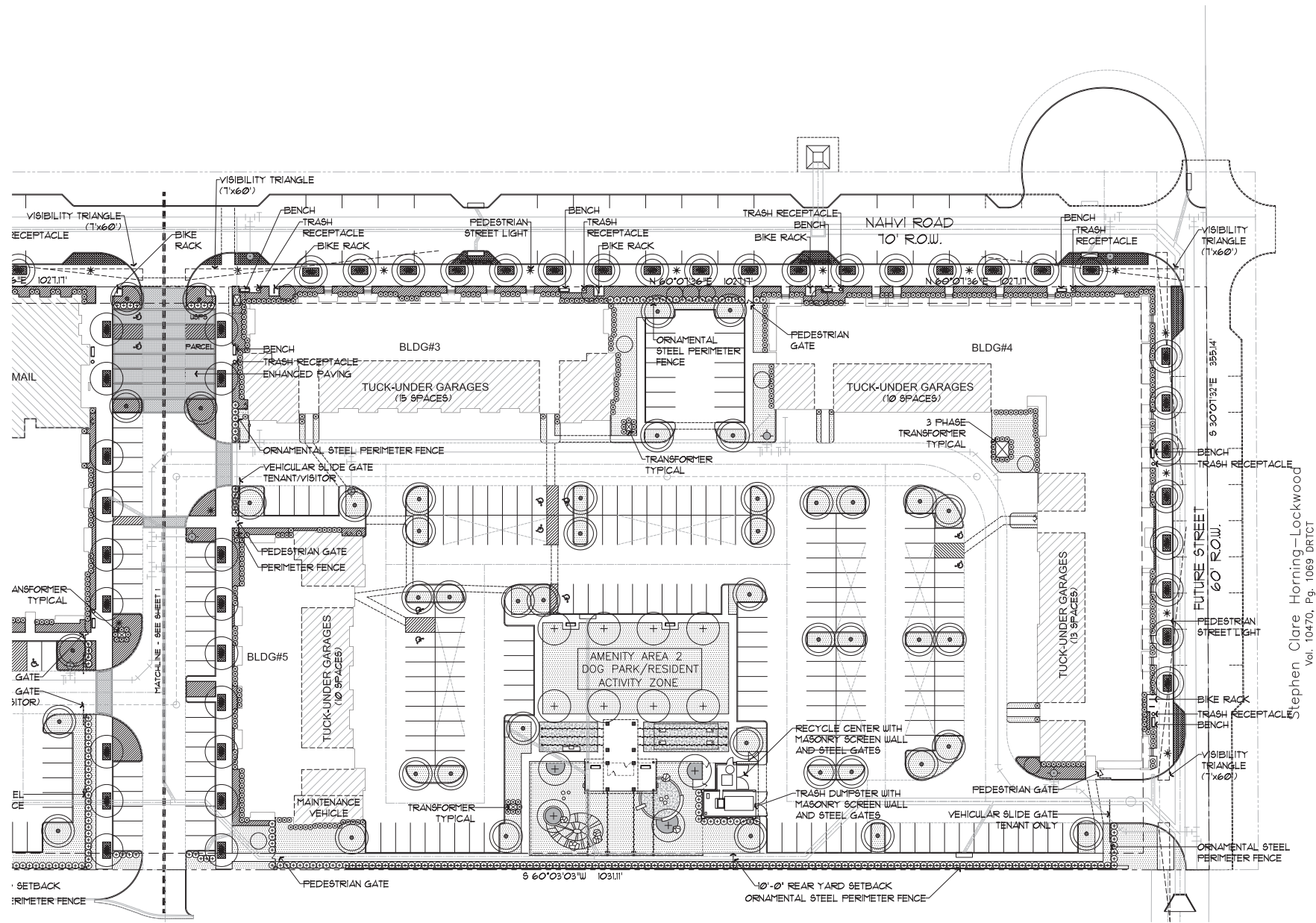
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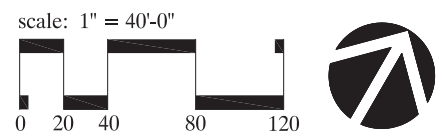
LANDSCAPE
PLAN

SHEET

EXHIBIT D
1 OF 4



CONCEPT PLANT SCHEDULE			MAY INCLUDE BUT NOT LIMITED TO
(+)	STREET TREE (5' CALIFER MINIMUM/35' CALIFER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54	
(+)	PARKING LOT TREE (35' CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11	
(+)	ADDITIONAL CANOPY TREE (3' CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	40	
(+)	SMALL TREE (2' CALIFER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angust-castus / Chase Tree	42	
(+)	DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Elaeagnus abnottii / Elaeagnus Ilex x attenuata 'Foster' / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' / Seagreen Juniper Myrica pusilla / Dwarf Wax Myrtle	600	
(+)	SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Heperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Juniperus sabina 'Tamariscifolia' / Tam Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spirea sp. / Dwarf Spiraea	133	
(+)	PERENNIAL (1 GALLON MINIMUM)	484	
(+)	PLANTING AREA (INCLUDING SHRUBS, GROUNDCOVER AND/OR PERENNIALS)	17,140 sf	
(+)	TURF (SOLID SOD)	57,140 sf	
(+)	EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	4,320 sf	
NOTE: REFERENCE EXHIBIT D SHEET I FOR GENERAL NOTES AND MATERIAL NOTES.			



SUP #21-001
LANDSCAPE PLAN - EXHIBIT D
JLB MANSFIELD
BLOCK A LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS
E. McANIER SURVEY, ABST. NO. 1005
560,584 Sq. Ft. (Gross) / 12.869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict
LANDSCAPE ARCHITECT
ENVIRO DESIGN
1424 GREENVILLE AVENUE, SUITE 200
DALLAS, TX 75231
PHONE: (214) 987-3010
CONTACT: STEVEN REDDY
SREDDY@ENVIRODESIGN-DALLAS.COM
OWNER / APPLICANT
JLB REALTY, LLC
3890 W. NORTHWEST HIGHWAY, 1TH FLOOR
DALLAS, TEXAS 75220
CONTACT: BRITTON CHURCH
BCHURCH@JLBPARTNERS.COM
PHONE: (214) 271-8480

ENVIRO DESIGN
LANDSCAPE ARCHITECTURE
SITE PLANNING
7424 Greenville Ave. Suite 200 Dallas, TX 75231 (214) 987-5010

RICHARD B. ARTHUR
FOR PRELIMINARY REVIEW ONLY.
NOT FOR PERMITTING OR CONSTRUCTION

REVISIONS
03-04-2021
03-18-2021
03-26-2021
04-04-2021

JLB MANSFIELD
JLB PARTNERS, LLC
MANSFIELD, TEXAS

SCALE
1" = 40'-0"

DATE
02-01-2021

TITLE
LANDSCAPE PLAN

SHEET
EXHIBIT D
2 OF 4

SUMMARY CHART - SITE DATA	
CURRENT ZONING CLASSIFICATION	PD 1558 (THE RESERVE PLANNED DEVELOPMENT WORKPLACE SUB-DISTRICT)
TOTAL SITE AREA:	12,869 ACRES (GROSS) / 560,584 SF (GROSS) 10202 ACRES (NET) / 444,399 SF (NET)
PROPOSED USE:	MULTI-FAMILY APARTMENT
NO. UNITS/ NO. BEDROOMS (REFER TO ARCHITECTURALS)	356 UNITS/ 401 BEDROOMS
NO. PARKING SPACES REQUIRED (REFER TO ARCHITECTURALS)	1 PER BEDROOM + 401

LANDSCAPE REQUIREMENTS		
LANDSCAPE IMPROVEMENTS FOR THE PROPERTY SHALL CONFORM TO APPLICABLE SECTION (INCLUDED BELOW) OF 'THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARD-WORKPLACE SUBDISTRICT' AS ADOPTED BY THE CITY OF MANSFIELD.		
SECTION 8 - PARKING AREAS		
8.4 SURFACE PARKING LANDSCAPING - PARKING LOTS THAT CONTAIN TEN (10) OR MORE PARKING SPACES SHALL PROVIDE LANDSCAPING AND SCREENING IN ACCORDANCE WITH SECTION 1300, LANDSCAPING AND SCREENING REQUIREMENTS OF THE MANSFIELD ZONING ORDINANCE.		PROVIDED
8.6 SURFACE PARKING PERIMETER SCREENING - ALL SURFACE PARKING LOTS SHALL BE SCREENED FROM STREET VIEW SUCH SCREENING SHALL TAKE THE FORM OF THREE (3) FOOT PLANTING OF DENSE EVERGREEN HEDGE AT THE TIME OF INSTALLATION MEASURED ABOVE THE GRADE OF THE PARKING LOT.		PROVIDED
SECTION 10 - SERVICE AND EQUIPMENT AREAS		
10.2 SERVICE AREA SCREENING - WHEN SERVICE AREAS ARE NOT ABLE TO BE PLACED WITHIN THE BUILDING ENVELOPE, THEY SHALL BE SCREENED BY MASONRY WALLS SIX (6) FEET IN HEIGHT WITH ADJACENT PLANTINGS OF DENSE EVERGREEN MATERIAL THREE (3) FEET IN HEIGHT AT INSTALLATION. TRANSFORMERS, SWITCHGEAR, AIR CONDITIONERS, AND OTHER GROUND MOUNTED EQUIPMENT OR UTILITY FUNCTIONS MUST BE SCREENED FROM VIEW WITH EVERGREEN PLANTINGS SIX (6) FEET IN HEIGHT AT INSTALLATION.		PROVIDED
SECTION 13 - STREETSCAPE AND OPEN SPACE		
13.1 FRONT YARDS - SIDEWALKS AND LANDSCAPING SHALL BE PROVIDED BETWEEN THE STREET AND BUILDING FACADE TO OFFER AN INVITING WALKING EXPERIENCE. PLANT MATERIALS SHOULD CONSIST OF SHADE TREES, ORNAMENTAL TREES, SHRUBS, EVERGREEN GROUNDCOVERS, VINES, AND SEASONAL COLOR, AND MAY BE OMITTED AT BUILDING ENTRIES, SEATING AREAS, AND ADJACENT TO COMMERCIAL USES.		PROVIDED
13.2 STREETSCAPES - STREET TREES SHALL BE PLANTED AT AN AVERAGE OF THIRTY (30) FEET ON CENTER ACROSS EACH BLOCK FACE AND THREE AND A HALF (3.5) FEET FROM THE BACK OF CURB. TREES TO HAVE A MINIMUM CALIFER OF FIVE (5) INCHES AT INSTALLATION, AND SHALL NOT BE CLOSER THAN TEN (10) FEET FROM A STREET LIGHT OR FIRE HYDRANT.		PROVIDED
13.5 STREET TREES ALONG REGENCY PARKWAY - STREET TREES SHALL BE PLANTED AT AN AVERAGE FORTY (40) FEET ON CENTER. TREES SHALL HAVE A MINIMUM CALIFER OF THREE AND A HALF (3.5) INCHES AT INSTALLATION.		PROVIDED
13.6 TREE PLANTERS - STREET TREES TO BE CENTERED WITHIN FIVE (5) FOOT BY TEN (10) FOOT PLANTERS AS LEAVE-OUTS WITHIN THE SIDEWALK AND SURROUNDED WITH EITHER A TWELVE (12) INCH HIGH ORNAMENTAL STEEL FENCE OR BRICK TURN-UP EDGE. THESE PLANTERS WILL ALSO CONSIST OF EVERGREEN GROUNDCOVER AND PERENNIAL PLANTINGS FOR AESTHETIC INTEREST. THE STREET-FACING EDGE OF ALL PLANTERS SHALL BE PLACED ONE AND A HALF (1.5) FEET FROM THE FACE OF THE CURB.		PROVIDED
13.8 OPEN SPACE - THE PROVISIONS OF ADEQUATE AND APPROPRIATE OPEN SPACE AREAS ADD VALUE TO DEVELOPMENT AND ARE ENCOURAGED IN ALL DEVELOPMENT IN THE SUB-DISTRICT. THE OPEN SPACE PROVIDED SHOULD BE APPROPRIATELY DESIGNATED AND SCALED. OPEN SPACES MAY BE IN THE FORM OF POCKET PARKS, PLAZAS, SQUARES, LINEAR PARKS, ENVIRONMENTAL PRESERVES, PRIVATE OPEN SPACES, SIDEWALKS, ACTIVE SPORTS FIELDS, STRUCTURED RECREATIONAL ACTIVITY AREAS, ETC.		PROVIDED
13.9 STREET BENCHES - STREET BENCHES SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT ALONG REGENCY PARKWAY. STREET BENCHES SHALL BE PLACED FACING THE SIDEWALK AND CURB, AND PARALLEL TO THE BUILDINGS.		PROVIDED
13.10 STREET LIGHTS - STREET LIGHTS SHALL BE PROVIDED FOUR (4) FEET FROM FACE OF CURB AT AVERAGE INTERVALS OF NINETY (90) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY. LIGHT FIXTURE SHALL BE MOUNTED TEN (10) TO TWELVE (12) FEET FROM FINISH GRADE AND SHALL BE METAL HALIDE TYPE.		PROVIDED
13.11 BICYCLE RACKS - BICYCLE RACKS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.		PROVIDED
13.12 LITTER CONTAINERS - LITTER CONTAINERS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.		PROVIDED
SECTION 1300 - LANDSCAPING AND SCREENING REQUIREMENTS		
Q. PARKING LOT PERIMETER LANDSCAPING: (1) IN THE MF-1, MF-2, OP, C-1, C-2, C-3, I-1, AND I-2 ZONING DISTRICTS AND ALL NONRESIDENTIAL DEVELOPMENT SUCH AS CHURCHES, SCHOOLS, AND PUBLIC FACILITIES IN ANY ZONING DISTRICT, ALL PARKING LOT, VEHICULAR USE AND MANEUVERING AREAS THAT ARE NOT SCREENED BY ON-SITE BUILDINGS SHALL BE SCREENED FROM VIEW OF PUBLIC STREETS IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:		PROVIDED
(a) THE SCREENING SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET AT MATURITY (IN THE CASE OF PLANTS) ABOVE THE GRADE OF THE PARKING LOT, VEHICLE USE AND/OR MANEUVERING AREAS.		PROVIDED
(b) THE SCREENING SHALL CONSIST OF ONE OF A COMBINATION OF THE FOLLOWING: 1) SCREENING SHRUBS, AND/OR 2) SODDED BERTS		SHRUBS
(c) THE SCREENING MAY OCCUR WITHIN THE STREET LANDSCAPE SETBACK.		N/A
(d) WHEEL STOPS SHALL BE PROVIDED FOR PARKING SPACES ADJACENT TO THE SCREENING TO PROHIBIT ANY VEHICLE FROM OVERHANGING THE PLANTING AREA.		N/A
R. PARKING LOT INTERNAL LANDSCAPING: ANY PARKING LOT THAT CONTAINS TEN (10) OR MORE PARKING SPACES SHALL PROVIDE INTERNAL LANDSCAPING EXCEPT AS PRESCRIBED HEREIN BELOW.		
(1) A RATIO OF ONE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE PROVIDED THROUGHOUT ANY SURFACE PARKING LOT.		PROVIDED (510 SURFACE/ 10=51)
(2) PLANTING AREAS FOR THE TREES WITHIN THE PARKING ROUS OF A SURFACE PARKING LOT SHALL BE ACHIEVED BY ONE OR BOTH OF THE FOLLOWING:		
(a) A CONTIGUOUS LANDSCAPE MEDIAN STRIP, AT LEAST SIX (6) FEET WIDE (BACK-OF-CURB TO BACK-OF-CURB) BETWEEN ROUS OF PARKING SPACES. TREES SHALL BE PLACED AT INTERVALS NO GREATER THAN FORTY (40) FEET APART OF FRACTION THEREOF.		N/A
(b) LANDSCAPE ISLANDS, AT LEAST THE MINIMUM SIZE OF A REGULAR PARKING SPACE OF NINE BY EIGHTEEN FEET (9' X 18') OR ONE HUNDRED SIXTY-TWO (162) SQUARE FEET, NO MORE THAN FIFTEEN (15) CONTIGUOUS SPACES SHALL BE LOCATED TOGETHER WITHOUT A TREE-ISLAND.		PROVIDED
(3) PARKING LOTS THAT ARE DESIGNED WITH PLANTED OR RAISED LANDSCAPE ISLANDS SHALL DESIGN THE ISLANDS SO AS NOT TO INTERFERE WITH THE OPENING OF CAR DOORS IN ADJACENT SPACES.		PROVIDED
(4) EVERY REQUIRED LANDSCAPE ISLAND MUST INCLUDE ONE (1) CANOPY TREE.		PROVIDED * (NORTH/SOUTH DRIVE TO INCORPORATE TREES IN TREE WELLS IN SIDEWALK IN LEIU OF TREES IN PARKING ISLANDS AS APPROVED BY CITY STAFF)
S. PARKING END CAPS: ONE (1) LANDSCAPE ISLAND SHALL BE LOCATED AT THE TERMINUS OF EACH ROW OF PARKING AND SHALL CONTAIN ONE (1) TREE. ROUS WITH HEAD-TO-HEAD PARKING ARRANGEMENT SHALL HAVE TWO (2) ISLANDS AND TWO (2) TREES.		PROVIDED











SUMMARY CHART - BUFFER YARDS/ SETBACKS						
LOCATION OF BUFFER/YARD OR SETBACK	REQUIRED/ PROVIDED	LENGTH	BUFFER YARD OR SETBACK WIDTH/ TYPE	CANOPY TREES	ORNAMENTAL TREES	SCREENING WALL/ DEVICE HEIGHT AND MATERIAL
NORTH (NAHV ROAD)	REQUIRED (1 TREE/ 30 LF)	1404.26'	LOCAL STREET 10' ROW	41	N/A	N/A
	PROVIDED	1404.26'	LOCAL STREET 10' ROW	+38	N/A	N/A
EAST (FUTURE STREET)	REQUIRED (1 TREE/ 30 LF)	329.14'	LOCAL STREET 60' ROW	11	N/A	N/A
	PROVIDED	329.14'	LOCAL STREET 60' ROW	+8	N/A	N/A
SOUTH	REQUIRED	103.111'	10' REAR YARD SETBACK	N/A	N/A	N/A
	PROVIDED	103.111'	10' REAR YARD SETBACK	N/A	N/A	N/A
WEST (INSET)	REQUIRED	355.01'	10' SIDE YARD SETBACK	N/A	N/A	N/A
	PROVIDED	355.01'	10' SIDE YARD SETBACK	N/A	N/A	N/A
SOUTH (INSET)	REQUIRED	395.12'	10' SIDE YARD SETBACK	N/A	N/A	N/A
	PROVIDED	395.12'	10' SIDE YARD SETBACK	N/A	N/A	N/A
WEST (REGENCY PARKWAY)	REQUIRED (1 TREE/40 LF)	312.45'	10' MIN. SIDE YARD SETBACK	8	N/A	N/A
	PROVIDED	312.45'	10' MIN. SIDE YARD SETBACK	8	N/A	N/A
NOTE ANY CREDITS USED IN CALCULATIONS: N/A						
OTHER COMMENTS: N/A						
* STREET TREE QUANTITY REDUCED BY CITY STAFF TO ACCOMMODATE VISIBILITY TRIANGLE						

SUMMARY CHART - INTERIOR LANDSCAPE						
	LANDSCAPE AREA (SF)	% OF LANDSCAPE AREA	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	GROUNDCOVER (SF)
REQUIRED	44,440 SF	10%	N/A	N/A	N/A	N/A
PROVIDED	44,440 SF	10%	N/A	N/A	N/A	N/A
NOTE ANY CREDITS USED IN CALCULATIONS: N/A						
OTHER COMMENTS: N/A						

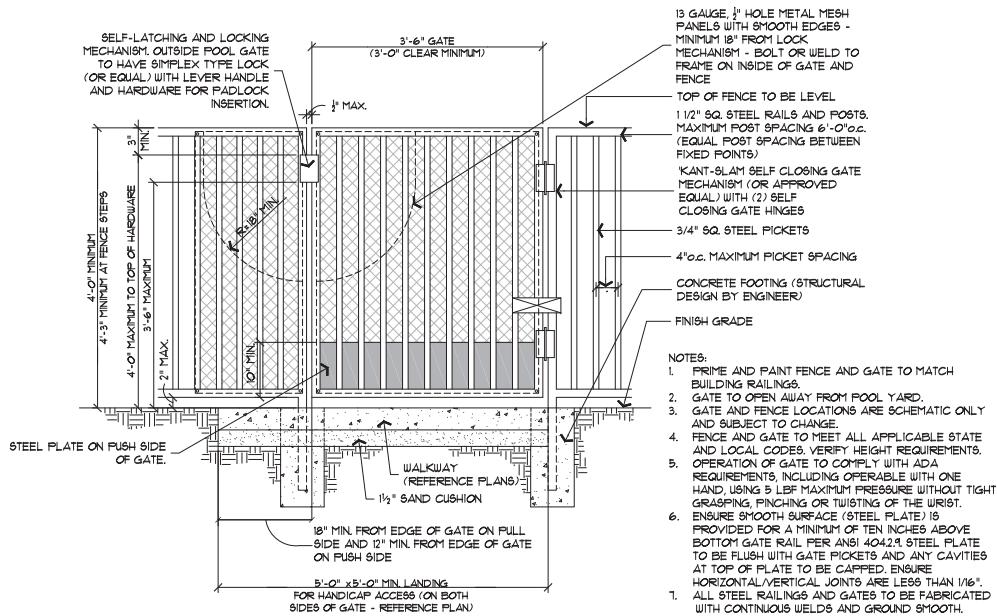
SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING	
NUMBER OF REQUIRED PARKING SPACES	401
NUMBER OF PROVIDED PARKING SPACES (INCLUDES TANDEM PARKING/EXCLUDES ON-STREET PARKING)	510
NUMBER OF TREES REQUIRED (1 TREE/ 10 SPACES)	51
NUMBER OF TREES PROVIDED	11
NOTE ANY CREDITS USED IN CALCULATIONS: N/A	
OTHER COMMENTS: N/A	

CONCEPT PLANT SCHEDULE

MAY INCLUDE BUT NOT LIMITED TO

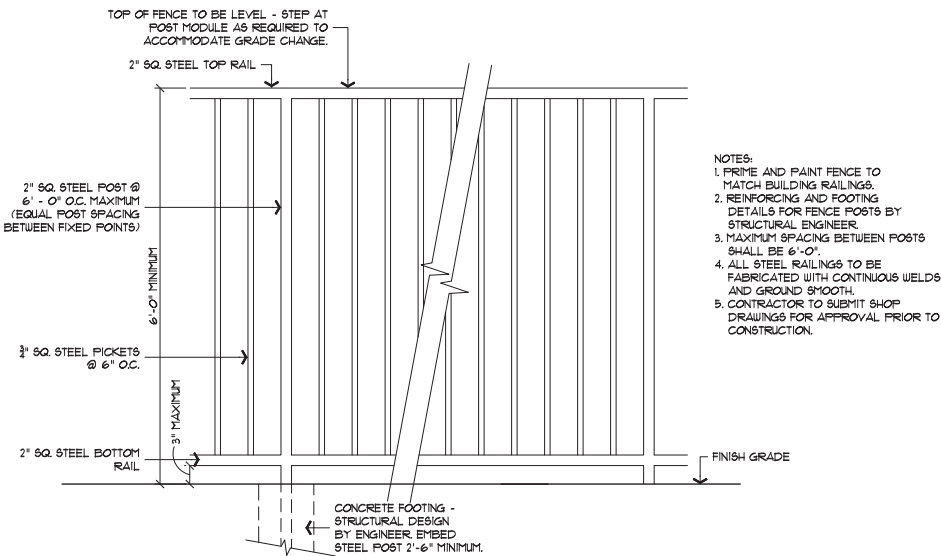
	STREET TREE (5" CALIFER MINIMUM/3.5" CALIFER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54		DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Eleagnus ebbenglii / Eleagnus Ilex x attenuata 'Foster' / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x Nellie R. Stevens / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica paullia / Dwarf Wax Myrtle	600
	PARKING LOT TREE (3.5" CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11		SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Hesperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Juniperus sabinia 'Tamariscifolia' / Tam Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spirea sp. / Dwarf Spiraea	133
	ADDITIONAL CANOPY TREE (3" CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	40		PERENNIAL (1 GALLON MINIMUM)	484
				PLANTING AREA (INCLUDES SHRUBS, GROUNDCOVERS AND/OR PERENNIALS)	11,140 sf
				TURF (SOLID SOD)	51,140 sf
				EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	4,320 sf
	SMALL TREE (2" CALIFER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleruteria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angus-castus / Chase Tree	42			

SUP #21-001
LANDSCAPE REQUIREMENTS & SUMMARY TABLES - EXHIBIT D
JLB MANSFIELD
BLOCK A, LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
E. McANIER SURVEY, ABST. NO. 1005
560,584 Sq. Ft. (Gross) / 12,869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict
LANDSCAPE ARCHITECT
ENVIRO DESIGN
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DALLAS, TX 75231
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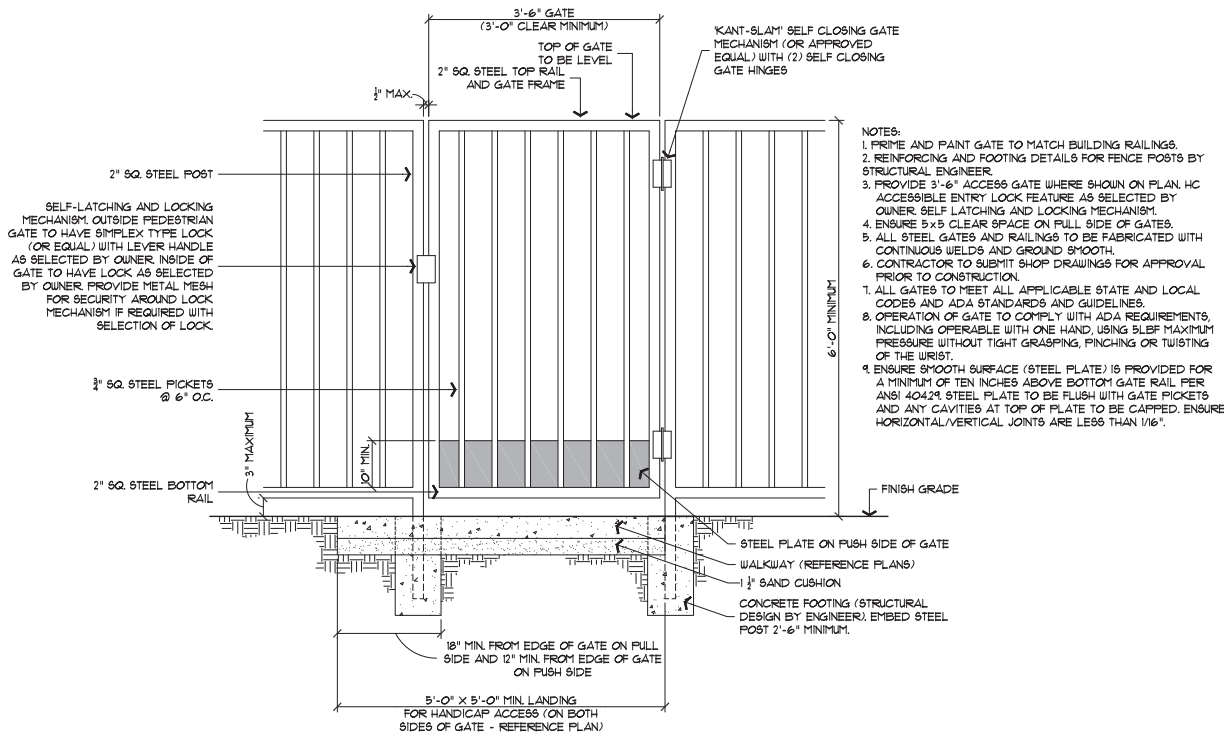
A POOL FENCE AND GATE

3/4" = 1'-0"



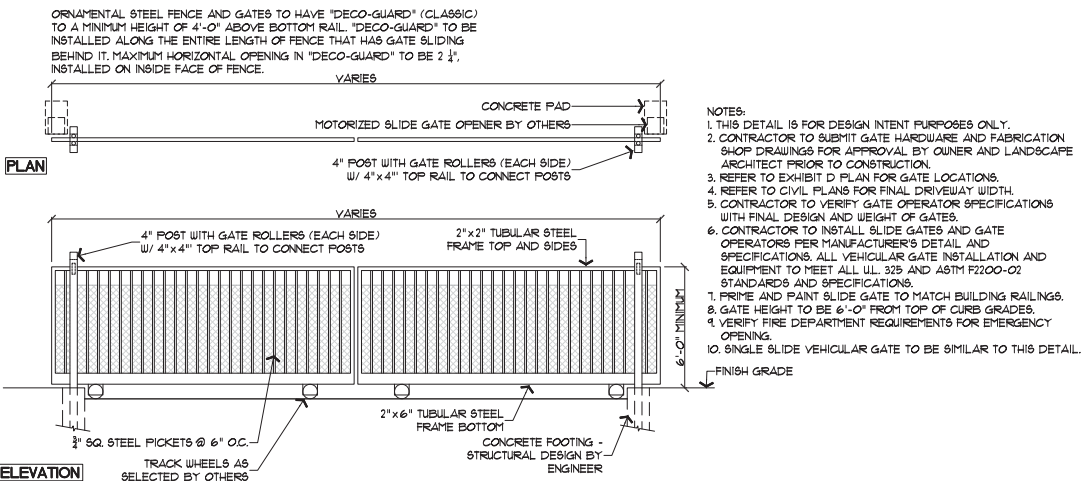
B PERIMETER FENCE

3/4" = 1'-0"



D PERIMETER GATE

3/4" = 1'-0"



C VEHICULAR SLIDE GATE

1/4" = 1'-0"

SUP #21-001
LANDSCAPE PLAN - EXHIBIT D
JLB MANSFIELD

BLOCK A, LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS

E. McANIER SURVEY, ABST. NO. 1005
560584 Sq. Ft. (Gross) / 12.869 Acres (Gross)
Current Zoning: FD-1558-The Reserve-Workplace Subdistrict

LANDSCAPE ARCHITECT
ENVIRO DESIGN
7424 GREENVILLE AVENUE, SUITE 200
DALLAS, TX 75231
PHONE: (214) 981-3010
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DALLAS, TEXAS 75220
CONTACT: BRITTON CHURCH
BCHURCH@JLBPARTNERS.COM
PHONE: (214) 271-8480

ENVIRO DESIGN
LANDSCAPE ARCHITECTURE
SITE PLANNING



7424 Greenville Ave. Suite 200 Dallas, TX 75231 (214) 981-3010

RICHARD B. ARTHUR

FOR
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OR
CONSTRUCTION

REVISIONS
03-04-2021
03-18-2021

JLB MANSFIELD
JLB PARTNERS LLC
MANSFIELD, TEXAS

SCALE
AS NOTED

DATE
02-01-2021

TITLE
LANDSCAPE
PLAN

SHEET
EXHIBIT D
4 OF 4

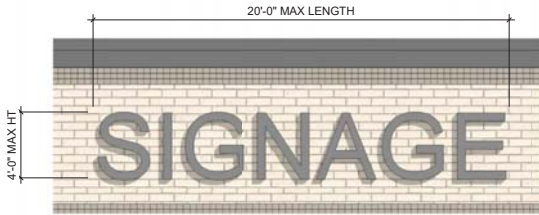


PROPOSED WALL SIGN 'A' FACING REGENCY PKWY

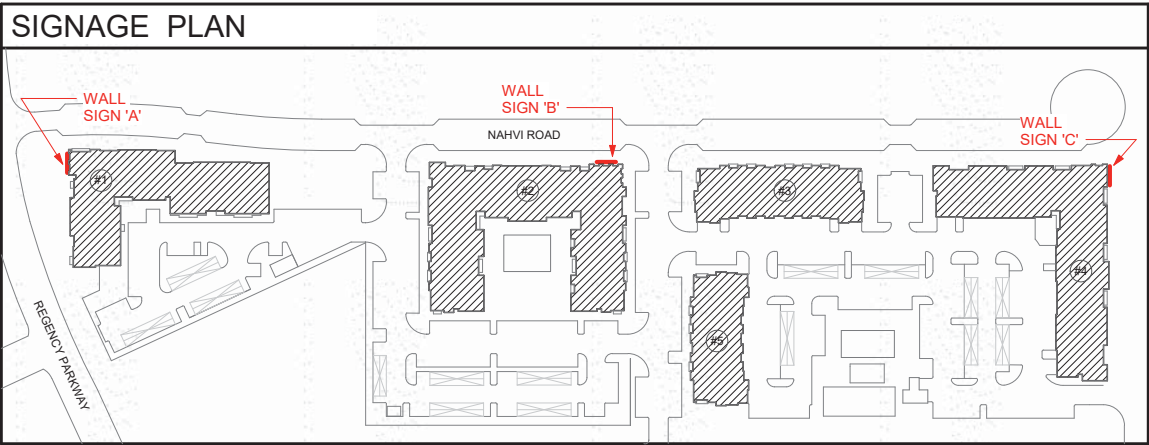


PROPOSED WALL SIGN 'B' FACING NAHVI RD

VICINITY MAP - MANSFIELD ,TX



1 TYPICAL WALL SIGN
SCALE: 1/4" = 1'-0"



NOTES:
ALL SIGNAGE TO COMPLY WITH SECTION 11
OF THE WORKPLACE SUB-DISTRICT OF THE
RESERVE PLANNED DEVELOPMENT DISTRICT
DESIGN STANDARDS. SETBACKS FOR
MONUMENT SIGNS SHALL COMPLY WITH 7100
OF THE ZONING ORDINANCE. SIGN
DIMENSIONS TO BE DETERMINED AT A LATER
DATE.

SIGNAGE AND MATERIALS PLAN - EXHIBIT E
CASE NUMBER _SUP #21 - 001

HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR#550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj manager)
EMAIL - juan@hlrinc.net



HENSLEY LAMKIN RACHEL, INC.

DALLAS • HOUSTON • SEATTLE

WWW.HLRINC.NET

PH: 972.726.9400

Revisions

BRUCE W. RACHEL, AIA
TX LICENSE NO. 14373
PRELIMINARY DRAWING
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LAMKIN RACHEL, INC.

Project Title:
NAHVI ROAD
EXHIBIT E

MANSFIELD, TX.



Project ID: #20410

Sheet No.

PAGE 1 OF 1



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4046

Agenda Date: 4/26/2021

Version: 1

Status: Public Hearing

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Public Hearing and First Reading of an Ordinance Approving a Change of Zoning from PR Pre-Development District to PD Planned Development District for Single-Family Residential Uses on Approximately 4 Acres out of The Ray Grevious Survey, Abstract No. 1307, Tarrant County, TX, Located at 2349 N. Holland Rd.; Jeff Linder of Bannister Engineering (Engineer) on Behalf of Mouaz Allababidi of Allababidi Foundation, LLC (Owner) (ZC#21-003)

Requested Action

To consider the subject zoning change request.

Recommendation:

The Planning & Zoning Commission held a public hearing on April 5, 2021 and voted 7-0 to recommend denial.

Five people spoke in opposition to the zoning change request, one of whom also submitted a letter opposing the request. The residents' concerns included traffic, the condition of Holland Road, too much development in the area, density, architecture, screening, development standards that are not above and beyond the minimum requirements, reduced setbacks, proximity of houses to surrounding properties, drainage, quality of homes, inconsistency with the density and rural character of the area, and the precedent this development might set for the area. The applicant responded to some of the concerns and indicated that drainage would be handled by swales that would run along property lines as well as on the west side of the development, indicated that the lot size is consistent with what is already allowed by the existing zoning, stated that the setbacks are consistent with many of the newer developments in the City, and stated that the wider lots will allow for side entry garages.

Several of the commissioners understood and agreed with many of the concerns of the residents. One of the commissioners asked what the expected timing was on getting acceptance letters from the City of Arlington and the applicant indicated it was already in process and could be any day. The commissioners also expressed concerns about density being inconsistent with the surrounding area, traffic, the condition of Holland Road, the homes being mostly stucco and lack of additional architectural standards, relying on the City of Arlington for sewer service, allowing Planned Development zoning and deviations for smaller single-family residential projects, the reduced setbacks, and rear yards potentially not being big enough for pools and accessory structures. One of the commissioners suggested comparing this development to the Ursula Court development,

which was found to have greater lot depth as well as gated access. This commissioner also asked if this development would affect the nonconforming status of any structures on adjacent properties, which staff indicated it would not. Another commissioner had questions about whether there would be an HOA and if the homeowners would be responsible for maintaining the rear fences, to which the applicant stated that there would be an HOA, but that each homeowner would be responsible for maintaining their rear fence. This commissioner also asked whether there was any latitude to reduce density to which the applicant responded that they would need to discuss with the property owner. Finally, a commissioner asked when the developer purchased the property and if the existing structures would be removed, to which the applicant stated that they purchased it in October 2020 and that the existing structures would be removed.

The applicant has not made any changes to their plans, but has indicated a willingness to increase the minimum residential floor areas, potentially alter the percentage of stucco on each home, and possibly provide for a higher percentage of J-swing or side-entry garages. In addition, the requested acceptance letters have been provided and a letter of support has been provided from someone in support of the development.

Description/History

Existing Use: Single-family residential

Existing Zoning: PR, Pre-Development District

Surrounding Land Use & Zoning:

North -Vacant land and single-family residential, PR & SF-12/22

South - Single-family residential, PR

East - Holland Rd.; Single-family residential (City of Arlington) across the street

West - Single-family residential, PR

Thoroughfare Plan Specification:

N. Holland Rd. - local collector (two-lane undivided)

Collins St. - principal arterial (six-lane divided)

Comments and Considerations

The subject property consists of 4 acres with an existing single-family residential home. The applicant is requesting to rezone the property from PR Pre-Development District to PD Planned Development District for single-family residential uses.

Development Plan and Regulations

The applicant plans to develop a single-family residential development called Damascus Gardens with nine residential lots and three open space lots. A new public street, Damask Rose Court, will extend from Holland Road through the middle of the property with the lots located on either side. In order to accommodate this configuration, the proposed lots are shallower than what the existing zoning allows, which is the primary reason for the zoning change. Due to the shallower lots, the front and rear setbacks will also be reduced. The development will have a gross density of 2.25 dwelling units per acre and will have the following minimum standards:

Minimum Lot Area: 12,000 sq. ft.
Minimum Lot Width: 120'; 79' at cul-de-sac
Minimum Lot Depth: 95'; 70' at cul-de-sac
Minimum Front Yard: 20'
Minimum Rear Yard: 15'
Minimum Interior Side Yard: 10'
Minimum Residential Floor Area: 2,600 sq. ft.
Maximum Height: 35'
Maximum Lot Coverage: 45%

The architecture and community design standards will adhere to Section 4600 of the Zoning Ordinance, with the exception that the homes will be allowed to be up to 100% stucco. Staff is open to the homes having some stucco but does not support allowing the homes to be 100% stucco as it out of character for the area and recommends the maximum percentage of stucco be reduced to an acceptable level.

Access and Circulation

The development will be served by a single public street (Damask Rose Court), which will connect directly to Holland Road. In addition, right-of-way will be dedicated along Holland Road to accommodate future expansion and improvements. With this development, the existing driveway that is shared with the property to the south will need to be reconfigured, which the adjacent property owner has agreed to. Off-street parking and loading standards will adhere to Section 7200 of the Zoning Ordinance as it relates to single-family residential uses.

Enhanced Entryway Plan

The entrance into the development on Damask Rose Court will include an enhanced entryway. As indicated in the Enhanced Entryway Plan (Exhibit C), the developer will be providing five enhanced entry features as required by the Zoning Ordinance. The five proposed elements are a boulevard section with median, enhanced pavers or stained concrete (stamped patterned colored concrete), decorative street lighting, enhanced architectural features (enhanced screening wall with signage and 8' architectural columns), and enhanced landscaping features (shade trees, ornamental trees, shrubs, and ground cover).

Landscaping, Screening, and Amenities

A Landscape and Screening Plan (Exhibit D) has been provided for the development. As required for 12,000 sq. ft. lots, each residential lot will include four medium-size canopy trees with a minimum of two in the front yard. In addition, an open space lot (Lot 11X) will be located at the northeast corner of the development near the entrance, which will include a detention pond, mail kiosk, bench, trash receptacle, walking path, and gazebo. Landscaping will also be provided at the entryway and in open space lots along Holland Road. A 6' masonry screening wall with 7' columns will screen Lot 2 from Holland Road and a 6' ornamental metal fence with 7' masonry columns will screen the open space lot (Lot 11X) from Holland Road; this open-style fence will allow for proper drainage and provide for views of the landscaped pond. A 6' board-on-board wood fence with cap rail

will be provided along the north, west, and south perimeters of the development to provide for consistent screening adjacent to surrounding residential properties.

Residential Elevations

The applicant has provided elevations for the proposed homes, which show a Mediterranean style of architecture, including some use of stucco and barrel tile roofing, as well as side-loaded garages. The elevations appear to be well articulated, with numerous façade recesses and projections, roof variations, windows, materials changes, and some covered entryways. The applicant has indicated the homes will adhere to Section 4600 of the Zoning Ordinance, with the exception that the homes will be allowed to be up to 100% stucco. Staff is open to the homes having some stucco but does not support allowing the homes to be 100% stucco as it out of character for the area and recommends the maximum percentage of stucco be reduced to an acceptable level.

Summary

The proposed development will provide for an infill residential development including single-family residential uses. The Land Use Plan recommends continued development as suburban residential consistent with adjacent development. While the immediate surrounding properties are generally a half-acre or larger, properties further to the south and west have been built out at suburban densities and it is expected this area will continue to redevelop at suburban densities as land becomes scarcer. The proposed development also provides for lots that have the minimum lot size required by the existing zoning. The primary reason for the Planned Development zoning request is to allow lots with a shallower depth than the current zoning would allow in order to provide for a double-loaded street where all lots back to the surrounding properties. The shallower lot depths also require reduced front and rear setbacks, which are consistent with setbacks in other developments in the City. Staff does not support the exception to allow homes with up to 100% stucco and recommends the maximum percentage of stucco be reduced to an acceptable level. The landscaping, pond, neighborhood amenities, and entryway features will add value and interest to the development, while screening helps to provide privacy for neighborhood residents and reduce any impacts to surrounding properties.

Staff recommends that any Council action be conditioned on the following items being addressed:

1. The minimum residential floor area be increased to 3,000 sq. ft.
2. The percentage of J-swing or side-entry garages be increased to an acceptable level
3. The maximum allowed percentage of stucco be reduced to an acceptable level.

Prepared By

Andrew Bogda, Planner
817-276-4287

Attachments:

Maps and Supporting Information
Exhibit A
Exhibits B - E

Driveway Acceptance Letter
Letters of Acceptance from City of Arlington
Letter of Opposition
Letter of Support
Ordinance

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR SINGLE-FAMILY RESIDENTIAL USES, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new zoning district classification of PD, Planned Development; said property being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2.

That the use and development of the hereinabove described property shall be in accordance with the development plan shown on Exhibits "B – E" attached hereto and made a part hereof for all purposes.

SECTION 3.

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4.

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6.

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7.

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

FIRST READING APPROVED ON THE 26TH DAY OF APRIL, 2021.

DULY PASSED ON THE SECOND AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 10TH DAY OF MAY, 2021.

Michael Evans, Mayor

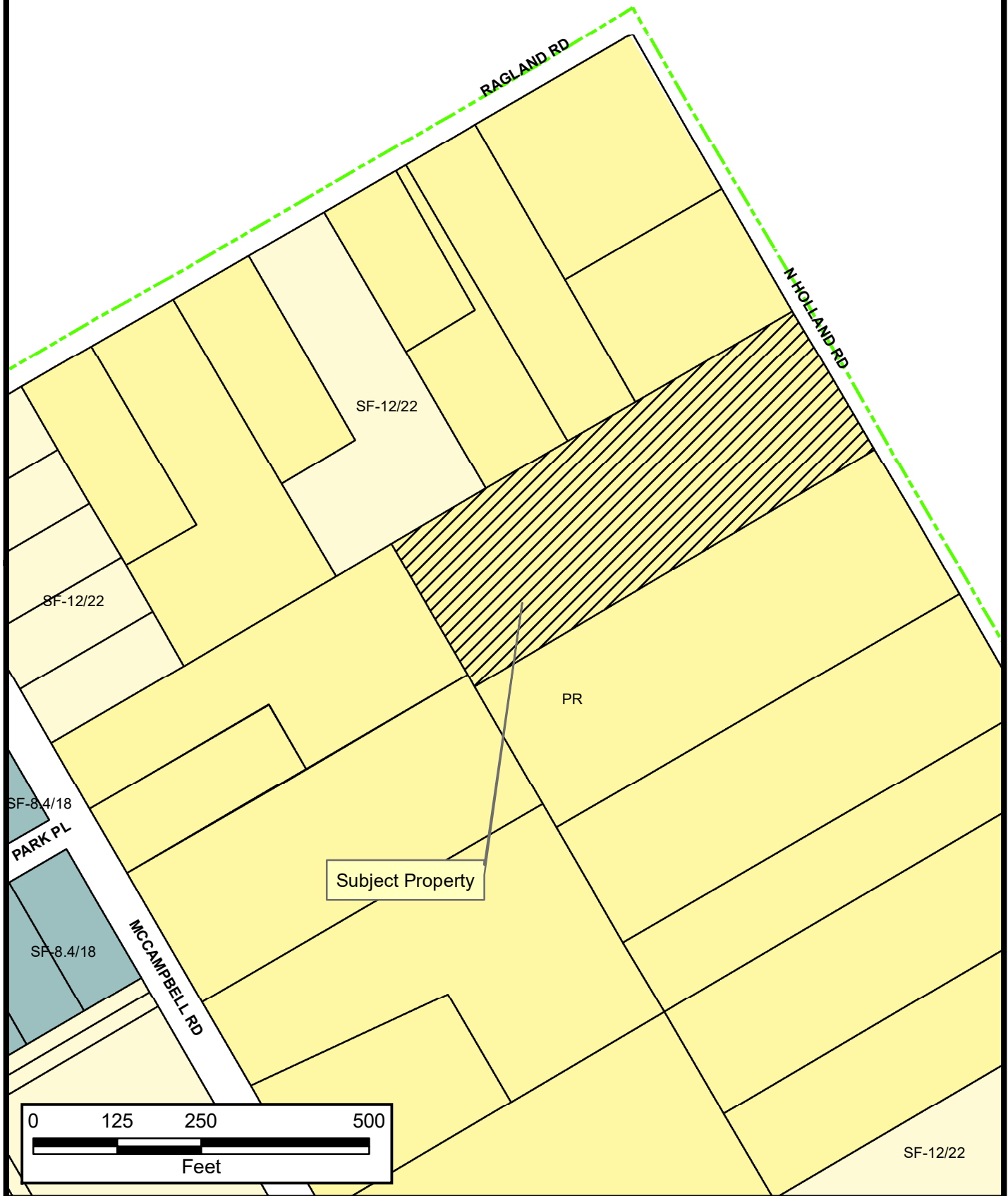
ATTEST:

Susana Marin, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Allen Taylor, City Attorney





Property Owner Notification for ZC#21-003

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
HALL ADDN (MANSFIELD)	BLK 1	HALL, JOE B	1050 MCCAMPBELL RD	MANSFIELD, TX	76063-5305
JACKSON ADDITION	BLK 1	GONZALES, DAVID R & DEBRA J	2816 RAGLAND RD	MANSFIELD, TX	76063-5319
MASCO ADDITION	BLK 1	MATOKI, CARRIE A	8125 DARTMOOR CT	COLORADO SPRINGS, CO	80920-6142
RAY, GREVIOUS SURVEY	A 1307	PALOMINO, JOSEPH G	2848 RAGLAND RD	MANSFIELD, TX	76063-5319
RAY, GREVIOUS SURVEY	A 1307	ALLABABIDI FOUNDATION LLC	2349 N HOLLAND RD	MANSFIELD, TX	76063
RAY, GREVIOUS SURVEY	A 1307	MCGLASSON, IRVY LEE JR	2315 N HOLLAND RD	MANSFIELD, TX	76063-5507
RAY, GREVIOUS SURVEY	A 1307	WRIGHT, JOHNNY E & NANCY L	1020 MCCAMPBELL RD	MANSFIELD, TX	76063
RAY, GREVIOUS SURVEY	A 1307	JONES, RUSSELL B & JANE A	2888 RAGLAND RD	MANSFIELD, TX	76063-5319
RAY, GREVIOUS SURVEY	A 1307	MUBAAK, MUSTAFA	2860 RAGLAND RD	MANSFIELD, TX	76063-5319

Exhibit A

ZC#21-003

LEGAL LAND DESCRIPTION:

BEING 4.000 acres (174,255 square feet) of land in the Ray Grevious Survey, Abstract No. 1307, City of Mansfield, Tarrant County, Texas; said 4.000 acres (174,255 square feet) of land being a portion of that certain tract of land described in a General Warranty Deed to Allababidi Foundation, LLC (hereinafter referred to as Allababidi Foundation tract), as recorded in Instrument Number D220313589, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.); said 4.000 acres (174,255 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a mag nail set in asphalt pavement for the Northeasterly corner of said Allababidi Foundation tract, same being a point in North Holland Road, previously known as County Road 2011 (variable width right-of-way);

THENCE South 30 degrees 13 minutes 23 seconds East with the Northeasterly line of said Allababidi Foundation tract and with said North Holland Road, a distance of 245.05 feet to a mag nail set in asphalt pavement for the Southeasterly corner of said Allababidi Foundation tract, same being the Northeasterly corner of that certain tract of land described in a Warranty Deed to Irvy Lee McGlasson, Jr. and wife, Mary Gann McGlasson (hereinafter referred to as McGlasson tract), as recorded in Volume 5920, Page 350, Deed Records, Tarrant County, Texas;

THENCE South 59 degrees 46 minutes 37 seconds West, departing said North Holland Road, with the common line between said Allababidi Foundation tract and said McGlasson tract, a distance of 711.10 feet to a three-eighths inch iron rod found for the Southwesterly corner of said Allababidi Foundation tract, same being the Northwesterly corner of said McGlasson tract, same also being the Northeasterly line of that certain tract of land described in a Warranty Deed with Vendor's Lien to Johnny E. Wright and Nancy L. Wright (hereinafter referred to as Wright tract), as recorded in Instrument Number D215191509, O.P.R.T.C.T.;

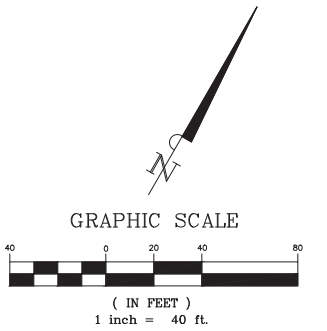
THENCE North 30 degrees 13 minutes 23 seconds West with the common line between said Allababidi Foundation tract and said Wright tract, pass at a distance of 19.45 feet, a one-half inch iron rod found for the Northeasterly corner of said Wright tract, same being the Southeasterly corner of that certain tract of land described as Hall Addition, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D214105767, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Hall Addition for a total distance of 245.05 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Northwesterly corner of said Allababidi Foundation tract, same being the Northeasterly corner of said Hall Addition, same also being the Southeasterly line of that certain tract of land described as Marley Acres, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D189078571, O.P.R.T.C.T.;

THENCE North 59 degrees 46 minutes 37 seconds East with the common line between said Allababidi Foundation tract and said Marley Acres, pass at a distance of 159.00 feet, the Southeasterly corner of said Marley Acres, same being the Southwesterly corner of that certain tract of land described in a deed

Exhibit A

ZC#21-003

to Mustafa Mubank (hereinafter referred to as Mubank tract), as recorded in Instrument Number D207304442, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Mubank tract, pass at a distance of 288.00 feet, a one-half inch iron rod found for the Southeasterly corner of said Mubank tract, same being the Southwesterly corner of that certain tract of land described in a deed to Ruseel Jones and Jane A. Jones (hereinafter referred to as Jones tract), as recorded in Instrument Number D206187966, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Jones tract, pass at a distance of 417.00 feet, the Southeasterly corner of said Jones tract, same being the Southwesterly corner of that certain tract of land described as Masco Addition, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D201195365, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Masco Addition for a total distance of 711.10 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 4.000 acres (174,255 square feet) of land.



PROMISE CREEK DR.

PLANNED DEVELOPMENT STANDARDS:

Current Zoning: PR

Proposed Zoning: Planned Development with base zoning of SF12/22

Area, Setback and Height Regulations:

- Minimum Lot Size - 12,000sf
- Minimum Residential Floor Area - 2,600sf
- Maximum Lot Coverage - 45%
- Maximum Height - 35'
- Minimum Front Setback - 20'/15' at Cul-de-sac
- Minimum Lot Width - 120'/79' at Cul-de-sac
- Minimum Lot Depth - 95'/70' at Cul-de-sac
- Minimum Rear Setback - 15'
- Minimum Interior Side Setback - 10'

Landscaping and Screening Requirements:

- Common area, including detention pond area are to be landscaped per Exhibit D, Landscape Plan.
- Four medium-sized canopy trees shall be planted on each residential lot. Minimum of two in front yard.
- Screening shall be provided at the south, west, and north boundary through the use of a 6 foot height board-on-board fence as indicated per Exhibit D, Landscape Plan.

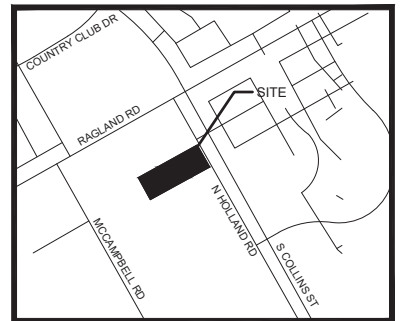
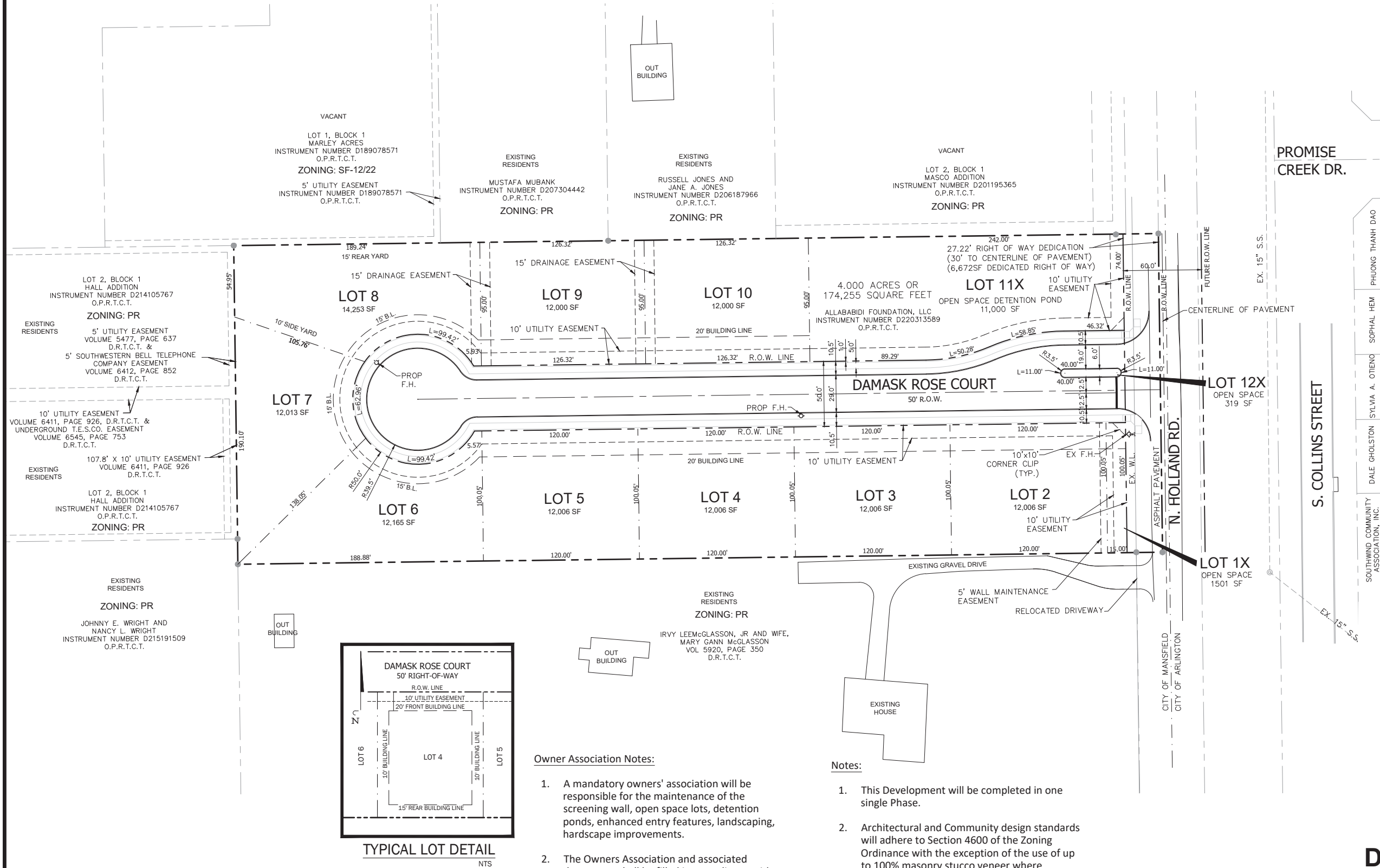


EXHIBIT B
ZC#21-003
DEVELOPMENT PLAN
DAMASCUS GARDENS
2349 N. HOLLAND RD

4.00 ACRE TRACT
City of Mansfield
Tarrant County, Texas



Owner Association Notes:

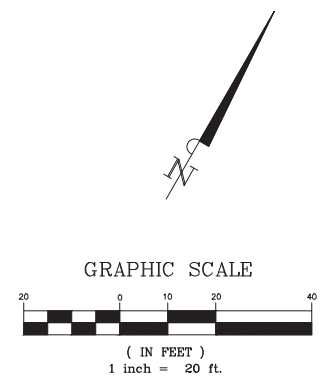
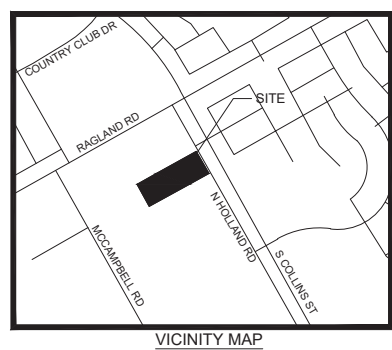
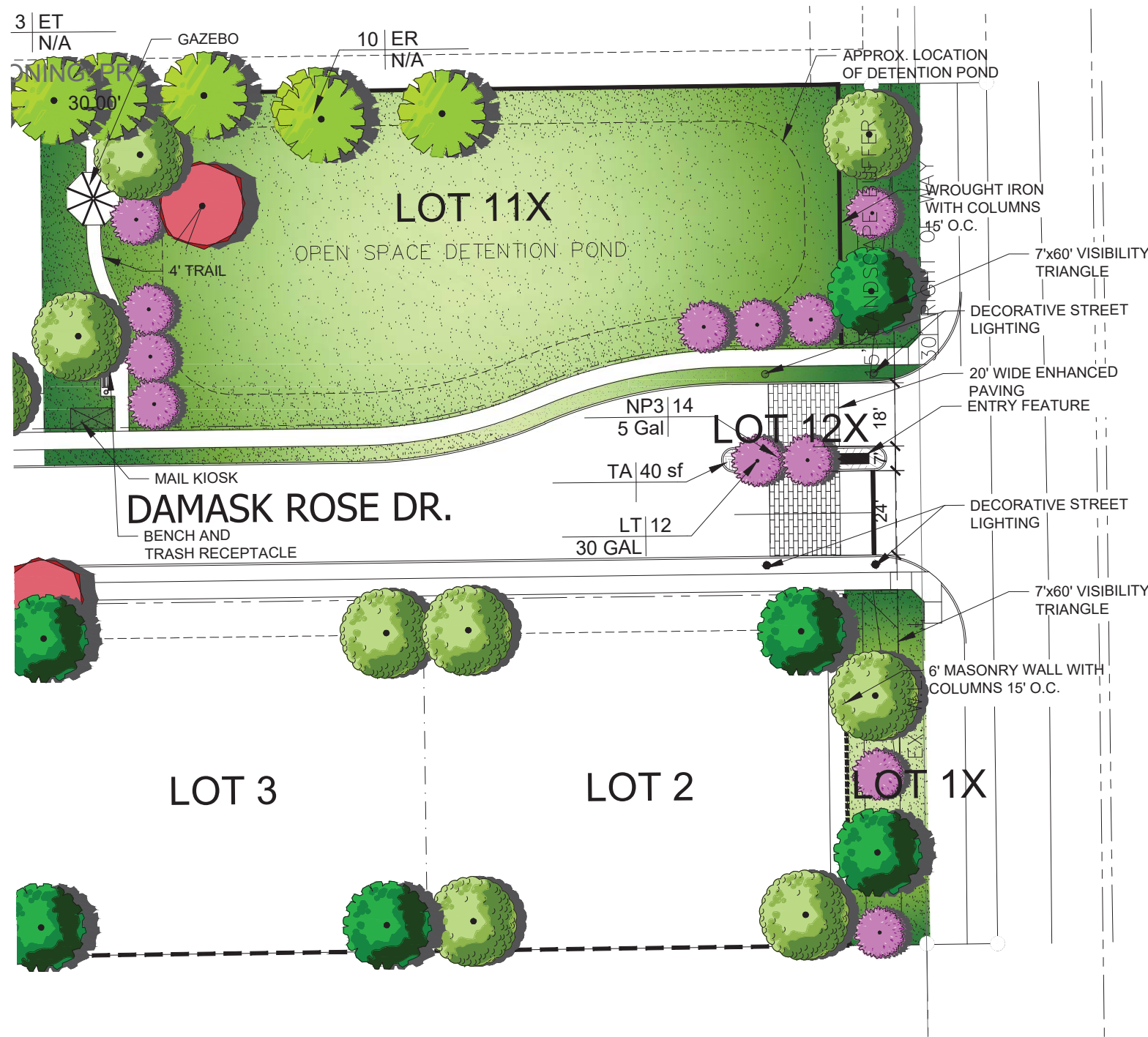
1. A mandatory owners' association will be responsible for the maintenance of the screening wall, open space lots, detention ponds, enhanced entry features, landscaping, hardscape improvements.
2. The Owners Association and associated documents shall be filed in accordance with the City of Mansfield policies. the documents shall be filed with the final plat. the documents shall be submitted in a timely manner to allow for a minimum of sixty (60) days review. failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the development or delay in approval of a building permit. The City does not except the responsibility for the delays cause by the failure to submit the association documents or the inaccuracy of the documents.

Notes:

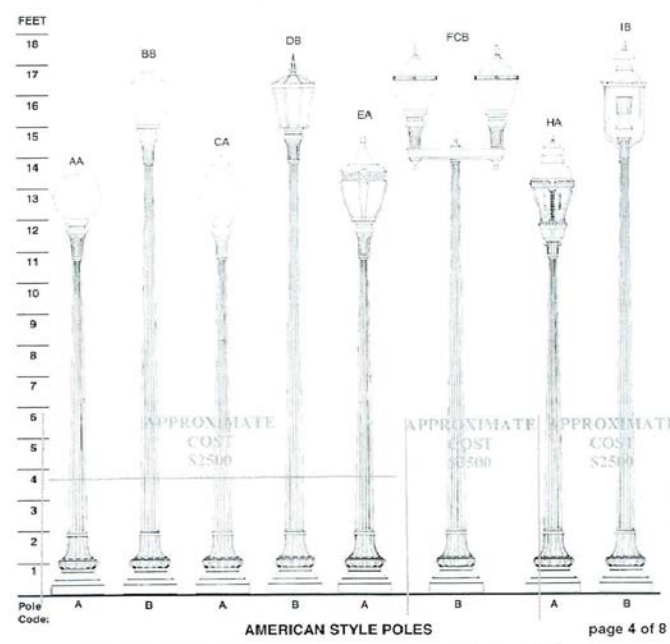
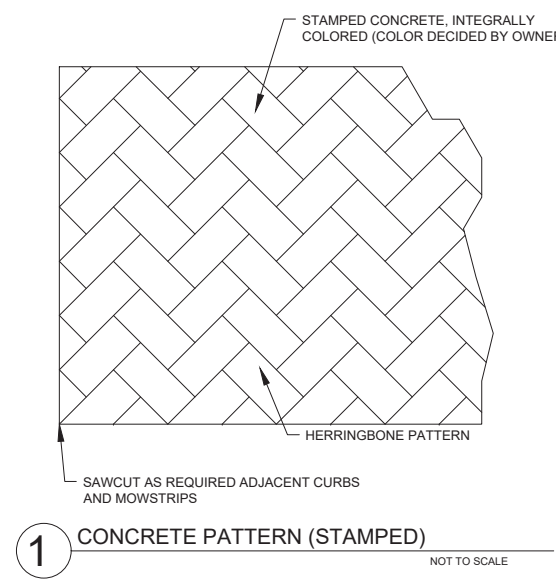
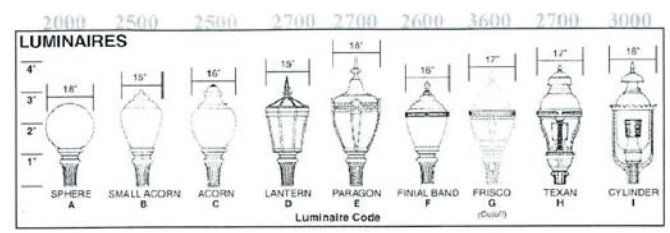
1. This Development will be completed in one single Phase.
2. Architectural and Community design standards will adhere to Section 4600 of the Zoning Ordinance with the exception of the use of up to 100% masonry stucco veneer where architecturally appropriate.
3. Minimum off street Parking and Loading Standards will adhere to section 7200 of the Zoning Ordinance.
4. The proposed Development will be in complete accordance with the provisions of the Planned Development District and all Development Plans recorded hereunder be binding upon the applicant thereof, his successors or assigns, and shall limit and control all building permits.

ENGINEER:
Remington C. Wheat, P.E.
Bannister Engineering
240 North Mitchell Rd
Mansfield, TX 76063
817.842.2094
remington@bannistereng.com

OWNER:
Mouaz ALLababidi
ALLababidi Foundation
802 Greenview Dr
Grand Prairie, TX 75050
817.891.1790
mouath@gmail.com



NOTE:
THE "ACORN" (C) LUMINAIRES ON AN ELEVEN FOOT (11') "AMERICAN STYLE POLE", WITH 100 WATT LED, AS SHOWN BELOW, WILL BE INSTALLED AT EACH STREETLIGHT LOCATION.



Owner Association Notes:

1. A mandatory owners' association will be responsible for the maintenance of the screening wall, open space lots, detention ponds, enhanced entry features, landscaping, hardscape improvements.
2. The Owners Association and associated documents shall be filled in accordance with the City of Mansfield policies. the documents shall be filed with the final plat. the documents shall be submitted in a timely manner to allow for a minimum of sixty (60) days review. failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the development or delay in approval of a building permit. The City does not except the responsibility for the delays cause by the failure to submit the association documents or the inaccuracy of the documents.

Landscaping and Screening Requirements:

- Common area, including detention pond area are to be landscaped per Exhibit D, Landscape Plan.
- Four medium-sized canopy trees shall be planted on each residential lot. Minimum of two in front yard.
- Screening shall be provided at the south, west, and north boundary through the use of a 6 foot height board-on-board fence as indicated per Exhibit D, Landscape Plan.

ENGINEER:
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Bannister Engineering
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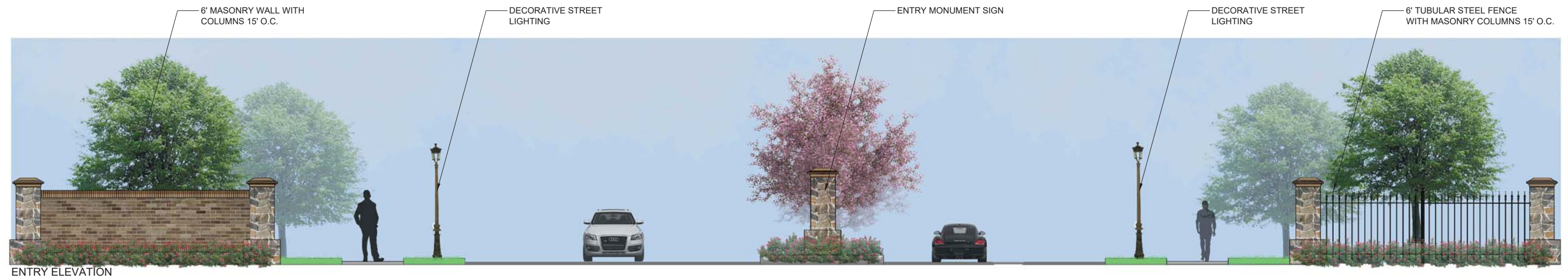
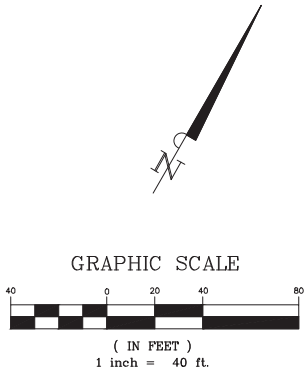
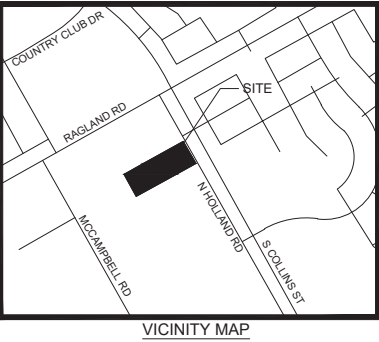
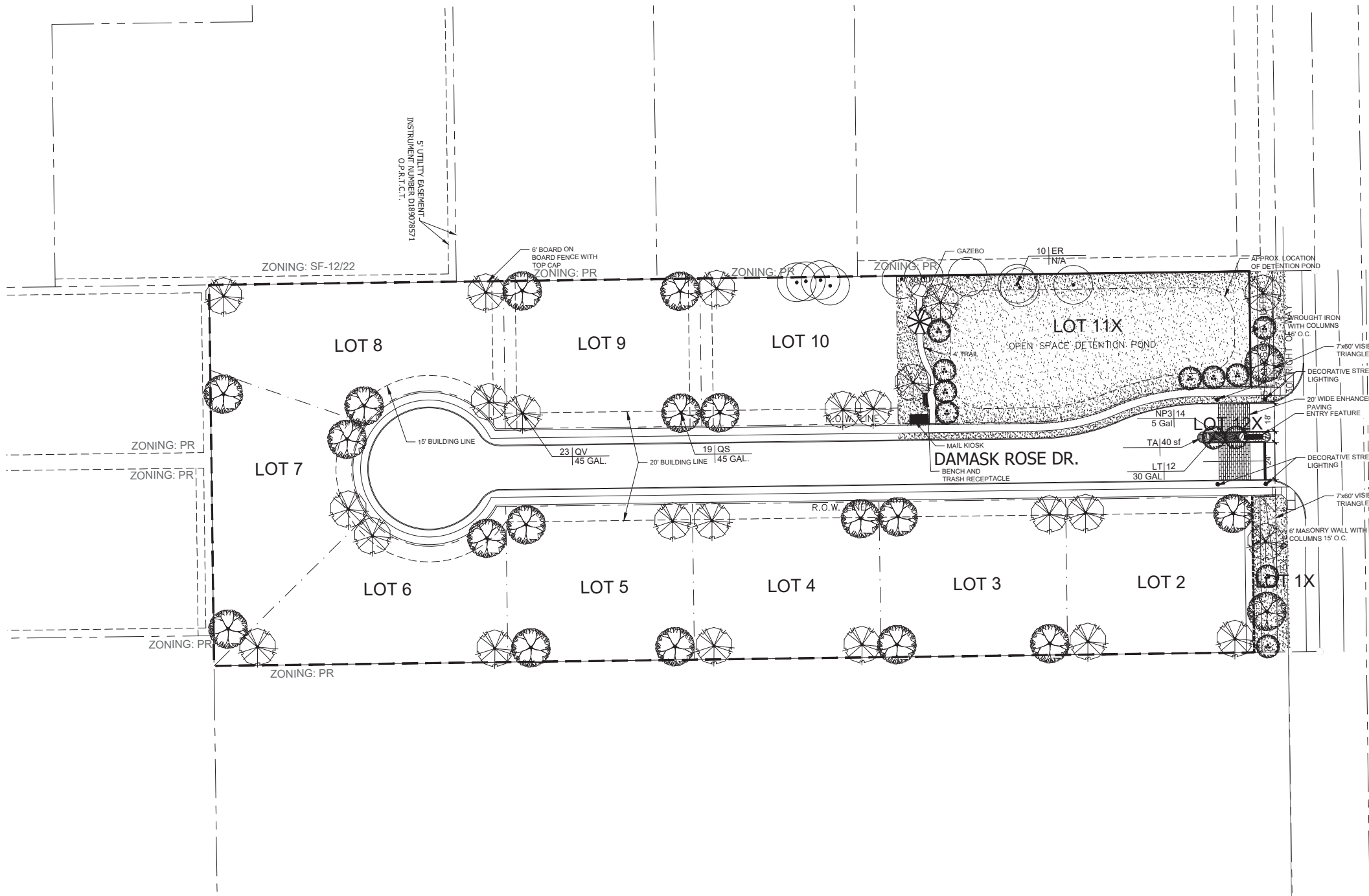


EXHIBIT C
ZC#21-003
ENHANCED ENTRYWAY
PLAN

PAGE 2 OF 2
DAMASCUS GARDENS
2349 N. HOLLAND RD
 City of Mansfield
 Tarrant County, Texas



PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	ER	10	EXISTING TREE TO REMAIN	N/A			
	LT	12	LAGERSTROEMIA INDICA 'TUSCARORA' / CRAPE MYRTLE	30 GAL	3"	6'-8'	FULL, MATCHING, SYMMETRICAL
	QS	19	QUERCUS SHUMARDII / SHUMARD RED OAK	45 GAL	3"	10'-12'	FULL, MATCHING, SYMMETRICAL
	QV	23	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	45 GAL	3"	10'-12'	FULL, MATCHING, SYMMETRICAL
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPACING	NOTES
	NP3	14	NASSELLA TENUISSIMA 'PONY TAILS' / MEXICAN FEATHERGRASS	5 GAL	24" HT	36" O.C.	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	NOTES			
	CT	PER PLAN	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOD			
	TA	PER PLAN	TRACHELOSPERMUM ASIATICUM / ASIAN JASMINE	1 GAL., 18" O.C., TRIANGULAR SPACING			

Owner Association Notes:

1. A mandatory owners' association will be responsible for the maintenance of the screening wall, open space lots, detention ponds, enhanced entry features, landscaping, hardscape improvements.
2. The Owners Association and associated documents shall be filled in accordance with the City of Mansfield policies. the documents shall be filed with the final plat. the documents shall be submitted in a timely manner to allow for a minimum of sixty (60) days review. failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the development or delay in approval of a building permit. The City does not except the responsibility for the delays cause by the failure to submit the association documents or the inaccuracy of the documents.

Landscaping and Screening Requirements:

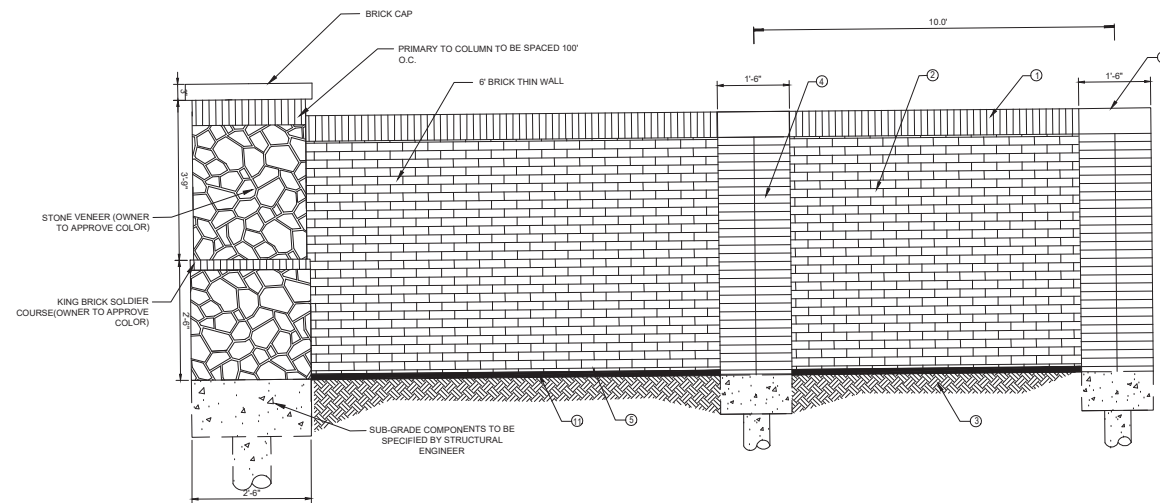
- Common area, including detention pond area are to be landscaped per Exhibit D, Landscape Plan.
- Four medium-sized canopy trees shall be planted on each residential lot. Minimum of two in front yard.
- Screening shall be provided at the south, west, and north boundary through the use of a 6 foot height board-on-board fence as indicated per Exhibit D, Landscape Plan.

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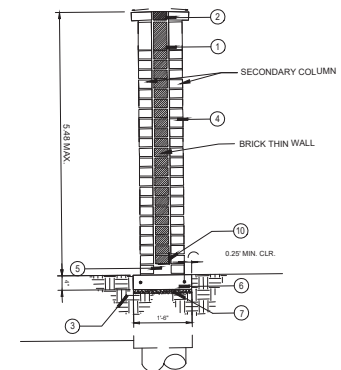
OWNER:
Mouaz ALLababidi
ALLababidi Foundation
802 Greenvue Dr
Grand Prairie, TX 75050
817.891.1790
mouath@gmail.com

EXHIBIT D
ZC#21-003
LANDSCAPE and
SCREENING PLAN

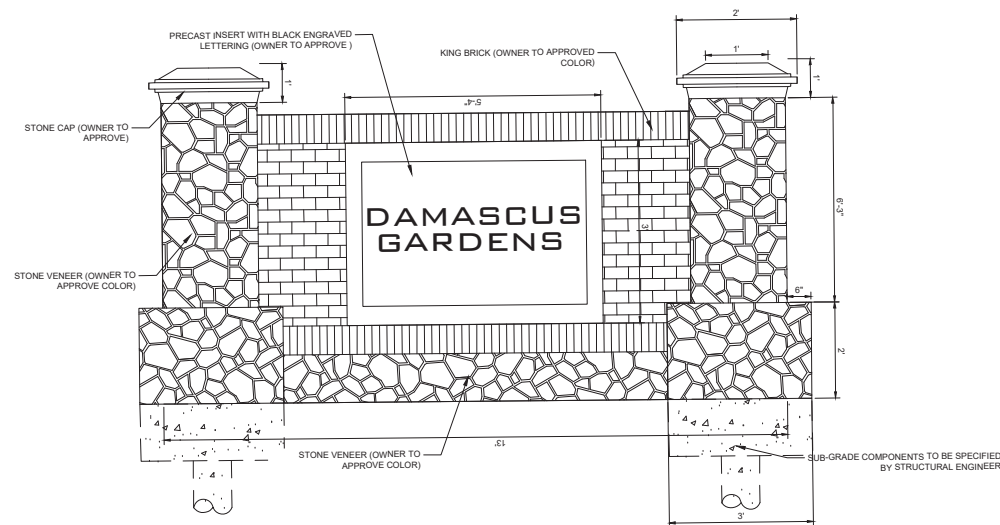
PAGE 1 OF 2
DAMASCUS GARDENS
2349 N. HOLLAND RD
City of Mansfield
Tarrant County, Texas



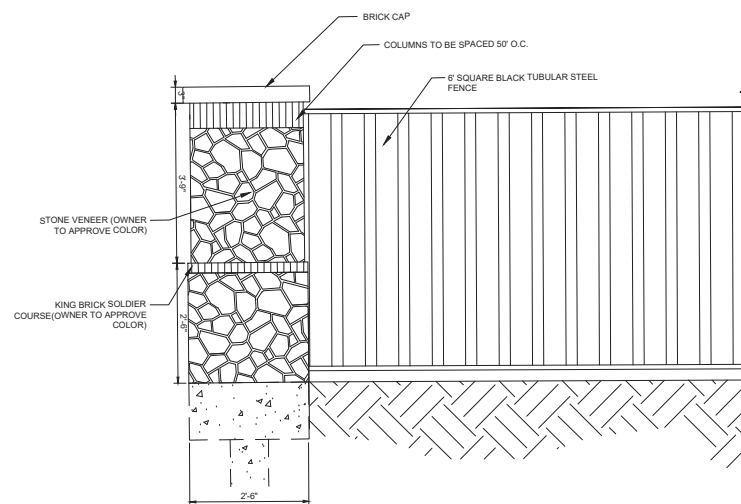
- 1 SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION)
- 2 STANDARD RUNNING BOND BRICK FACING W/ STANDARD MASONRY H-REINFORCING. BRICK SELECTION BY OWNER. REINFORCED W/ 1-NO. 8 GAUGE WIRE HORIZONTAL AT EACH COURSE. PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE.
- 3 COMPACTED SUBGRADE TO 95% OF AASHTO T-99 DENSITY.
- 4 STANDARD 16" WIDE BRICK SUPPORT @ 12" OR 10" O.C.
- 5 BOTTOM COURSE WITH WEEP OPENINGS
- 6 CONCRETE MOW-STRIP W/ (2) #4 BARS CONTINUOUS, 8" O.C. MIN.
- 7 1" SAND SETTING BED.
- 8 12" x 12" PIER x DEPTH TO 8" MIN. BELOW EXISTING GRADE @ 12" O.C. MAX. (O.C. TO MATCH COLUMNS & BRICK SUPPORTS)
- 9 COLUMN CAP
- 10 3"x3"x1/2" GALVANIZED ANGLE IRON
- 11 4" OPENING



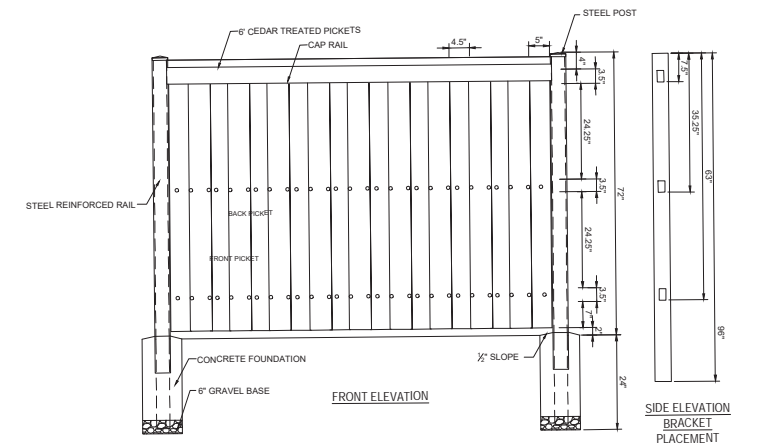
1 6' MASONRY WALL W/ COLUMNS 15' O.C.
NOT TO SCALE



2 ENTRY MONUMENT SIGN
NOT TO SCALE



3 6' TUBULAR STEEL FENCE W/ MASONRY COLUMNS 15' O.C.
NOT TO SCALE



4 6' BOARD ON BOARD FENCE WITH TOP CAP
NOT TO SCALE

EXHIBIT D
ZC#21-003
LANDSCAPE and
SCREENING PLAN
PAGE 2 OF 2
DAMASCUS GARDENS
2349 N. HOLLAND RD

City of Mansfield
Tarrant County, Texas

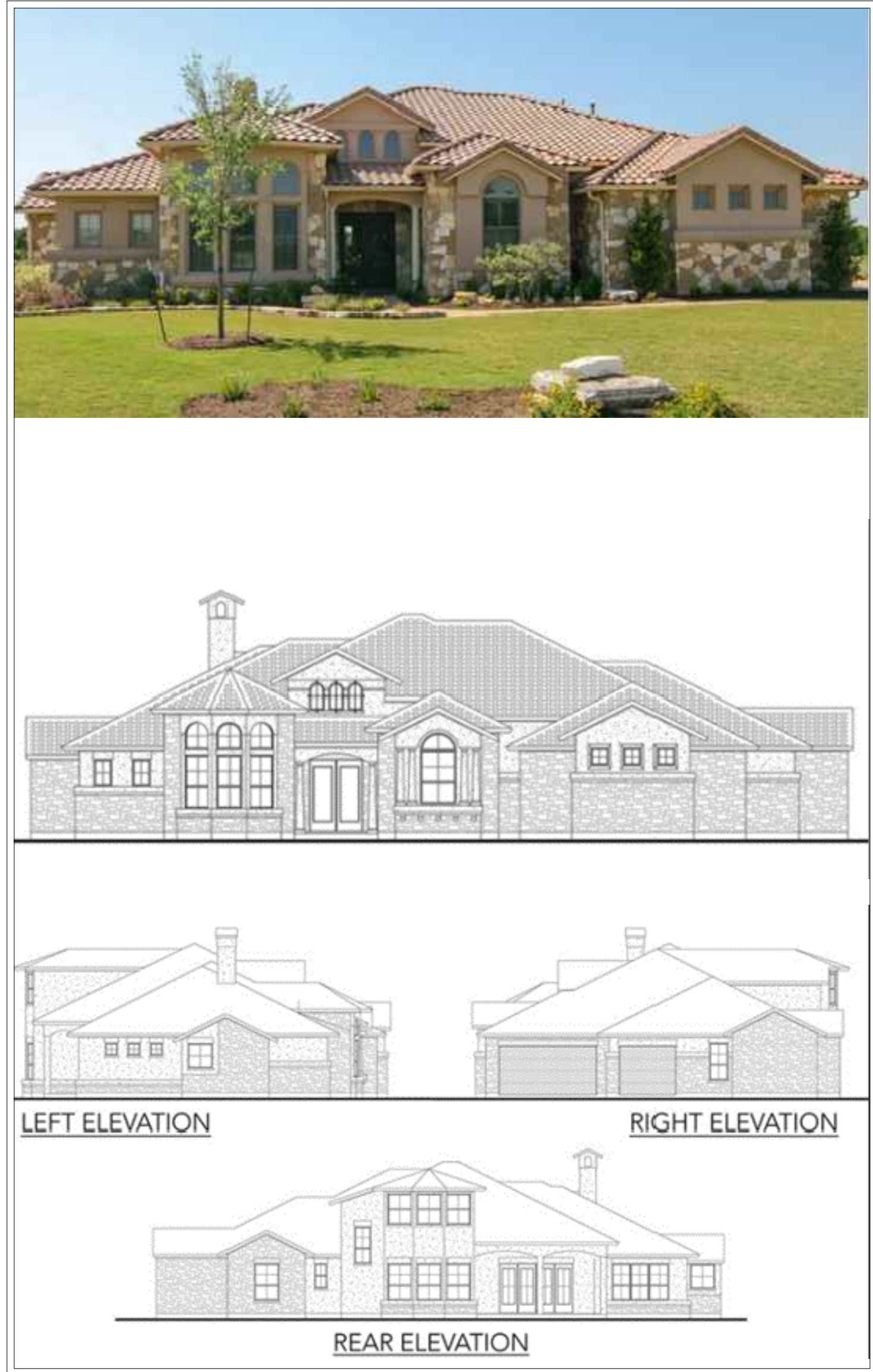


EXHIBIT E
ZC#21-003
RESIDENTIAL ELEVATIONS
DAMASCUS GARDENS
2349 N. HOLLAND RD
City of Mansfield
Tarrant County, Texas

March 29, 2021

Irvy L. McGlasson, Jr.

2315 N. Holland Rd.

Mansfield, TX. 76063

To whom it may concern:

I have spoken with Jeff Linder concerning the proposed relocation of the driveway for our private residence. As I understand it, the driveway for our private residence will be relocated to the southeast for only a few feet.

My wife and I agree to this minor change. This includes a concrete culvert and additional crushed rock for the driveway.

Cordially,

A handwritten signature in dark ink, appearing to read "I. L. McGlasson, Jr.", written in a cursive style.

Irvy L. McGlasson, Jr.



Planning & Development Services

April 9, 2021

City of Mansfield, Texas
1200 E Broad Street
Mansfield, TX 76063

RE: 2349 N. Holland Road
Mansfield, TX
Sanitary Sewer

To whom it may concern,

The City of Arlington utility department has been in contact with the developer and engineer regarding sanitary sewer service for the proposed 4-acre single family residential development located at 2349 N. Holland Road in Mansfield. As discussed with the developer, the City of Arlington is willing to provide sanitary sewer service to the development on the following conditions: 1) A letter from the City of Mansfield shall be provided, on the City of Mansfield letterhead indicating that the City of Mansfield will allow the City of Arlington to provide sanitary sewer service to the lots. 2) The developer shall pay the appropriate sanitary sewer impact fees to the City of Arlington.

Thank you,

Lisa Reese, PE
Project Engineer



Planning & Development Services

April 9, 2021

City of Mansfield, Texas
1200 E Broad Street
Mansfield, TX 76063

RE: 2349 N. Holland Road
Mansfield, TX
Drainage

To whom it may concern,

The City of Arlington has reviewed the conceptual drainage exhibits prepared by Bannister Engineering for zoning review of the proposed 4-acre single family residential development located at 2349 N. Holland Road in Mansfield. The property discharges into a culvert under Holland Road into City of Arlington storm drainage infrastructure. The City of Arlington acknowledges that in the proposed developed condition, more off-site runoff will be routed to the culvert than is currently draining to the culvert in its present state. This is acceptable, on the condition that the increase in discharge is mitigated by onsite detention, to match the existing discharge rate.

Thank you,

Lisa Reese, PE
Project Engineer

March 26, 2021

Subject: Request for Zoning Change of 4 Acre lot at 2349 N Holland Rd (ZC21-003)
City of Mansfield Planning Department

Dear Mr. Bogda,

I live in the Ridge Trace Estates neighborhood close to 2349 N Holland Road (ZC21-003). I am writing to voice my disapproval over the above zoning request change. My family is **STRONGLY AGAINST** this proposed zoning change because it would be detrimental to the neighborhood and greatly reduce the property value of the neighboring homes.

North Holland road is a small black top road and by putting the proposed nine houses into a cul-de sac format squeezed into a generally small area compared to the houses close by it would create a lot of unwanted traffic on such a small road. Another concern is that this will create a chain reaction of the adjacent homes that sit on 3-4-acre sites. These homes have been on the larger lots for over 20 years along North Holland. If the owners of the house next to 2349 N Holland decide to sell and move will another developer or the same developer come and do the same with that 3-4-acre lot? This trend could possibly change the entire atmosphere of North Holland Road into a very busy area which is **NOT** why we purchased our home in our little slice of heaven. We wanted to get away from the busy neighborhoods that have 2-4 cars per house in the driveway and parked on the street.

My husband and I moved into Ridge Trace Estates 14 years ago because it was our small quiet area back in the woods. We loved the fact that because the soccer field is behind us Ridge Trace Estates could not expand anywhere around us. This was a huge selling point for us. We did not want to be in a neighborhood with cheap track homes that had street facing garages with owners that would not maintain the homes. We also did not want more homes to be developed anywhere around us aside from what was already there. I fear this would happen if the proposed zoning change is approved. Also, in the 14 years we have lived along North Holland Road our property value has doubled and with all the medical facilities being build within a 5 mile radius of North Holland Road and the high value homes close by the property value is likely to continue to increase. If you approve this zoning change, then the value of **ALL** the properties within a 5 miles radius will decrease and homeowners will be hurt financially.

The homeowners in Ridge Trace Estates love the peaceful quiet atmosphere of N. Holland Road and do **NOT** want this proposed zoning change approved. Other concerns include what will happen to North Holland Road? Will it need to be widened? Will it need to be made into a "through" street? Will all the trees be taken down? Almost all the homeowners on North Holland Road and within Ridge Trace Estates utilize North

Holland Road for exercise to include running, walking, walking animals, cycling, etc. We LOVE North Holland Road the way it is and want it to STAY the way it is. We DO NOT WANT this zoning request approved.

We humbly ask that the City of Mansfield **disapprove** the request for zoning change at 2349 N Holland Rd (ZC21-003). Let's keep ALL of North Holland Road the way it is. Thank you for your attention to this matter.

Sincerely,

Julie M. Von Hollen 
3215 Ridge Trace Circle
Ridge Trace Estates, North Holland Road

Subject: Request for Zoning Change of 4 Acre lot at 2349 N Holland Rd (ZC21-003) City of Mansfield Planning Department

Dear Mr. Bogda,

I live in the Southwind neighborhood close to 2349 N Holland Rd (ZC21-003). I am writing this letter in support of the above zoning request. When I saw the proposed lots, I reached out to Mr. Allababidi, and I was very disappointed to hear that Damascus Gardens was not initially approved due to opposition from someone in a neighboring community. I believe the benefits of a neighborhood with large lots and custom homes far outweigh any potential negatives.

My husband and I moved to the Southwind neighborhood in 2013. Since then, we have had two kids and are now looking for an upgrade. We have spent over a year looking for options to no avail. Anything custom built was/is in Arlington, Burleson, or Rendon; all of which would take us out of our children's current schools. While there are new neighborhoods popping up in Mansfield, a lot of them have smaller lot sizes and smaller square footage. Again, with these options, we would be forced to pull our children out of their school with their friends or attempt to transfer in. I know a couple other families that are in a similar situation to ours. We are constantly talking about how hard it has been to find a home. I believe, overall, the addition of another neighborhood with custom homes would be extremely welcome in this area.

I understand some concern with the opposition had to do with tract homes decreasing home values in the area. If Damascus Gardens were to be a tract home neighborhood with 100+ lots, I would see the value in that concern. However, the addition of nine custom homes is not going to decrease value. If anything, having another neighborhood with homes similar to those in King's Mill and Strawberry Fields would only bring value to the area. Southwind has added around 100 tract homes to the front of the neighborhood recently and even that has not decreased the value of our house. According to several local custom home builders, the average starting cost of a custom home in Mansfield is around \$150/square foot. The minimum square footage as posted in the EXHIBIT B ZC#21-003 DEVELOPMENT PLAN for Damascus Gardens is 2600 square feet, which would make the minimum home price around \$390,000 for the home value alone. Most of the families I know searching for homes of this caliber want at least 3500 square feet, which would put home prices at just above half a million dollars.

In my search for a larger home this past year, it seems a large majority of the custom home opportunities within MISD actually reside outside of the City of Mansfield. Why wouldn't we want to bring the opportunity to have that money actually go into the City of Mansfield? Homes in neighborhoods like Kings Mill, Strawberry Fields, and Knight's Bridge are rarely listed for sale because most people that get in custom homes stay there. When homes in those areas are listed for sale, they sell very quickly. This proves that there is clearly a demand for custom homes in this area.

I know another concern was the traffic increasing along North Holland. I don't particularly like to gamble on the chances of "what if," but for the sake of argument "what if other landowners along

North Holland follow suit and sell the land to be developed like Damascus Gardens?”. This *could* happen which might increase traffic along North Holland, but this *could* also not happen which would make the argument negligible. Many of the lots surrounding the land to be used for Damascus Gardens have homes on them, so I would think it is less likely that they would sell. In addition, if those homeowners who are directly next to the area in question have not raised any opposition to Damascus Gardens, it would seem those most affected by the change in this area do not share these same concerns.

I think the addition of Damascus Gardens would bring great value to the City of Mansfield and would give families the chance to find their forever home. I hope that you will consider all of this and approve the above zoning case. Thank you so much for your time and your consideration in this matter.

Sincerely,

Stephanie Stewart
stephmallen@gmail.com
817.253.4877



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4027

Agenda Date: 4/26/2021

Version: 2

Status: Second Reading

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Public Hearing Continuation and Second and Final Reading of an Ordinance Approving a Change of Zoning from PR Pre-Development District to PD Planned Development for Retail Plant Nursery, Wholesale Plant Nursery, and Single-Family Residential Uses on Approximately 5.15 Acres out of the Margaret Rockerfellow Survey, Abstract No. 1267, Tarrant County, TX, Located at 1573 Newt Patterson Rd.; Michael Wilson of Bannister Engineering (Landscape Architect) on Behalf of Magdaleno I. Pacheco of Leno's Plant Farm (Owner/Developer) (ZC#21-001)

Requested Action

To consider the subject zoning change request.

Recommendation:

The Planning & Zoning Commission held a public hearing on March 15, 2021 and voted 6-0 (Gilmore absent) to recommend approval with the condition that the front swing gate and fence along Newt Patterson Rd. be removed. One neighboring resident spoke in support of the request. Several commissioners also expressed positive support for the request. There were questions about lighting and the time of day business operations would be conducted, to which the applicant responded that appropriate lighting would be provided to ensure security and safety, but that business operations would mostly be conducted during the daytime hours. There were also questions about overall timing of the development, to which the applicant responded that the new improvements would be initiated and completed as soon as possible. As far as the timing of installation of the new monument sign, the applicant hasn't decided yet. Lastly, a commissioner asked what type of trucks would be used for wholesale operations and deliveries, to which the applicant responded that box trucks would generally be used. The applicant has made changes to the plans to remove the existing fence along Newt Patterson. The swing gate has also been changed to a decorative aluminum vehicular entry gate and relocated further into the development to still provide for security of the retail area while improving aesthetics and preventing vehicle stacking onto Newt Patterson and allowing for vehicles to turn around and safely exit.

Description/History

Existing Use: Wholesale plant nursery and single-family residential

Existing Zoning: PR, Pre-Development District

Surrounding Land Use & Zoning:

North - Newt Patterson Rd.; Vacant land (PR) across the street

South - Union Pacific railroad tracks; Vacant land (PR) across the tracks
East - Single-family residential/agricultural, A
West - Vacant land, PR

Comments and Considerations

The subject property consists of 5.15 acres improved with two single-family homes, greenhouses, and other storage buildings, as well as a gravel drive and parking lot. The property is currently used as a wholesale plant nursery with two on-site single-family homes. The applicant is seeking to add a retail nursery component and bring the nonconforming wholesale plant nursery operation into compliance. As such, they are requesting to rezone the property from PR Pre-Development District to PD Planned Development District for retail plant nursery, wholesale plant nursery, and single-family residential uses.

Development Plan

The development plan shows the following existing buildings, generally located on the eastern half of the property and comprising the wholesale nursery operation and the single-family homes of the property owners:

- 1,912 sq. ft. one-story single-family home
- 1,440 sq. ft. one-story single-family home
- 13 greenhouses, ranging in size from 2,200 - 4,500 sq. ft.
- 4 metal buildings (three used for storage; one used as an office for the wholesale nursery), ranging in size from 1,040 - 1,680 sq. ft.

On the west side of the property, the applicant plans to add a retail nursery component with a 1,340 sq. ft. retail/office building, 4,200 sq. ft. retail restocking & sales greenhouse, an outdoor retail display area in front of the retail building, and a concrete parking lot and drive aisle for the retail and wholesale customers. The wholesale portion will be fenced and gated to separate it from the retail section and the retail portion will include a vehicle gate to restrict access and provide security of the outdoor display area during non-business hours.

The existing single-family homes will be used as live-work dwellings for the on-site managers or caretakers of the property.

The applicant has noted that potted trees, shrubs, groundcovers, and seasonal color may be stored in the areas labeled as gravel/geosynthetic weed fabric, which are generally located in the south-central portion of the property adjacent to the existing and new greenhouses. In addition, an outdoor retail display area will be allowed in front of the retail building. Otherwise, no other outside storage of materials or retail operations will be allowed. All service areas and mechanical equipment will be required to be screened in accordance with the Zoning Ordinance. A trash enclosure with 8'-tall wood fence will be provided on the west side of the property near the retail greenhouse.

The development will maintain 30' building setbacks on the east and west sides of the property, a 25' building setback along Newt Patterson Road, and no setback along the railroad right-of-way. Due to existing conditions, there will be setbacks of only 10' and 3'

adjacent to the single-family property that is not part of the development (the Moreno property).

Access, Circulation, and Parking

The development will utilize the two existing access points off Newt Patterson Road. The main public access for the commercial components of the development will be on the west side of the development. The access point on the east side of the development will be used for access to the live-work dwellings; this access drive will retain the existing asphalt pavement and will have space for at least two vehicles per dwelling. The access point on the west side of the development will be reconfigured to include concrete paving; all parking areas for the retail and wholesale portions will include concrete paving as well. A fire lane loop will be provided around the retail building and outdoor display area. On the west side of this drive, 17 parking spaces will be provided for the retail customers, one of which will be a dedicated ADA space. The retail portion will include a gate to restrict access and provide security for the outdoor display area when the business is closed. The east side of the loop will also be gated and restricted to access by wholesale customers; 6 parking spaces will be provided for the wholesale customers. A section of gravel between the concrete and asphalt drives will remain to allow overflow space for loading and maneuverability by the wholesale customers, as well as to provide cross-access to all portions of the property by the owners. The retail portion of the business would typically require 6 spaces, but 17 spaces are provided to accommodate overflow during peak times. In addition, the wholesale portion would typically require 4 spaces, but 6 are provided.

Elevations, Floor Plans, and Photos

The applicant has provided a floor plan and building elevations for the new single-story retail building. The building will include a small sales floor and counter in the front portion and a small office, break room, and restroom in the back. A large covered porch with 12" columns will wrap around the front and sides of the building. All exterior cladding will be Hardie cementitious siding or an approved equal. The building features a pitched roof (predominantly 8:12, with 3:12 for the porch) with asphalt shingles. Windows, doors, and a gable vent will help break up the façade. A conceptual rendering and floor plan have also been provided for the new retail greenhouse building. In addition, photos have been provided showing the existing greenhouses, storage buildings, and dwellings, as well as other areas of the property.

Landscaping and Screening

Fourteen existing trees in the front half of the property are to be preserved, about half of which are located along Newt Patterson Road and the others located near the existing homes and new retail area. The entire tree line along the railroad tracks is also to be preserved. Three existing trees near the primary entrance are to be removed due to visibility concerns. Some of the preserved trees along Newt Patterson are located in the right-of-way and could potentially be removed to accommodate any roadway or utility improvements in the future. Four additional trees will be planted in the landscape buffer along Newt Patterson which will provide additional plantings to help mitigate any tree removal. Four new canopy trees and two ornamental trees will be planted in the parking lot areas and the parking lot will be screened with shrubs. The new trees will include a

mix of live oak, cedar elm, and crape myrtle trees. The trash enclosure will also be screened by shrubs and some groundcovers and grasses will be planted in select areas. The west and east property lines will include an 8'-tall board-on-board cedar-stained wood fence with cap. An 8' wood fence will also be provided in the central section of the property to divide the retail area from the wholesale area, as well as screen the wholesale area from the Moreno property. Three decorative aluminum vehicle entry gates will be provided, one of which will restrict access to the retail area during non-business hours and the other two of which will restrict access to the wholesale area. Details have been provided for all fences and gates.

Signage

A monument sign has been proposed near the main entrance to the retail area. While a sign plan has not been provided, it is noted that all signage will adhere to the standards applicable to C-2 zoning.

Summary

The proposed development will provide for the continued use of the property for single-family residential and wholesale nursery uses and bring any nonconforming conditions into compliance. It will provide for a retail nursery to allow nearby residents access to the property to purchase plants, trees, and other gardening items. A new retail building, new retail restocking & sales greenhouse, dedicated outdoor display area, and concrete parking lot with a reconfigured approach will allow for an orderly and efficient retail area on a limited footprint that is properly screened. A concrete drive with dedicated parking spaces and gates will allow for a more orderly and dedicated space for the wholesale portion of the business that does not conflict with the retail portion and provide for security of the outdoor display area during non-business hours. Furthermore, most of the existing trees will be preserved except where removal is necessary to ensure safe visibility or to accommodate future infrastructure improvements. Additional landscaping and fencing upgrades will help improve the aesthetics of the property and provide for the necessary screening from surrounding properties. The architecture of the new retail building is consistent with the country aesthetic of the surrounding area. The Land Use Plan recommends low-density single-family residential uses in this sub-area but also calls for preservation of heavily wooded areas, which this development helps achieve. The wholesale nursery has existed for several decades and the new development plan provides for a more efficient and compliant wholesale area while adding a retail component that is rather limited in scale. The existing trees and new landscaping and fencing will help to ensure adequate screening is provided to protect the residential character of the area.

The development provides for the improvements necessary to support the new retail component, while making additional improvements to better support the wholesale component, enhance aesthetics, and provide proper screening between uses and from adjacent properties.

2nd Reading:

The City Council held a public hearing and first reading on April 12, 2021 and voted 7-0 to approve. There was discussion about how this development could potentially impact the

future development of property to the east and south and staff responded that the railroad, gas well access road, and natural vegetation are likely to provide adequate buffers and do not foresee any negative impacts. There was also discussion regarding timing of the development improvements and the applicant stated that they would start as soon as possible. No further changes have been made to the plans.

Prepared By

Andrew Bogda, Planner
817-276-4287

Attachments:

Maps and Supporting Information
Ordinance
Exhibit A
Exhibits B - D

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR RETAIL PLANT NURSERY, WHOLESALE PLANT NURSERY, AND SINGLE-FAMILY RESIDENTIAL USES, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new zoning district classification of PD, Planned Development; said property being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2.

That the use and development of the hereinabove described property shall be in accordance with the development plan shown on Exhibits "B – D" attached hereto and made a part hereof for all purposes.

SECTION 3.

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4.

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6.

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7.

This ordinance shall take effect immediately from and after its passage on the second and final reading and the publication of the caption, as the law and charter in such cases provide.

FIRST READING APPROVED ON THE 12TH DAY OF APRIL, 2021.

DULY PASSED ON THE SECOND AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 26TH DAY OF APRIL, 2021.

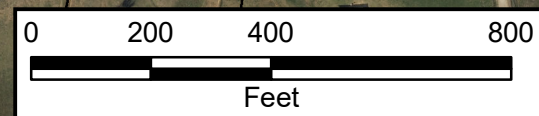
Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary

APPROVED AS TO FORM AND LEGALITY:

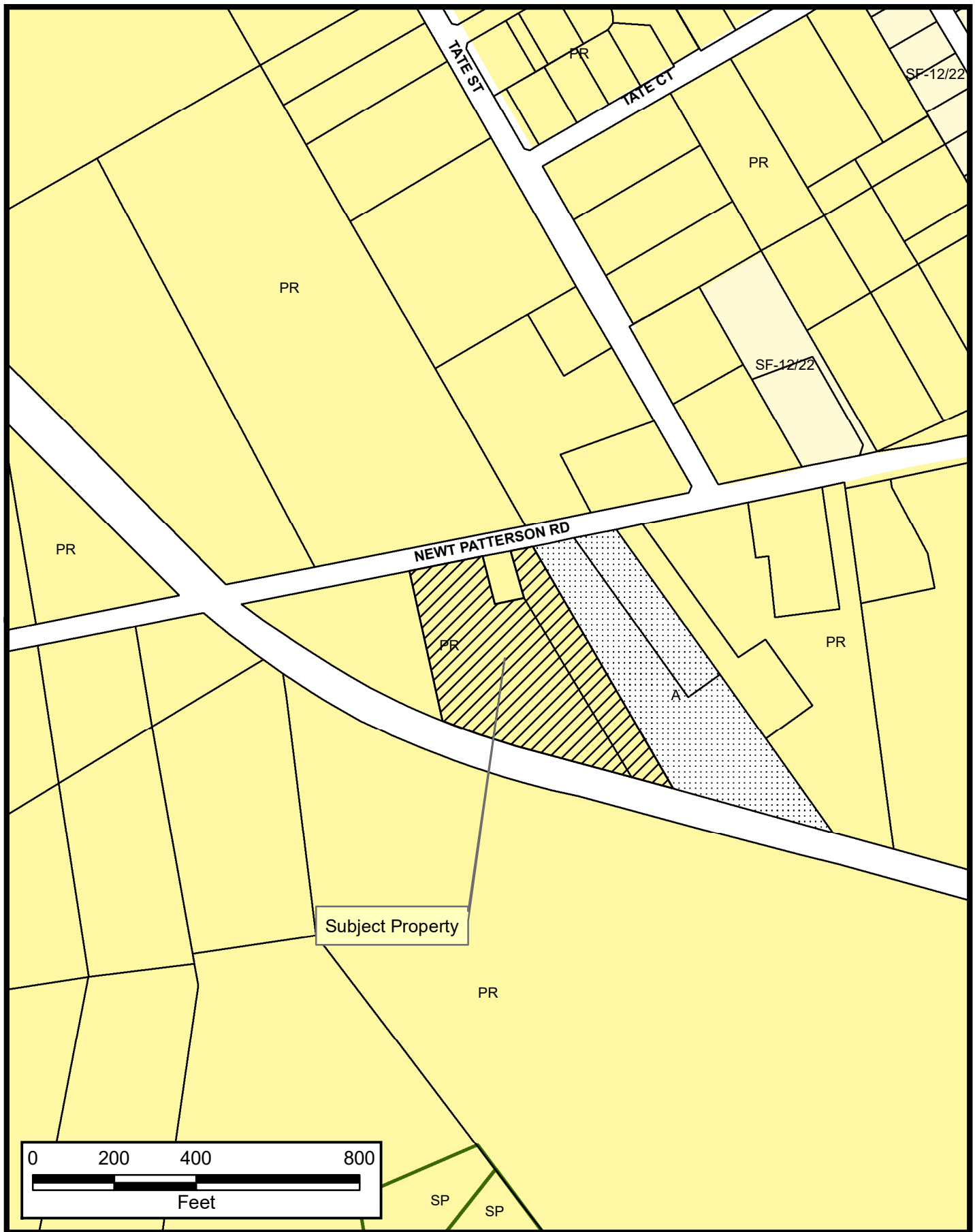
Allen Taylor, City Attorney



ZC#21-001

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

3/4/2021



Property Owner Notification for ZC#21-001

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
DAKE ADDITION	BLK 1	SNEED, DARRELL & VENETIA	861 TATE ST	MANSFIELD, TX	76063
DAKE ADDITION	BLK 1	SNEED, DARREL A & VENETIA D	861 TATE ST	MANSFIELD, TX	76063
ROCKERFELLOW, MARGARET SURVEY	A 1267	HYVIEW RANCH LLC	1019 WALNUT FALLS CIR	MANSFIELD, TX	76063
ROCKERFELLOW, MARGARET SURVEY	A 1267	PACHECO, MAGDALENO & MARIA	1525 NEWT PATTERSON RD	MANSFIELD, TX	76063-6251
ROCKERFELLOW, MARGARET SURVEY	A 1267	PACHECO, MAGDALENO & MARIA	1525 NEWT PATTERSON RD	MANSFIELD, TX	76063-6251
ROCKERFELLOW, MARGARET SURVEY	A 1267	PACHECO, MAGDALENO & MARIA	1525 NEWT PATTERSON RD	MANSFIELD, TX	76063-6251
ROCKERFELLOW, MARGARET SURVEY	A 1267	MORENO, SERGIO A	1575 NEWT PATTERSON RD	MANSFIELD, TX	76063-6251
ROCKERFELLOW, MARGARET SURVEY	A 1267	PACHECO, MAGDALENO & MARIA	1573 NEWT PATTERSON RD	MANSFIELD, TX	76063-6251
ROCKERFELLOW, MARGARET SURVEY	A 1267	PACHECO, JOSE C	6805 DICK PRICE RD	MANSFIELD, TX	76063-5241
ROCKERFELLOW, MARGARET SURVEY	A 1267	RAWDON, GREGORY L ETAL	11201 COUNTY ROAD 525	MANSFIELD, TX	76063
ROCKERFELLOW, MARGARET SURVEY	A 1267	PACHECO, MAGDALENO & MARIA	1525 NEWT PATTERSON RD	MANSFIELD, TX	76063-6251

ZC#21-001
"EXHIBIT A"
METES & BOUNDS LEGAL DESCRIPTION

LENO'S PLANT FARM PROJECT LIMITS

BEING all of that certain tract of land in the Margatet Rockerfellow Survey, Abstract No. 1267, City of Mansfield, Tarrant County, Texas, described as Tract I in a Warranty Deed with Vendor's Lien to Magdaleno I. Pacheco and wife, Maria L. Pacheco (hereinafter referred to as Tract I), as recorded in Instrument Number D201236837, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.) and being all of that certain tract of land described as Tract II in a Warranty Deed with Vendor's Lien to Magdaleno I. Pacheco and wife, Maria L. Pacheco (hereinafter referred to as Tract II), as recorded in Instrument Number D201236837, O.P.R.T.C.T. and being all that certain tract of land described in a Cash Warranty Deed to Magdaleno I. Pacheco and wife, Maria L. Pacheco (hereinafter referred to as Pacheco tract), as recorded in Instrument Number D199234044, O.P.R.T.C.T., and being more particularly described, by metes and bounds, as follows:

BEGINNING at the Southeasterly corner of said Pacheco tract, same being the Southwesterly corner of that certain tract of land described in a Warranty Deed with Vendor's Lien to Magdaleno I. Pacheco and spouse, Maria L. Pacheco (hereinafter referred to as Magdaleno Pacheco tract), as recorded in Instrument Number D202192094, O.P.R.T.C.T., same also being the existing Northerly right-of-way line of Union Pacific Railroad (100' right-of-way), previously known as Houston and Texas Railway;

THENCE North 74 degrees 55 minutes 54 seconds West with the common line between said Pacheco tract and the existing Northerly right-of-way line of said Union Pacific Railroad, a distance of 131.00 feet;

THENCE North 74 degrees 37 minutes 40 seconds West, continue with the common line between said Pacheco tract and the existing Northerly right-of-way line of said Union Pacific Railroad, a distance of 173.05 feet to the Southwesterly corner of said Pacheco tract, same being the Southeasterly corner of said Tract I, same being the beginning of a non-tangent curve to the right, whose long chord bears North 75 degrees 19 minutes 55 seconds West, a distance of 131.05 feet;

THENCE Westerly with the common line between said Tract I and the existing Northerly right-of-way line of said Union Pacific Railroad and with said non-tangent curve to the right having a radius of 1860.00 feet, through a central angle of 04 degrees 02 minutes 16 seconds, for an arc distance of 131.08 feet to the Southwesterly corner of said Tract I, same being the Southeasterly corner of said Tract II, same also being the beginning of a curve to the right, whose long chord bears North 69 degrees 26 minutes 08 seconds West, a distance of 251.56 feet;

THENCE Northwesterly with the common line between said Tract II and the existing Northerly right-of-way line of said Union Pacific Railroad and with said curve to the right having a radius of 1860.00 feet, through a central angle of 07 degrees 45 minutes 18 seconds, for an arc distance of 251.75 feet to the Southwesterly corner of said Tract II, same being the Southeasterly corner of that certain tract of land described in a Cash Warranty Deed to Jose C. Pacheco and Ma Alicia Pacheco (hereinafter referred to as Jose Pacheco tract), as recorded in Instrument Number D199234046, O.P.R.T.C.T.;

THENCE North 11 degrees 47 minutes 48 seconds West, departing the existing Northerly right-of-way line of said Union Pacific Railroad, with the common line between said Tract II and said Jose Pacheco tract, a distance of 339.44 feet to the Northwesterly corner of said Tract II, same being the Northeasterly corner of said Jose Pacheco tract, same also being the existing Southerly right-of-way line of Newt Patterson Road (variable width right-of-way), previously known as County Road 2108;

THENCE North 78 degrees 12 minutes 12 seconds East with the common line between said Tract II and the existing Southerly right-of-way line of said Newt Patterson Road, pass at a distance of 212.49 feet, the Northeasterly corner of said Tract II, same being the Northwesterly corner of said Tract I, continue with said course, the common line between said Tract I and the existing Southerly right-of-way line of said Newt Patterson Road for a total distance of 245.12 feet to the Northerly Northeast corner of said Tract I, same being the Northwest corner of that certain tract of land described in a Warranty Deed to Segio Moreno (hereinafter referred to as Moreno tract), as recorded in Instrument Number D212053503, O.P.R.T.C.T.;

THENCE South 16 degrees 36 minutes 57 seconds East, departing the existing Southerly right-of-way line of said Newt Patterson Road, with the common line between said Tract I and said Moreno tract, a distance of 149.27 feet to an inner-ell corner of said Tract I, same being the Southwest corner of said Moreno tract;

THENCE North 78 degrees 43 minutes 29 seconds East, continue with the common line between said Tract I and said Moreno tract, a distance of 72.37 feet to the Easterly Northeast corner of said Tract I, same being the Southeast corner of said Moreno tract, same also being an angle point in the Westerly line of the aforesaid Pacheco tract;

THENCE North 17 degrees 03 minutes 23 seconds West with the common line between said Pacheco tract and said Moreno tract, a distance of 150.00 feet to the Northwest corner of said Pacheco tract, same being the Northeast corner of said Moreno tract, same also being the existing Southerly right-of-way line of said Newt Patterson Road;

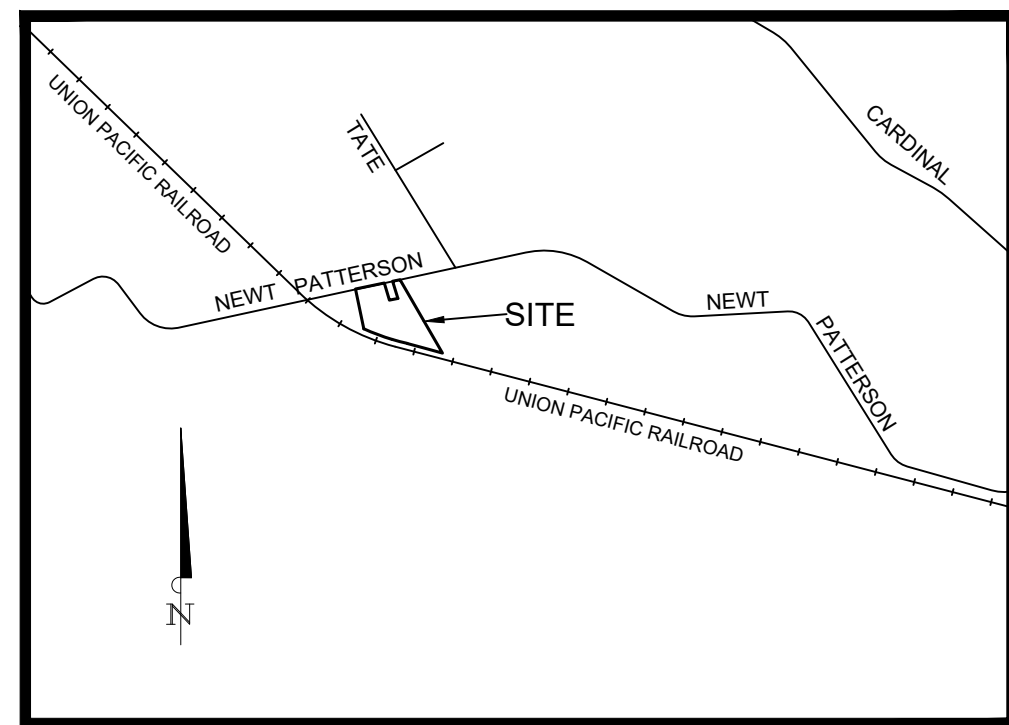
THENCE North 78 degrees 12 minutes 12 seconds East with the common line between said Pacheco tract and the existing Southerly right-of-way line of said Newt Patterson Road, a distance of 62.96 feet to the Northeast corner of said Pacheco tract;

THENCE South 30 degrees 03 minutes 54 seconds East, continue with the common line between said Pacheco tract and the existing Southerly right-of-way line of said Newt Patterson Road, pass at a distance of 23.76 feet, a one inch pipe found for the Northwest corner of the aforesaid Magdaleno Pacheco tract, continue with said course, with the common line between said Pacheco tract and said Magdaleno Pacheco tract for a total distance of 706.26 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 5.150 acres (224,331 square feet) of land.

Project No. 207-20-001 | Date: 1/5/2021 | Page 1 of 1 | Drawn by: SA | Checked by: MD2

LENO'S PLANT FARM PROJECT LIMITS
MAGDALENO I. PACHECO AND WIFE, MARIA L. PACHECO
OUT OF THE
MARGARET ROCKERFELLOW SURVEY, ABSTRACT NO. 1267
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

 **BANNISTER**
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TBPLS REGISTRATION NO. 10193823



VICINITY MAP
NOT TO
SCALE

Notes

- The proposed development will be in complete accordance with the provisions of the approved Planned Development District and all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors or assigns, and shall limit and control all building permits.
- All signage will adhere to the regulations for C-2 zoned properties as specified in Section 7100 of the Zoning Ordinance.
- All service areas and mechanical equipment will be screened in accordance with Section 7301.A of the Zoning Ordinance.
- All rooftop equipment will be screened by building parapets at least one foot taller than the tallest piece of equipment.
- The development will be completed in a single phase.

Base Zoning: C-2 Community Business District

Permitted Uses:

- Nursery Wholesale
- Nursery Retail
- Live-Work Dwellings for on-site manager or caretaker

Area, Setback and Height Regulations:

- Minimum Front Setback - 25'
- Minimum Side Setback - 30' exterior, 10' interior (3' at existing residence)
- Minimum Rear Setback - 0' (Railroad R.O.W.)
- Maximum Height - The height of the proposed buildings will not exceed 35'
- Maximum Area of the Proposed Greenhouse - 4,200 s.f. Foundation

Architectural Requirements:

- Exterior façade of the proposed building shall be cementitious siding with cedar posts.
- Roof of the proposed building shall have a hip or gable form - with dimensional asphalt shingles.

Greenhouse Requirements:

- Greenhouse will be a standard hoop-house design that matches the form and character of the existing greenhouses on site.
- The greenhouse shall be used for restocking outdoor retail sales, and indoor sales.

Landscaping Requirements:

- A row of screening 3' screening shrubs will be planted in front of parking and drive aisles, per the Landscape Plan. 2 Large canopy trees will be added to parking area

Outdoor Storage Requirements

- Potted trees, shrubs, groundcovers, and seasonal color may be stored in the areas labeled as 'gravel/geosynthetic weed fabric'.
- No other outside storage or retail operations will be allowed except in areas specified in the plan.

Water Quality

- Water quality will be addressed post-construction through the installation of vegetated bioswales.

LENO'S PLANT FARM

SITE AREA - 5.15 ACRES

DESIGNER:

Michael A. Wilson, RLA
Bannister Engineering
240 North Mitchell Rd
Mansfield, TX 76063
817.842.2094
mwilson@bannistereng.com

OWNER:

Magdalaeno I. Pacheco
Leno's Plant Farm
1573 Newt Patterson Rd
Mansfield, TX 76063
682.433.1324
carinap1211@gmail.com

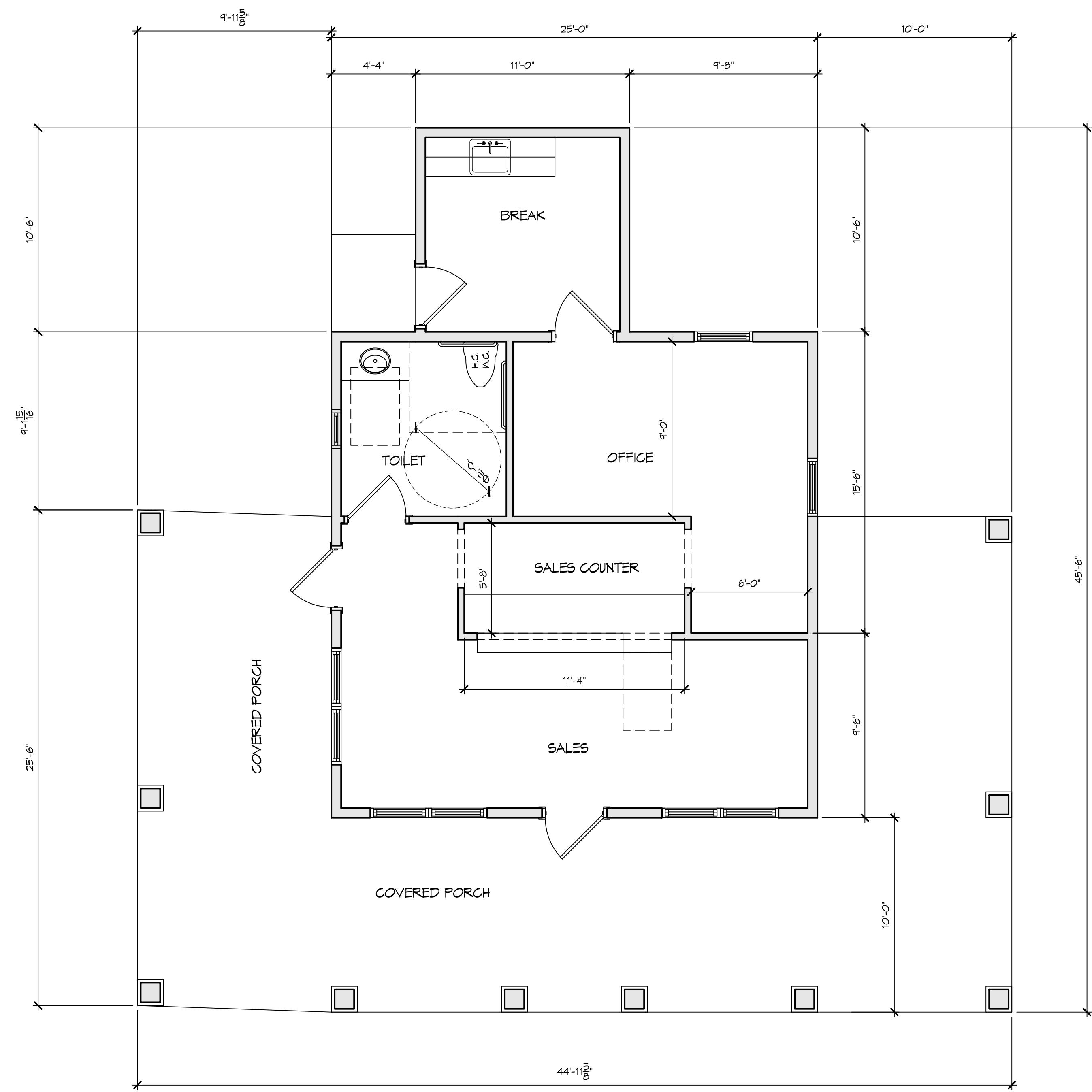
ZC#21-001
"EXHIBIT B"


DEVELOPMENT PLAN

PAGE 1 OF 1



DATE PREPARED: 03/25/2021





203850

LENO'S
PLANT
FARM

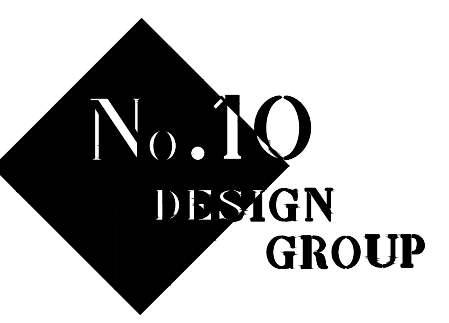
1513 NEWT PATTERSON RD.
LOT ---- BLOCK ----

MANSFIELD, TEXAS
TARRANT

DATE: 2-22-21

SHEET Title:

.
.
.



211 N. WALNUT CREEK DR. MANSFIELD TEXAS 76063
817.471.1324 METRO 817.471.3853 FAX

ARCHITECTS

© COPYRIGHT 2021 NO. 10 DESIGN GROUP

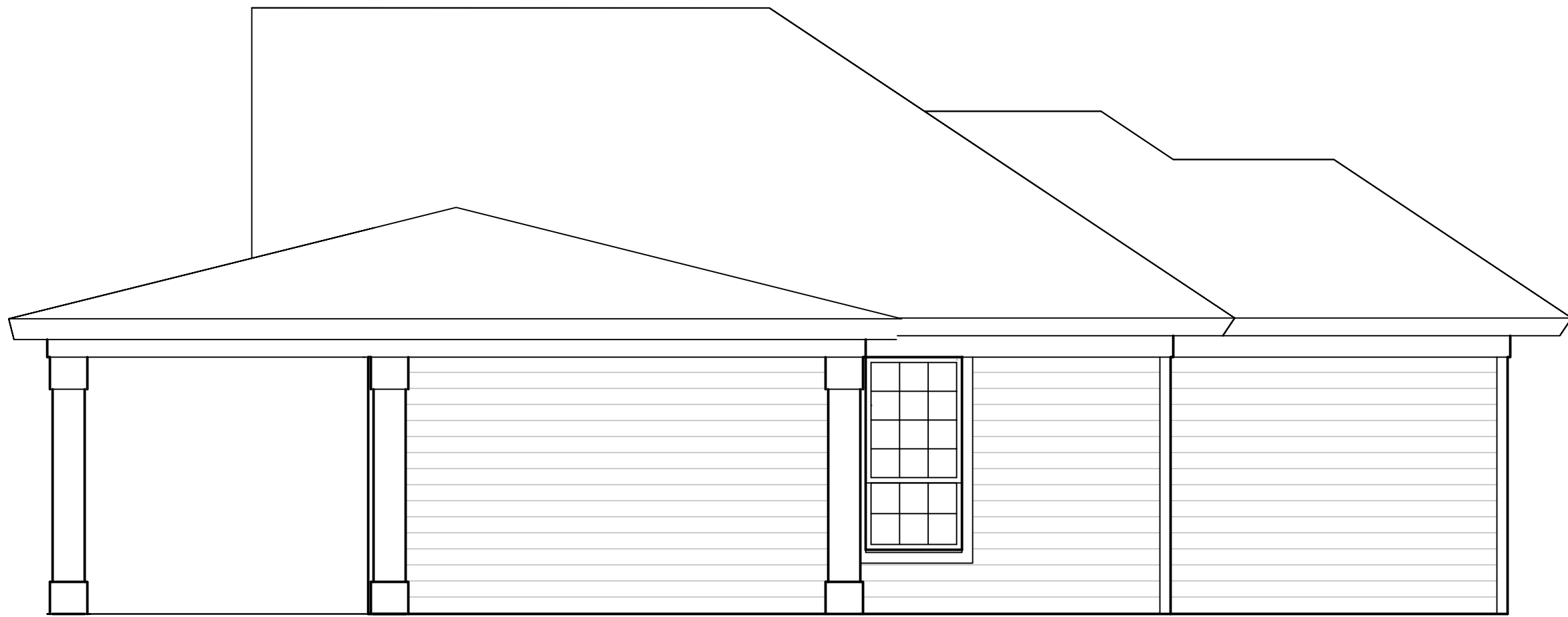
SHEET No.:
A1-1

NOTE: ALL EXTERIOR CLADDING TO BE
"HARDIE" CEMENTIOUS SIDING OR APPROVED EQUAL



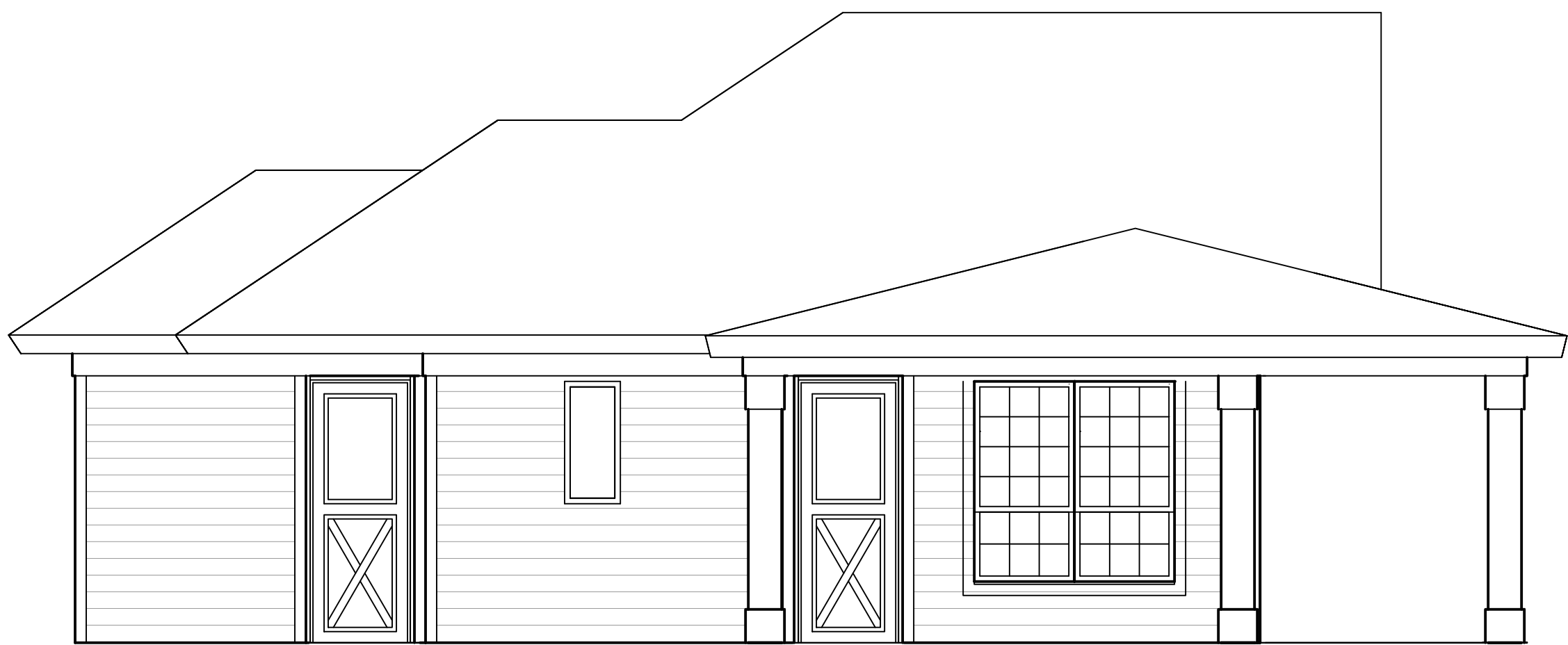
 SOUTH ELEVATION
1/4" = 1'-0"

NOTE: ALL EXTERIOR CLADDING TO BE
"HARDIE" CEMENTIOUS SIDING OR APPROVED EQUAL



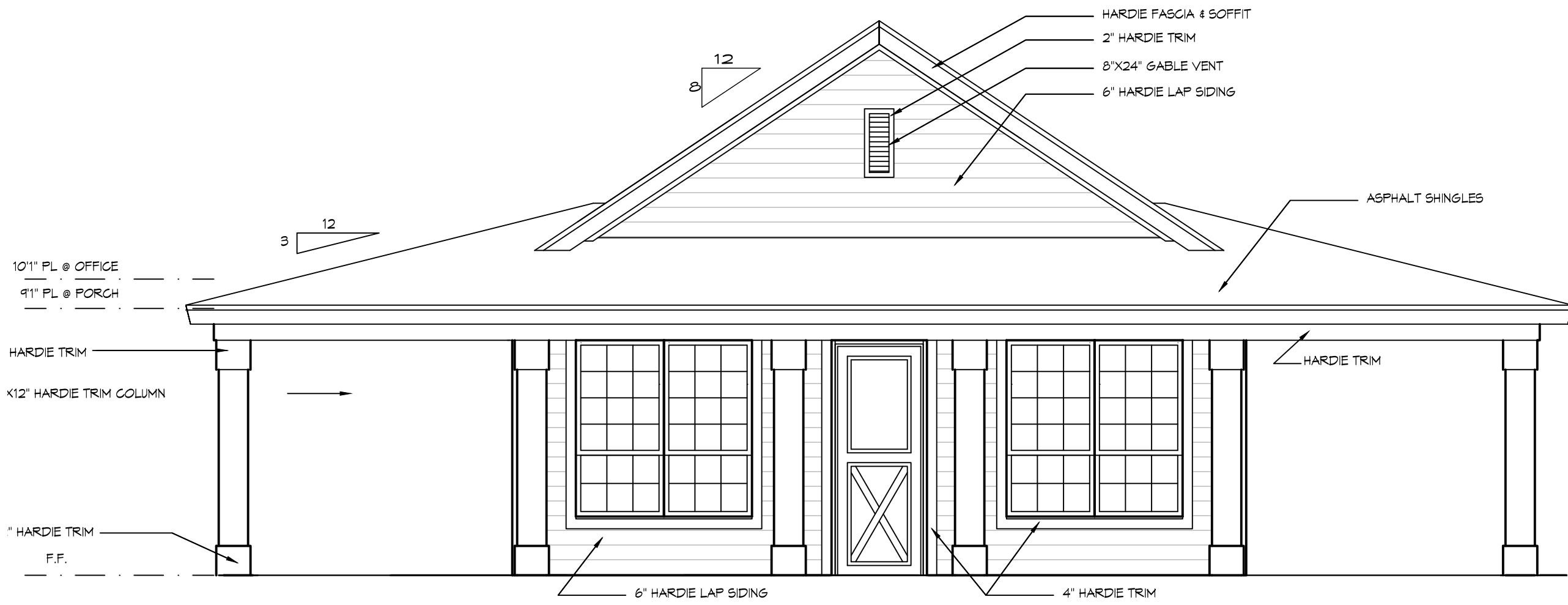
 WEST ELEVATION
1/12" = 1'-0"

NOTE: ALL EXTERIOR CLADDING TO BE
"HARDIE" CEMENTIOUS SIDING OR APPROVED EQUAL



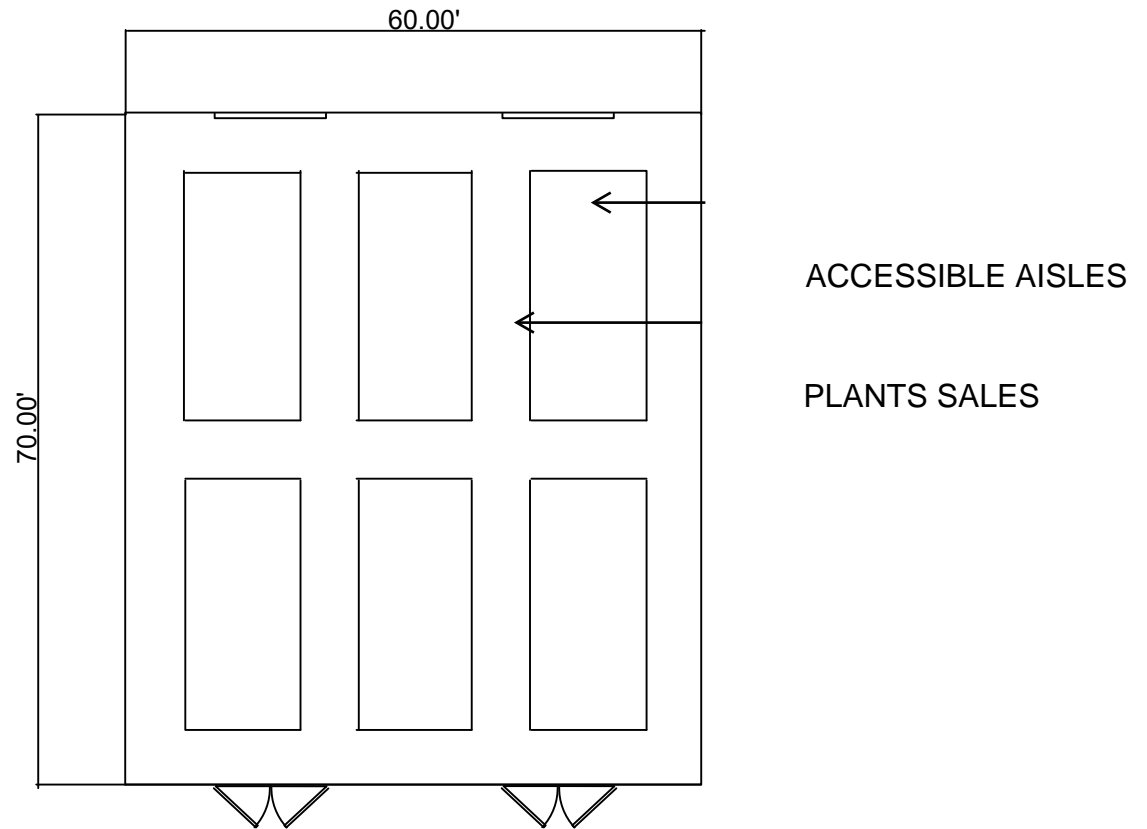
 EAST ELEVATION
1/4" = 1'-0"

NOTE: ALL EXTERIOR CLADDING TO BE
"HARDIE" CEMENTIOUS SIDING OR APPROVED EQUAL

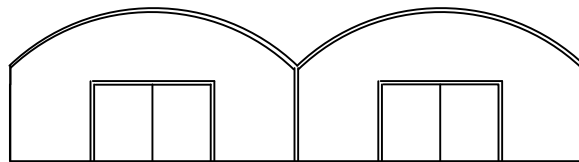


 NORTH ELEVATION
1/4" = 1'-0"

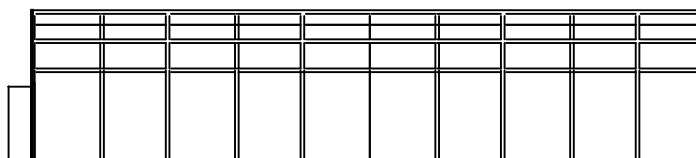
RETAIL GREENHOUSE - CONCEPT



PLAN VIEW



ELEVATION (NORTH)



ELEVATION (WEST)

EXISTING FRONT RESIDENCE
NORTH ELEVATION



EXISTING FRONT RESIDENCE
SOUTH ELEVATION



EXISTING REAR RESIDENCE
EAST ELEVATION



EXISTING RACK STORAGE



EXISTING POTTING AREA (OFFICE IN BACKGROUND)



EXISTING OFFICE ENTRANCE



EXISTING TOOL STORAGE

NORTH ENTRANCE



EXISTING TOOL STORAGE

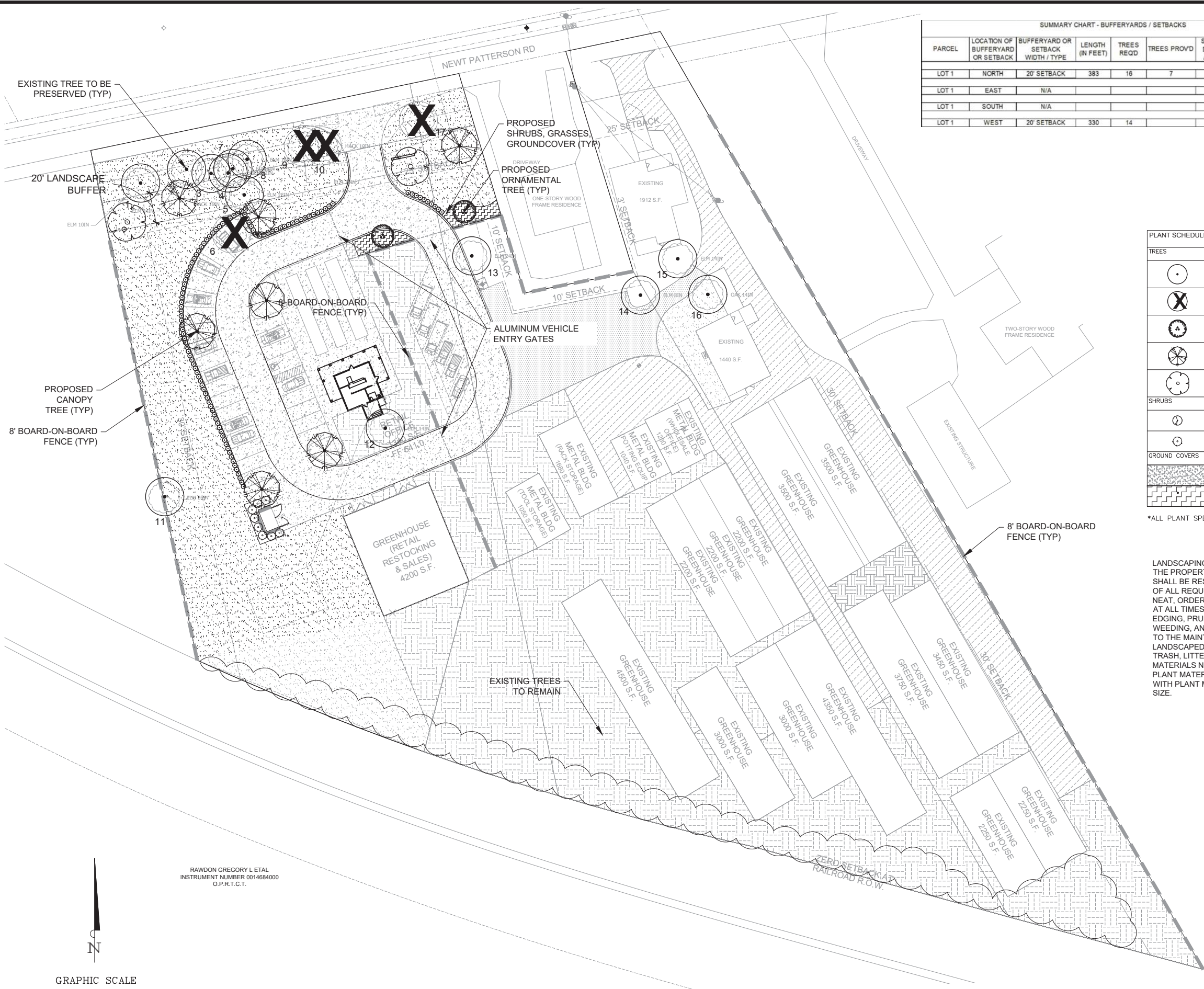
SOUTH ENTRANCE



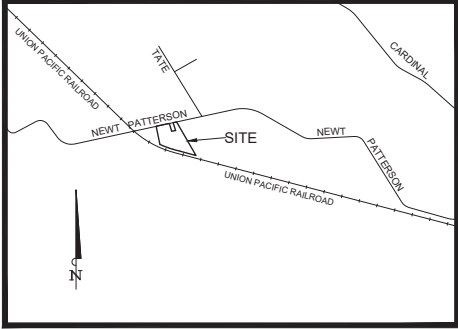
EXISTING GREENHOUSES

PROPOSED RETAIL GREENHOUSE TO BE A SIMILAR PRODUCT





SUMMARY CHART - BUFFERYARDS / SETBACKS						
PARCEL	LOCATION OF BUFFERYARD OR SETBACK	BUFFERYARD OR SETBACK WIDTH / TYPE	LENGTH (IN FEET)	TREES REQD	TREES PROVIDED	SCREEN WALL / DEVICE HEIGHT AND MATERIAL
LOT 1	NORTH	20' SETBACK	383	16	7	
LOT 1	EAST	N/A				
LOT 1	SOUTH	N/A				
LOT 1	WEST	20' SETBACK	330	14		



VICINITY MAP
NOT TO SCALE

PLANT SCHEDULE						
TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	14	EXISTING TREE TO REMAIN	N/A			
	3	EXISTING TREE TO BE REMOVED	N/A			
	2	LAGERSTROEMIA INDICA 'TUSCARORA' / CRAPE MYRTLE	30 GAL	3"	6'-8"	FULL, MATCHING, SYMMETRICAL
	5	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	45 GAL	3"	10'-12"	FULL, MATCHING, SYMMETRICAL
	2	ULMUS CRASSIFOLIA / CEDAR ELM	45 GAL	3"	10'-12"	FULL, MATCHING, SYMMETRICAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	106	ILEX VOMITORIA 'NANA' / DWARF YAUPON	3 GAL	18" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	8	ILEX X 'NELLIE R STEVENS' / NELLIE STEVENS HOLLY	15 GAL	48" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	NOTES			
	PER PLAN	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOD			
	PER PLAN	SHRUBS, GRASSES, GROUND COVERS				

*ALL PLANT SPECIES SHALL BE SELECTED FROM THE CITY OF MANSFIELD RECOMMENDED PLANT LIST

LANDSCAPING MAINTENANCE:
THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

EXISTING TREES			REMAIN	REMOVE
NUMBER	SPECIES	CALIPER		
1	ELM	10"	X	
2	ELM	24"	X	
3	HACKBERRY	16"	X	
4	ELM	22"	X	
5	ELM	28"	X	
6	ELM	26"		X
7	ELM	8"	X	
8	ELM	16"	X	
9	ELM	30"		X
10	HACKBERRY	10"		X
11	ELM	26"	X	
12	ELM	14"	X	
13	ELM	24"	X	
14	ELM	8"	X	
15	ELM	14"	X	
16	OAK	14"	X	
17	HACKBERRY	36"		X

LENO'S PLANT FARM
SITE AREA - 5.15 ACRES

DESIGNER:
Michael A. Wilson, RLA
Bannister Engineering
240 North Mitchell Rd
Mansfield, TX 76063
817.842.2094
mwilson@bannistereng.com

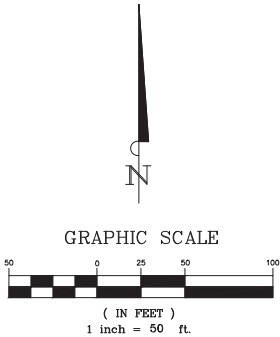
Magdalaeno I. Pacheco
Leno's Plant Farm
1573 Newt Patterson Rd
Mansfield, TX 76063
682.433.1324
carinap1211@gmail.com

ZC#21-001
"EXHIBIT D"
LANDSCAPE PLAN

PAGE 1 OF 3

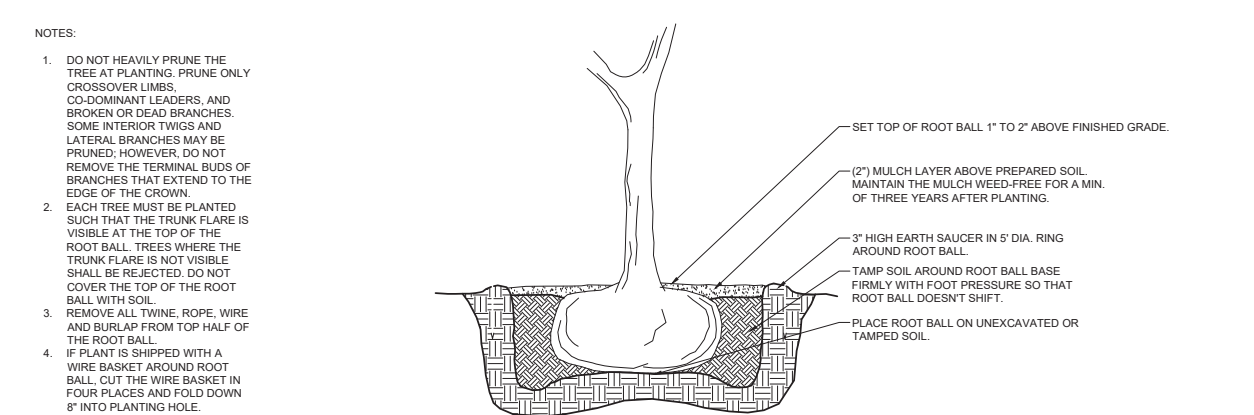


DATE PREPARED: 03/25/2021



RAWDON GREGORY L ETAL
INSTRUMENT NUMBER 0014684000
O.P.R.T.C.T.

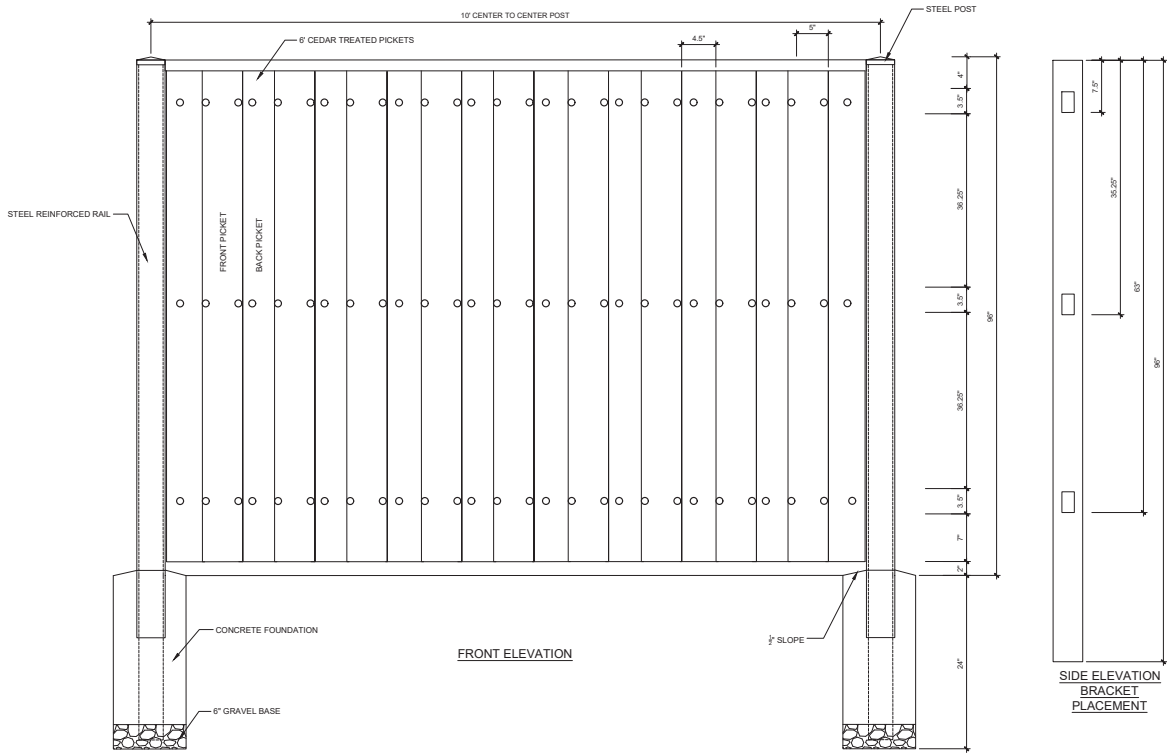
1. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
2. Contractor shall advise the Owner and Landscape Architect of any condition found on site which prohibits installation as shown on these plans.
3. If a discrepancy between drawings and plant schedule is found, the drawings shall take precedent over the plant schedule.
4. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock.'
5. Contractor shall stake out tree locations and bed configuration for approval by Owner prior to installation.
6. Substitutions shall not be made without prior written authorization from the Owner or Landscape Architect.
7. All disturbed areas not indicated as planting beds shall be sodded or seeded by Contractor to provide an established turf area.
8. Contractor shall remove reasonable amount of stones, dead roots, detritus and other undesirable material from existing soil.
9. If rocks are encountered, remove to a depth of 3" and add 3" of friable fertile topsoil to all sodded areas. Contractor to ensure that site is graded according to the Engineer's grading plan.
10. Lawn areas shall have 3" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
11. Soil preparation for planting beds shall be as follows:
 - 3" of organic compost
 - 20 pounds of organic fertilizer / 1,000 sf of bed area
 - Till bed to a depth of 6" to 8"
 - Check soil acidity. Soil acidity should range from 5.0 to 7.0 pH. Regulate if necessary.



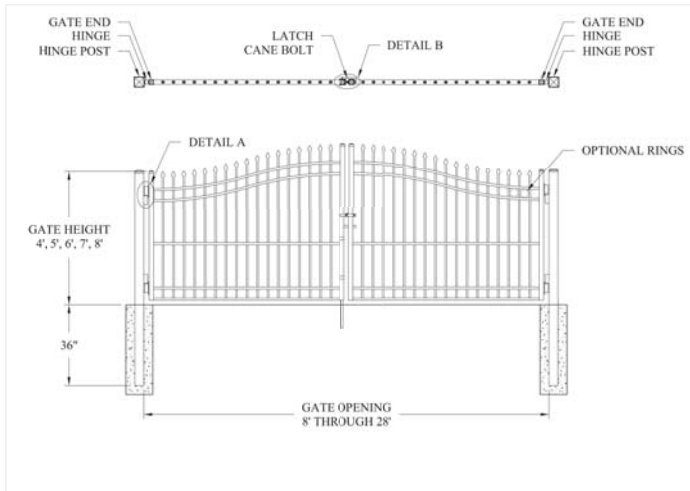
DESIGNER: Michael A. Wilson, RLA Bannister Engineering 240 North Mitchell Rd Mansfield, TX 76063 817.842.2094 mwilson@bannistereng.com	OWNER: Magdalena I. Pacheco Leno's Plant Farm 1573 Newt Patterson Rd Mansfield, TX 76063 682.433.1324 carinap1211@gmail.com
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PAGE 2 OF 3

DATE PREPARED: 03/25/2021



1 8' BOARD ON BOARD FENCE
1" = 1'-0" B-LA-FEN-04



2 ALUMINUM VEHICULAR ENTRY GATE
NTS

LENO'S PLANT FARM
SITE AREA - 5.15 ACRES

DESIGNER:
Michael A. Wilson, RLA
Bannister Engineering
240 North Mitchell Rd
Mansfield, TX 76063
817.842.2094
mwilson@bannistereng.com

OWNER:
Magdalaeno I. Pacheco
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ZC#21-001
"EXHIBIT D"
LANDSCAPE DETAILS
PAGE 3 OF 3



DATE PREPARED: 03/25/2021



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-3991

Agenda Date: 4/26/2021

Version: 1

Status: New Business

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Approval of an Ordinance of the City of Mansfield, Texas Amending Chapter 97 "Alarm Systems" of the Code of Ordinances by Amending Alarm System Fee Schedules, Duties and Authority of the Alarm Administrator; and the Definition of False Alarm Notification

Requested Action

Approval of an ordinance to amend Chapter 97 of the Code of Ordinances

Recommendation

Approval of Ordinance Amendment

Description/History

To allow some latitude for city staff to work with citizens and businesses who are facing hardships due to alarm system malfunctions; Such as fees that have been assessed due to malfunctions and amending the definition of "False Alarm Notification" to prevent the charging of certain fees.

Justification

City staff recommends the City Council amend Chapter 72 of the Code of Ordinances to allow staff more latitude in working with citizens and businesses who experience hardships related to alarm systems malfunctions.

Funding Source

N/A

Prepared By

Kyle Lanier, Asst. Chief, Mansfield Police Department
(817) 804-5713

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS AMENDING CHAPTER 97 “ALARM SYSTEMS” OF THE CITY OF MANSFIELD, TEXAS, CODE OF ORDINANCES BY; AMENDING ALARM SYSTEM FEE SCHEDULES, DUTIES AND AUTHORITY OF THE ALARM ADMINISTRATOR; AND THE DEFINITION OF FALSE ALARM NOTIFICATION; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Mansfield is a home rule city acting under its charter adopted by the electorate to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and,

WHEREAS, the City Council of the City of Mansfield has previously adopted regulations governing ALARM SYSTEMS; and,

WHEREAS, the City Council has determined that the amendments to the Code of Ordinances as set out herein are in the best interest of the health, safety and general welfare of the citizens of Mansfield and the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

Section 97.01 “Definitions” of Chapter 97 “Alarm Systems” of the City of Mansfield, Texas Code of Ordinances shall be amended to read as follows:

FALSE ALARM NOTIFICATION. An alarm notification to the City of Mansfield when a police officer is dispatched to respond to the location by the alarms system company or the responding officer finds, through an inspection of the interior or exterior of the alarm site, no evidence of an attempted or actual unauthorized intrusion, burglary, robbery or hostage taking and the officer has responded to the site within 30 minutes of the city receiving the alarm notification. Duress, Panic and Hold up alarms or alarm calls cancelled prior to an officer’s arrival are not considered false alarms.

SECTION 2.

Section 97.05 "Duties of Alarm Installation Company and Monitoring Company" subsection “10” of section “E” and section “F” of Chapter 97 "Alarm Systems" of the City of Mansfield, Texas Code of Ordinances shall be removed in their entirety:

SECTION 3.

Section 97.06 “Duties and Authority of the Alarm Administrator” of Chapter 97 “Alarm Systems” of the City of Mansfield, Texas Code of Ordinances shall be amended and section “H” will be added to read as follows:

(H) Upon receipt of evidence showing the alarm user has taken steps to restore the alarm system to a proper working condition and has worked to prevent further false alarms, the Alarm Administrator may waive or reduce fees imposed against the alarm permit holder.

SECTION 4.

Section 97.07 “Fines” of Chapter 97 “Alarm Systems” of the City of Mansfield, Texas Code of Ordinances shall be amended and subsection “E” will be removed and subsections “F” and “G” will be renumbered.

SECTION 5.

Section 97.09 “Appeals” of Chapter 97 “Alarm Systems” of the City of Mansfield, Texas Code of Ordinances section “E” subsection “3” shall be amended to read as follows:

(3) Evidence that a false alarm was caused by a power outage;

SECTION 6.

Section 97.11 “Confidentiality” of Chapter 97 “Alarm Systems” of the City of Mansfield, Texas Code of Ordinances shall be amended read as follows:

In the interest of public safety, all information contained in and gathered through the alarm permit applications and applications for appeals shall be held in confidence by all employees or representatives of the city and by any third-party administrator or employees of a third-party administrator with access to such information with the exception of information that must be disclosed under the Freedom of Information Act, the Texas Public Information Act, as required by applicable law.

SECTION 7.

Section 97.99 “Penalty” “Appendix A: Fine and Fee Table” of Chapter 97 “Alarm Systems” of the City of Mansfield, Texas Code of Ordinances shall be amended read as follows:

<i>FEE TYPE</i>	<i>CODE SECTION</i>	<i>FEE PURPOSE</i>	<i>FEE AMOUNT</i>
Permit	<u>97.02</u>	Residential site permit (initial issuance) (Persons 65 years of age or older are exempt from this permit fee)	\$50.00
Permit	<u>97.02</u>	Residential site permit (renewal) (Persons 65 years of age or older are exempt from this permit fee)	\$25.00 (annually)
Permit	<u>97.02</u>	Commercial/church site permit (issuance/renewal)	\$100.00 (annually)
Permit	<u>97.02</u>	Financial institution site permit (issuance/renewal)	\$200.00 (annually)
Permit	<u>97.02</u>	Government/education site permit	No fee
Late fee	<u>97.03</u>	Permit received 30-days past expiration	\$10.00
Service	<u>97.07</u>	Alarm system company providing incorrect information	\$25.00
No permit fee	<u>97.07</u>	Operating a non-permitted alarm system (may be waived by obtaining permit)	\$100.00 (per incident)
Fine-Suspension	<u>97.07</u>	Operating an alarm system during alarm permit suspension	\$200.00
Administrative	<u>97.06</u>	Mandatory performance review (failure to attend)	\$25.00
Appeal	<u>97.09</u>	Appeal processing fee	\$25.00
Administrative	<u>97.10</u>	Reinstatement of suspended permit	\$25.00
Fine-False Alarm Fee	<u>97.07</u>	4th and 5th 6th and any subsequent false alarm within the preceding 12-month period	\$50.00
Fine	<u>97.07</u>	6th and 7th false alarm within the preceding 12-month period	\$75.00
Fine	<u>97.07</u>	8th and any additional false alarms within the preceding 12-month period	\$100.00
Fine	<u>97.07</u>	Monitoring company failure to verify	\$100.00
Fine	<u>97.07</u>	False statement by alarm company employee	\$200.00
Fine	<u>97.05</u>	Failure to comply or violation of § <u>97.05</u>	\$200.00 (per incident)

SECTION 8.

That all Ordinances of the City in conflict with the provisions of this Ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provision of this Ordinance shall remain in full force and effect.

SECTION 9.

Should any paragraph, sentence, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this Ordinance as a whole or any part of provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Mansfield Code of Ordinances as a whole.

SECTION 10.

Any person, firm or corporation who violates, disobeys, omits, neglects, or refuses to comply with or who resists the enforcement of any of the provisions of this Ordinance shall be fined no more than Two Thousand Dollars (\$2,000.00) for all violations involving zoning, fire safety or public health and sanitation, and shall be fined not more than Five Hundred Dollars (\$500.00) for all other violations of this Ordinance. Each day that a violation is permitted to exist shall constitute a separate offense.

SECTION 11.

All rights and remedies of the City of Mansfield are expressly saved as to any and all violations of the provisions of the Code of Ordinance of the City of Mansfield, as amended, or any other ordinances affecting animals or animal control which have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 12.

The City Secretary of the City of Mansfield is hereby directed to publish this ordinance as required by law.

SECTION 13.

This ordinance shall be in full force and effect from and after its passage and publication as required by law, and it is so ordained.

**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF
MANSFIELD, TEXAS, THIS 26TH DAY OF APRIL, 2021.**

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Allen Taylor, City Attorney

Section

- [97.01](#) Definitions
- [97.02](#) Permit required; application; fee; transferability; false statements
- [97.03](#) Alarm permit duration and renewal
- [97.04](#) Duties of the alarm user
- [97.05](#) Duties of alarm installation company and monitoring company
- [97.06](#) Duties and authority of the alarm administrator
- [97.07](#) Fines
- [97.08](#) Suspension
- [97.09](#) Appeals
- [97.10](#) Reinstatement
- [97.11](#) Confidentiality
- [97.12](#) Governmental immunity

[97.99](#) Penalty

[Appendix A:](#) Fine and fee table

§ 97.01 DEFINITIONS.

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

ACT OF GOD. Events outside of human control, such as sudden floods, tornados or other natural disasters, for which no one can be held responsible.

ALARM ADMINISTRATOR. A person or persons designated by the Chief to administer, control and review false alarm reduction efforts and administer the provisions of this chapter.

ALARM DISPATCH REQUEST. A notification to the city that an alarm has been activated at a particular alarm site and that city emergency service is requested.

ALARM INSTALLATION COMPANY. A person in the business of selling, providing, maintaining, servicing, repairing, altering, replacing, moving or installing an alarm system in an alarm site.

ALARM PERMIT. Authorization granted by the alarm administrator to an alarm user to operate an alarm system.

ALARM PERMIT APPLICATION. The written application for and alarm permit filed by an alarm user with the alarm administrator.

ALARM SITE. A single fixed premises or location served by an alarm system or systems. Each unit, if served by a separate alarm system in a multi-unit building or complex, shall be considered a separate alarm site, and is further defined by the following categories:

(1) **RESIDENTIAL SITE.** A single-family residence and each residential unit of multi-unit building or complex which is served by an alarm system.

(2) **COMMERCIAL SITE.** Every premises or location where any business activity is regularly conducted and which is served by an alarm system. Each unit of a business premises or business location, if served by a separate alarm system in a multi-unit building or complex, shall be considered a separate commercial alarm system site.

(3) **FINANCIAL SITE.** Every premises or location of a financial institution which is required to have an alarm system pursuant to the Bank Protection Act of 1968 (12 U.S.C. § 1882).

(4) **EDUCATIONAL/GOVERNMENT SITE.** Every premises or location of a public or private school or school administrative office and every premises or location of any federal, state, county or municipal governmental office.

(5) **CHURCH SITE.** A building for public worship or religious services. Each unit of a church premises or church location, if served by a separate alarm system in a multi-unit building or complex, shall be considered a separate church alarm system site.

ALARM SYSTEM. A device or series of devices, including, but not limited to, hardwired systems and systems interconnected with a radio frequency method such as cellular or private radio signals, which emit or transmit a remote or local audible, visual or electronic signal indicating an alarm condition and intended to summon a city emergency service response, including local alarm systems. **ALARM SYSTEM** does not include an alarm installed in a vehicle or on someone's person unless the vehicle or the personal alarm is permanently located at a site.

ALARM USER. Any person who (which) owns or operates an alarm system at an alarm site.

ARMING STATION. A device that allows control of an alarm system.

AUTOMATIC VOICE DIALER. Any electrical, electronic, mechanical, or other device capable of being programmed to send a prerecorded voice message, when activated, over a telephone line, radio or other communication system, to a city emergency service requesting dispatch.

CANCELLATION. The process where response is terminated when a monitoring company (designated by the alarm user) for the alarm site notifies the responding city emergency service that there is not an existing situation at the alarm site requiring a response after an alarm dispatch request.

CHIEF. The Chief of Police of the City of Mansfield or authorized representative.

CITY. The City of Mansfield, Texas.

CITY EMERGENCY SERVICE. Any emergency service provided by the city, including police, fire, and emergency medical services.

CITY MANAGER. The City Manager of the City of Mansfield, Texas, or the City Manager's designee.

DISABLED VETERAN EXEMPTION. You qualify for a disabled veteran alarm permit/renewal fee exemption if you are a veteran who was designated as 100% disabled while serving with the United States Armed Forces. The veteran must provide official documents to the alarm administrator or designee from either the Veteran's Administration or the branch of the armed forces that clearly reflects the 100% disability rating at the time of the application to be eligible for this exemption.

DURESS ALARM. A silent alarm system signal generated by the entry of a designated code into an arming station in order to signal that the alarm user is being forced to turn off the system and requires law enforcement response.

FALSE ALARM NOTIFICATION. An alarm notification to the City of Mansfield when a police officer is dispatched to respond to the location ~~and is cancelled enroute~~ by the alarms system company or the responding officer finds, through an inspection of the interior or exterior of the alarm site, no evidence of an attempted or actual unauthorized intrusion, burglary, robbery or hostage taking and the officer has responded to the site within 30 minutes of the city receiving the alarm notification. **Duress, Panic and Hold up alarms or alarm calls cancelled prior to an officer's arrival are not considered false alarms.**

HOLDUP ALARM. A silent alarm signal generated by the manual activation of a device intended to signal a robbery in progress.

LOCAL ALARM SYSTEM. Any alarm system, which is not monitored, that emits an audible alarm only at the alarm site.

MONITORING. The process by which a monitoring company receives signals from an alarm system and relays an alarm dispatch request to the municipality for the purpose of summoning city emergency services to the alarm site.

MONITORING COMPANY. A person in the business of providing monitoring services.

PANIC ALARM. An audible alarm system signal generated by the manual activation of a device intended to signal a life threatening or emergency situation requiring emergency response.

PERSON. An individual, corporation, partnership, association, organization or similar entity.

RESPONDER. An individual capable of reaching the alarm site within 30 minutes and having access to the alarm site, the code to the alarm system and the authority to approve repairs to the alarm system.

SIA CONTROL PANEL STANDARD CP-01. The ANSI - American National Standard Institute approved Security Industry Association - SIA CP-01 Control Panel Standard, as may be updated from time to time, that details recommended design features for security system control panels and their associated arming and disarming devices to reduce the incidence of false alarms. Control panels built and tested to this standard by Underwriters Laboratory (UL), or other nationally recognized testing organizations, will be marked to state: "Design evaluated in accordance with SIA CP-01 Control Panel Standard Features for False Alarm Reduction".

TRANSFER. The transaction or process by which an alarm user takes over control of an existing alarm system, which was previously controlled by another alarm user.

VERIFY. An attempt by the monitoring company, or its representative, to contact the alarm site and/or alarm user by telephone and/or other electronic means, whether or not actual contact with a person is made, to determine whether an alarm signal is valid before requesting city emergency service dispatch, in an attempt to avoid an unnecessary alarm dispatch request. For the purpose of this chapter, telephone verification shall require, as a minimum that a second call be made to a different number if the first attempt fails to reach an alarm user who can properly identify themselves to determine whether an alarm signal is valid before requesting an emergency response.

ZONES. Division of devices into which an alarm system is divided to indicate the general location from which an alarm system signal is transmitted.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10)

§ 97.02 PERMIT REQUIRED; APPLICATION; FEE; TRANSFERABILITY; FALSE STATEMENTS.

(A) No alarm user shall operate, or cause to be operated, an alarm system at its alarm site without a valid alarm permit. A separate alarm permit is required for each alarm site.

(B) The fee for an alarm permit or an alarm permit renewal is set forth below and shall be paid by the alarm user. No refund of a permit or permit renewal fee will be made. The initial alarm permit fee must be submitted to the alarm administrator within five days after the alarm system installation or an alarm system transfer.

(1) Permit fees: (see [Appendix A](#): Fine and Fee Table).

(2) Renewal fees: (see [Appendix A](#): Fine and Fee Table).

(C) Upon receipt of a completed alarm permit application form and the alarm permit fee, the alarm administrator shall register the applicant unless the applicant has:

(1) Failed to pay a fine assessed under § [97.07](#); or

(2) Had an alarm permit for the alarm site suspended and the violation causing the suspension has not been corrected.

(D) Each alarm permit application must include the following information:

(1) The name, complete address (including apt/suite number), and telephone numbers of the person who will be the permit holder and be responsible for the proper maintenance and operation of the alarm system and payment of fees assessed under this chapter.

(2) The classification of the alarm site as either residential (includes apartment, condo, mobile home, etc.) commercial, financial, church or educational/government.

(3) For each alarm system located at the alarm site, the classification of the alarm system (i.e. burglary, holdup, fire, emergency medical, duress, panic alarms or other) and for each classification whether such alarm is audible or silent.

(4) Mailing address, if different from the address of the alarm site.

(5) Any dangerous or special conditions present at the alarm site.

(6) Names and telephone numbers of at least two individuals who are able and have agreed to:

(a) Receive notification of an alarm system activation at any time;

(b) Respond to the alarm site within 30 minutes at any time; and

(c) Upon request can grant access to the alarm site and deactivate the alarm system if necessary.

(7) Type of business conducted at a commercial alarm site.

(8) Signed certification from the alarm user stating the following:

(a) The date of installation or transfer of the alarm system, whichever is applicable.

(b) The name, address, and telephone number of the alarm installation company or companies performing the alarm system installation or transfer and of the alarm installation company responsible for providing repair service to the alarm system.

(c) The name, address, and telephone number of the monitoring company if different from the alarm installation company.

(d) That a set of written operating instructions for the alarm system, including written guidelines on how to avoid false alarms, have been left with the applicant by the alarm installation company.

(e) An acknowledgment that the alarm installation company has trained the applicant in proper use of the alarm system, including instructions on how to avoid false alarms.

(f) An acknowledgment that the alarm user understands and agrees that a city emergency service response may be influenced by factors including, but not limited to the availability of city emergency service units, priority of calls, weather conditions, traffic conditions, emergency conditions, staffing levels, etc.

(g) Any false statement of a material fact made by an applicant for the purpose of obtaining an alarm permit shall be sufficient cause for refusal to issue a permit or for suspension of an existing permit.

(h) An alarm permit cannot be transferred to another person or alarm site. An alarm user shall inform the alarm administrator of any change that alters any of the information listed on the alarm permit application within five business days of such change.

(i) All fines and fees owed by an applicant must be paid before an alarm permit may be issued or renewed.

(j) The alarm administrator will issue the following when issuing an alarm permit:

1. An alarm permit issued by the department. The alarm permit will contain the alarm permit number, date of issuance and the date of expiration.

2. A window decal containing the alarm permits number, alarm permit date of issuance and the date of expiration. The decal can be placed at a location chosen by the alarm user and serve as a reminder of the alarm permit's expiration date.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10) Penalty, see § [97.99](#)

§ 97.03 ALARM PERMIT DURATION AND RENEWAL.

(A) An alarm permit shall expire 12 months from the date of issuance, and must be renewed annually by submitting an updated application and a permit renewal fee to the alarm administrator.

(B) The alarm administrator will send written notification to a current permit holder 30 days prior to the expiration of their current alarm permit.

(C) It is the responsibility of the alarm user to submit an application prior to the permit expiration date. Failure to renew will be classified as use of a non-permitted alarm system and fines shall be assessed. A \$10 late fee may be assessed if the renewal is more than 30 days late.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10)

§ 97.04 DUTIES OF THE ALARM USER.

(A) An alarm user shall:

(1) Maintain the alarm site and the alarm system in a manner that will minimize or eliminate false alarms;

(2) Make every reasonable effort to have a responder arrive at the alarm system's location within 30 minutes when requested by a city emergency service in order to:

- (a) Deactivate an alarm system;
- (b) Provide access to the alarm site; and/or
- (c) Provide alternative security for the alarm site.

(3) Not activate an alarm system for any reason other than an occurrence of an event that the alarm system was intended to report.

(B) An alarm user shall adjust the mechanism or cause the mechanism to be adjusted so that an alarm signal audible on the exterior of an alarm site will sound for no longer than ten minutes after being activated.

(C) An alarm user shall not use automatic voice dialers.

(D) An alarm user shall maintain at each alarm site, a set of written operating instructions for each alarm system.

(E) All alarm users shall review with their alarm installation company and/or monitoring company the alarm user false alarm prevention checklist or an equivalent checklist approved by the alarm administrator and acknowledge their understanding of false alarm prevention procedures by signing and dating same. A fully executed copy of the customer false alarm prevention checklist shall be filed with the original application for an alarm permit.

(F) It is the responsibility of the alarm permit holder to notify both the alarm monitoring company and the alarm administrator in the event they discontinue service or no longer occupy the permitted alarm site.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10) Penalty, see § [97.99](#)

§ 97.05 DUTIES OF ALARM INSTALLATION COMPANY AND MONITORING COMPANY.

(A) The alarm installation company shall provide written and oral instructions to each of its alarm users in the proper use and operation of their alarm systems. Such instructions will specifically include all instructions necessary to turn the alarm system on and off and to avoid false alarms.

(B) Upon the effective date of this chapter, alarm installation companies shall not install a device to activate a holdup alarm which is a single action, non-recessed button.

(C) Ninety days after enactment of this chapter, the alarm installation companies shall, on new installations, use only alarm control panel(s) which meet SIA Control Panel Standard CP-01.

(D) An alarm company shall not use automatic voice dialers.

(E) A monitoring company shall:

(1) Report alarm signals by using telephone numbers designated by the alarm administrator;

(2) Verify every alarm signal, except a duress or holdup alarm activation before requesting a city emergency service response to an alarm system signal;

(3) Communicate alarm dispatch requests to the city in a manner and form determined by the alarm administrator;

(4) Communicate cancellations to the city in a manner and form determined by the alarm administrator;

(5) Ensure that all alarm users of alarm systems equipped with a duress, holdup or panic alarm are given adequate training as to the proper use of the duress, holdup or panic alarm;

(6) Communicate any available information (north, south, front, back, floor, etc.) about the location on all alarm signals related to the alarm dispatch request;

(7) Communicate type of alarm activation (silent or audible, interior or perimeter);

(8) Provide the address of the alarm site;

(9) After an alarm dispatch request, promptly advise the responding city emergency service if the monitoring company knows that the alarm user or the responder has or has not been contacted.

~~—(10) Upon the effective date of this chapter, monitoring companies must maintain for a period of at least one year from the date of the alarm dispatch request, records relating to alarm dispatch requests. Records must include the name, address and telephone number of the alarm user, the alarm system zone(s) activated, the time of alarm dispatch request and evidence of an attempt to verify. The alarm administrator may request copies of such records for individually named alarm users. If the request is made within 60 days of an alarm dispatch request, the monitoring company shall furnish requested records within ten business days of receiving the request. If the records are requested between 60 days to one year after an alarm dispatch request, the monitoring company shall furnish the requested records within 30 days of receiving the request.~~

~~—(F) An alarm installation company and/or monitoring company that purchases alarm system accounts from another person shall notify the alarm administrator of such purchase and provide details as may be reasonably requested by the alarm administrator.~~

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10) Penalty, see § [97.99](#)

§ 97.06 DUTIES AND AUTHORITY OF THE ALARM ADMINISTRATOR.

(A) The alarm administrator shall:

(1) Designate a manner, form and telephone numbers for the communication of alarm dispatch requests; and

(2) Establish a procedure to accept cancellation of alarm dispatch requests.

(B) The alarm administrator shall establish a procedure to record such information on alarm dispatch requests necessary to permit the alarm administrator to maintain records, including, but not limited to, the information listed below:

(1) Identification of the permit number for the alarm site.

(2) Identification of the alarm site.

(3) Date and time alarm dispatch request was received.

(4) Date and time of the city emergency service arrival at the alarm site.

(C) The alarm administrator shall establish a procedure for the notification to the alarm user of a fineable false alarm.

(D) The alarm administrator may require a conference with an alarm user and the alarm installation company and/or monitoring company responsible for the repair or monitoring of the alarm system to review the circumstances of each false alarm.

(E) The alarm administrator may create and implement an alarm user awareness class. The alarm administrator may request the assistance of associations, alarm companies and law enforcement agencies in developing and implementing the class. The class shall inform alarm users of the problems created by false alarms and teach alarm users how to avoid generating false alarms.

(F) The alarm administrator may require an alarm user to remove a holdup alarm that is a single action, non-recessed button, if a false holdup alarm has occurred.

(G) If there is reason to believe that an alarm system is not being used or maintained in a manner that ensures proper operation and reduction of false alarm notifications, the alarm administrator may require a conference with an alarm permit holder. If the alarm permit holder fails to attend a conference, after receiving notice, an administrative fee (see Appendix A: Fine and Fee Table) may be imposed against the alarm permit holder.

(H) Upon receipt of evidence showing the alarm user has taken steps to restore the alarm system to a proper working condition and has worked to prevent further false alarms, the Alarm Administrator may waive or reduce fees imposed against the alarm permit holder.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10)

§ 97.07 FINES.

(A) An alarm user shall be subject to fines, depending on the number of false alarms in the preceding 12-month period based upon the fee schedule (see [Appendix A: Fine and Fee Table](#)).

(B) In addition, any person operating a non-permitted alarm system will be subject to a fine (see [Appendix A: Fine and Fee Table](#)) for each false alarm in addition to any other fines. The alarm administrator may waive this additional fine for a non-permitted system if the alarm user submits an application for alarm permit within ten days after notification of such violation.

(C) The alarm installation company shall be subject to a fine (see [Appendix A: Fine and Fee Table](#)) if the responding city emergency service determines that an on-site employee of the alarm installation company directly caused the false alarm. In this situation, the false alarm will not be counted against the alarm user.

(D) The monitoring company shall be subject to a fine (see [Appendix A: Fine and Fee Table](#)) for each failure to verify alarm system signals as specified in § 97.05(E)(2).

~~—(E) The alarm installation company shall be subject to a fine (see [Appendix A: Fine and Fee Table](#)) if the alarm administrator determines that an alarm installation company employee knowingly made a false statement concerning the inspection of an alarm site or the performance of an alarm system.~~

(E) ~~-(F)~~ An alarm user shall be subject to a fine for operating an alarm system during the time the alarm permit is under suspension (see [Appendix A: Fine and Fee Table](#)).

(F) ~~-(G)~~ Notice of the right of appeal under this chapter will be included with any fines.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10)

§ 97.08 SUSPENSION.

(A) The alarm administrator may suspend any alarm permit upon the occurrence of any of the following conditions:

(1) If the alarm user provides any false information in, or in connection with, an alarm permit application;

(2) If an alarm site has more than 12 false alarms in any 12-month period; or

(3) If any fines assessed by the alarm administrator become 180 days or more past due.

(B) An alarm user may appeal the suspension of an alarm permit in accordance with the provision for appeals set forth in this chapter.

(C) The alarm administrator will notify the alarm user in writing ten business days prior to the effective date an alarm permit has been suspended and the reason for the

suspension. The notice of suspension may also include the amount of the fine for each false alarm, if applicable.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10)

§ 97.09 APPEALS.

(A) If the alarm administrator assesses a fine or denies the issuance, renewal or reinstatement of an alarm permit, the alarm administrator shall send written notice of the action and a statement of the right to an appeal to either the affected applicant or alarm user and the alarm installation company and/or monitoring company.

(B) The alarm user, alarm installation company or monitoring company may appeal an assessment of a fine or the suspension of an alarm permit to the alarm administrator by setting forth in writing the reasons for the appeal within ten business days after receipt of the fine or notice of suspension and by submitting a certified check in the amount of \$25 payable to the city to cover the cost of processing the appeal. The payment for the cost of the appeal will not be refunded.

(C) The alarm user, alarm installation company or monitoring company may appeal the decision of the alarm administrator by requesting, within ten business days from the date of the decision, that the alarm administrator forward the appeal to the City Manager. The alarm administrator will, within five business days of such a request, provide the City Manager with notice of the appeal. The City Manager shall, within a period of 30 days from receipt of the notice of appeal from the alarm administrator, hear the appeal and the facts as presented by the appellant and the alarm administrator, affording both parties a reasonable and equal amount of time for the presentation of facts, evidence, and the questioning and cross-examination of witnesses. Within ten business days of the hearing, the City Manager shall render a final, written decision affirming or reversing the decision of the alarm administrator. Such written decision shall be filed with the City Secretary.

(D) Filing of a notice of appeal shall stay the action by the alarm administrator suspending an alarm permit or requiring payment of a fine, until the City Manager has rendered a decision. If a request for an appeal to the City Manager is not made within the required ten business day period, the action of the alarm administrator is final.

(E) The alarm administrator may adjust the count of false alarms based on:

- (1) Evidence that a false alarm was caused by an Act of God;
- (2) Evidence that a false alarm was caused by action of the telephone company;
- (3) Evidence that a false alarm was caused by a power outage; ~~lasting longer than four hours;~~
- (4) Evidence that the alarm dispatch request was not a false alarm; and/or
- (5) Evidence that a city emergency service response was not completed in a timely fashion.

(F) With respect to fines of an alarm installation company or monitoring company the alarm administrator may take into consideration whether the alarm company or monitoring company has engaged in a consistent pattern of violations.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10)

§ 97.10 REINSTATEMENT.

(A) A person whose alarm permit has been suspended may, at the discretion of the alarm administrator, have the alarm permit reinstated by the alarm administrator if the person:

(1) Submits a new application and pays a reinstatement fee (see [Appendix A: Fine and Fee Table](#));

(2) Pays, or otherwise resolves, all outstanding citations and fines; and

(3) Submits a certification from an alarm installation company, stating that the alarm system has been inspected and repaired (if necessary) by the alarm installation company.

(B) In addition, the alarm administrator may require one or more of the following as a condition to reinstatement:

(1) Proof that an employee of the alarm installation company or monitoring company caused the false alarm;

(2) A certificate showing that the alarm user has successfully completed the alarm user awareness class as provided under § [97.06](#);

(3) Upgrade the alarm control panel to meet SIA Control Panel Standard CP-01;

(4) A written statement from an independent inspector that the alarm system has been inspected and is in good working order;

(5) Confirmation that all motion detectors are "dual technology" type;

(6) Confirmation that the alarm system requires two independent zones to trigger before transmitting an alarm signal to the monitoring company;

(7) Confirmation that the alarm system requires two independent detectors to trigger before transmitting an alarm signal to the monitoring company;

(8) Certification that the monitoring company will not make an alarm dispatch request unless the need for a city emergency service is confirmed by a listen-in device;

(9) Certification that the monitoring company will not request an alarm dispatch unless the need for a city emergency service response is confirmed by a camera device; or

(10) Certification that the monitoring company will not make an alarm dispatch request unless the need for a city emergency service response is confirmed by a person at the alarm site.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10)

§ 97.11 CONFIDENTIALITY.

In the interest of public safety, all information contained in and gathered through the alarm permit applications and applications for appeals shall be held in confidence by all employees or representatives of the city and by any third-party administrator or employees of a third-party administrator with access to such information **with the exception of records that are subject to the Freedom of Information Act.**

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10)

§ 97.12 GOVERNMENTAL IMMUNITY.

An alarm permit is not intended to, nor will it, create a contract, duty or obligation, either expressed or implied, for a city emergency response. Any and all liability and consequential damage resulting from the city's failure or inability to respond to a notification is hereby disclaimed and governmental immunity as provided by law is retained. By applying for an alarm permit, the alarm user acknowledges that a city emergency response may be influenced by factors such as: The availability of city emergency service units, priority of calls, weather conditions, traffic conditions, emergency conditions, staffing levels and prior response history.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10)

§ 97.99 PENALTY.

(A) Penalty/Violations.

(1) *General.* A person commits an offense if he violates by commission or omission any provision of this chapter that imposes upon him a duty or responsibility, regardless of the presence or absence of a culpable mental state.

(2) *Alarm user.* A person who is required to have a permit under this chapter commits an offense if he/she knowingly operates, causes or permits to be operated an alarm system without a current alarm permit issued by the Chief.

(3) *Revoked permit.* A person who is required to have a permit under this chapter commits an offense if he knowingly operates, causes or permits to be operated an alarm system during the period in which the alarm permit is suspended.

(4) *Alarm systems company.* It is unlawful for an alarm systems company or any owner, operator, manager, agent or employee thereof to allow or permit a violation of any of the duties imposed by § [97.05](#) to occur.

(5) *Penalty.* A person who violates a provision of this chapter is guilty of a separate offense for each violation committed, continued or permitted, and each offense is punishable by a fine of not more than \$500.

(B) *Corporations, Partnerships and Associations.* In addition to prohibiting or requiring certain conduct of individuals, it is the intent of this chapter to hold a corporation, partnership or other association criminally responsible for acts or omissions performed by an agent acting in behalf of the corporation, partnership or other association, and within the scope of his employment.

(Ord. OR-1775-10, passed 8-9-10; Am. Ord. OR-1790-10, passed 11-8-10)

APPENDIX A: FINE AND FEE TABLE

<i>FEE TYPE</i>	<i>CODE SECTION</i>	<i>FEE PURPOSE</i>	<i>FEE AMOUNT</i>
Permit	97.02	Residential site permit (initial issuance) (Persons 65 years of age or older are exempt from this permit fee)	\$50.00
Permit	97.02	Residential site permit (renewal) (Persons 65 years of age or older are exempt from this permit fee)	\$25.00 (annually)
Permit	97.02	Commercial/church site permit (issuance/renewal)	\$100.00 (annually)
Permit	97.02	Financial institution site permit (issuance/renewal)	\$200.00 (annually)
Permit	97.02	Government/education site permit	No fee
Late fee	97.03	Permit received 30-days past expiration	\$10.00
Service	97.07	Alarm system company providing incorrect information	\$25.00
No permit fee	97.07	Operating a non-permitted alarm system (may be waived by obtaining permit)	\$100.00 (per incident)
Fine Suspension	97.07	Operating an alarm system during alarm permit suspension	\$200.00
Administrative	97.06	Mandatory performance review (failure to attend)	\$25.00
Appeal	97.09	Appeal processing fee	\$25.00
Administrative	97.10	Reinstatement of suspended permit	\$25.00

Fine False Alarm Fee	<u>97.07</u>	4th and 5th 6 th false alarm within the preceding 12-month period	\$50.00
Fine	<u>97.07</u>	6th and 7th false alarm within the preceding 12-month period	\$75.00
Fine	<u>97.07</u>	8th and any additional false alarms within the preceding 12-month period	\$100.00
Fine	<u>97.07</u>	Monitoring company failure to verify	\$100.00
Fine	<u>97.07</u>	False statement by alarm company employee	\$200.00
Fine	<u>97.05</u>	Failure to comply or violation of § <u>97.05</u>	\$200.00 (per incident)



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4048

Agenda Date: 4/26/2021

Version: 1

Status: New Business

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution of the City Of Mansfield, Texas, Authorizing the City Manager to Negotiate and Execute on Behalf of the City an Agreement by and Between The City of Mansfield, Texas, and iChoosr, LLC

Requested Action

Consider the Resolution authorizing an agreement with iChoosr, LLC.

Recommendation

Staff recommends approval of the Resolution.

Description/History

The Texas Power Switch Program is a resource for residents of the City to participate in a Statewide energy aggregation and competitive auction for retail electricity providers.

If the City should elect to participate in this program, staff will inform and engage residents to raise awareness of the program, including the process and key dates. Interested residents would then register for Texas Power Switch. iChoosr provides electricity offers for residents by facilitating a competitive auction process among electricity providers. The winning electricity provider's offer would be provided to program registrants to decide if they would be interested in switching to the provider. Resident participation is free, and there is no obligation for the registrant to switch to another electricity provider.

iChoosr will organize three (3) Texas Power Switch group buying programs annually, which the City will actively promote at least two (2) programs each calendar year. The City will partner with iChoosr on collateral materials to inform residents about this program. Seventeen cities in Texas participate, including Cedar Hill, Corinth, Farmers Branch, Fate, Lake Dallas, Lancaster, and Waco, to name a few.

Justification

Senate Bill 7 made substantial changes to the way Texans purchase electricity through deregulation of the electricity market. Although deregulation has increased electric provider options, finding the most cost-effective plan may still pose a challenge for residents. As a result, many Texans do not regularly change their utility provider.

Funding Source

N/A

Prepared By

Jeff Price, Director of Utilities
817-728-3602

RESOLUTION NO. _____**A RESOLUTION OF THE CITY OF MANSFIELD, TEXAS, AUTHORIZING THE CITY MANAGER TO NEGOTIATE AND EXECUTE ON BEHALF OF THE CITY AN AGREEMENT BY AND BETWEEN THE CITY OF MANSFIELD, TEXAS, AND ICHOOSR, LLC**

WHEREAS, the City Council has been presented with the proposed Agreement between the City of Mansfield and iChoosr, LLC, relating to the Texas Power Switch Program in connection with providing the residents of the City of Mansfield with group purchasing power in the procurement of retail energy services; and,

WHEREAS, upon full review and consideration of all matters related thereto, the City Council is of the opinion and finds that the City Manager should be authorized to negotiate and execute the agreement with iChoosr, LLC on behalf of the City of Mansfield.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

The City Manager, or his designee, is hereby authorized to negotiate and execute on behalf of the City an agreement with iChooser, LLC, to provide a resource for group purchasing power in the procurement of retail energy services to residents of the City of Mansfield.

PASSED AND APPROVED THIS THE 26TH DAY OF APRIL, 2021.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary

MEMORANDUM OF UNDERSTANDING

CITY OF MANSFIELD and ICHOOSR, LLC

This Memorandum Of Understanding (“MOU”) is by and between the City of Mansfield, Texas (the “CITY”), and iChoosr, LLC, a Delaware limited liability company (“ICHOOSR”) (each a “Party” or collectively the “Parties”) acting by and through their authorized representatives,

WHEREAS, ICHOOSR has a registered office located at 251 Little Falls Drive, Wilmington, Delaware 19808, and is registered as a Class I aggregator under 16 Tex. Admin. Code § 25.111 at the Public Utility Commission of Texas under number #80419; and

WHEREAS, the City of Mansfield, Texas, is a Home Rule city, acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, the Parties wish to enter into this MOU for the principal purpose of providing the residents of the City (“Residents”) with group purchasing power in the procurement of retail energy (electricity) services;

WHEREAS, the Parties intend to offer Residents an opportunity to register and participate in the Texas Power Switch program (TPS program), whereupon ICHOOSR will arrange a competitive bidding process for retail energy suppliers in order to procure competitive electricity rates for participating Residents.

NOW, THEREFORE, in consideration of the foregoing and of the agreements herein contained, and other good and valuable consideration the receipt and sufficiency of which is hereby acknowledged and approved, the Parties agree as follows:

SECTION 1 - OBLIGATIONS OF THE PARTIES

The Parties acknowledge that no contractual relationship is created between them by this MOU, but agree to work together in the true spirit of partnership to ensure that there is visible support and leadership of the TPS program and to demonstrate administrative and managerial commitment to TPS program by means of the following services.

SECTION 2 – COOPERATION & RESPONSIBILITIES

The activities and services for the TPS program shall include, but not be limited to:

A) ICHOOSR shall:

1. Organize and help CITY actively promote at least three (3) programs each calendar year within the CITY, via agreed upon marketing and communications efforts as set out in the Program Communications Plan.
2. Organize three (3) programs per year which shall be made available to all city residents residing in a deregulated electric service territory.
3. Provide the CITY with webpages and hyperlinks to the Texas Power Switch website platform to facilitate registration, auction, and switching of residents.
4. Set out information for Residents within its website about the Program including the fact that participation is free and provides them with no obligation to accept any winning retail energy supplier’s offer, including Information pages and a Frequently Asked Questions section.
5. Subject to relevant electricity laws and regulations, arrange for a competitive bidding process for a retail energy contract of at least one year, with options for longer terms (e.g. 24- or 36- month contracts) depending on market stability to procure favorable longer term pricing for residents. ICHOOSR will decide on the type of supply contract.

6. Arrange for a solicitation for retail energy suppliers for the purpose of providing retail energy services to participating Participants, while not guaranteeing that the solicitation will result in a market-leading offer.
7. Provide Customer Service, inclusive of a toll-free phone number for the Program, and maintain a Texas based Customer Care Call Center for this program.
8. Upon request from CITY, provide reports detailing the number of participants in the TPS program and the number of people who have confirmed that they wish to switch to the prevailing retail energy supplier(s). Such reports to be electronically accessible to the CITY.
9. Provide the option to carry out surveys among Residents or any sample thereof that it selects in order to obtain Residents' views in connection with the Program.
10. Obtain the CITY's prior approval for all marketing communications before posting, publishing or distributing such communications.

B) the CITY shall:

1. Host and actively promote at least two (2) Programs each calendar year with ICHOOSR, via mutually agreed marketing and communication efforts as established in the Program Communication Plan that will be drawn up during a one-on-one meeting between ICHOOSR and CITY representatives, and then shared during a kick-off meeting between the CITY and ICHOOSR.
2. When necessary organize a kick-off meeting, and follow-up meetings or calls, with ICHOOSR at the CITY's premises, where CITY staff that have a role in the Program will attend.
3. Promote the TPS program prominently on the home page of the CITY's web domain throughout the term of the TPS program.
4. Allow ICHOOSR to utilize the city logo / emblem for purposes of promoting the program to CITY residents. All uses of the city logo / emblem will be pre-approved by the CITY.
5. Include information regarding the TPS program in any CITY newsletters and/or bill inserts that are sent to residents.
6. Send one (1) email to city residents per 4-month program period, making residents aware of the TPS program, and the potential benefits that they might receive by registering for the program.
7. Include information regarding the TPS program on the CITY's web page, briefly explaining the TPS program and providing a hyperlink to the CITY's registration pages on the Texas Power Switch platform, by using unique URLs which will be provided to the CITY by ICHOOSR for tracking purposes.
8. Obtain ICHOOSR's prior approval for all marketing and other communications before posting, publishing, transmitting or distributing such TPS program communications in any way.
9. Not during the term of a Residential Customer Agreement, without the prior written consent of ICHOOSR, directly contact by email, letter or telephone anyone who has entered into a Residential Customer Agreement with the prevailing retail energy supplier in an attempt to persuade that person to switch their electricity services to an alternative supplier.

SECTION 3 - RESOURCES

CITY shall provide one (1) or two (2) point(s) of contact to ICHOOSR, so that ICHOOSR may work with point(s) of contact to promote the program. CITY effort is estimated to be no more than eight (8) hours every 4 months, or a total of twenty-four (24) hours per calendar year.

ICHOOSR shall provide all other resources including the website, social media content, any brochures, Customer Care Center with a 1-800 contact number for questions about program, and dedicated resource staff to support the program for the CITY.

SECTION 4 - LIABILITY

No liability will arise or be assumed between either Party as a result of this MOU. This MOU shall not be interpreted to give rise to any form of indemnification for any Party for any action, dispute, damage, claim, or otherwise, arising from this MOU or the TPS program.

SECTION 5 - LENGTH OF AGREEMENT

The arrangements made by the parties of this MOU shall remain in effect from 04/26/2021 ("Effective Date") for a period of three (3) years, at which time the MOU will automatically renew annually on the contract effective date.

SECTION 6 - TERMINATION

Either party may terminate this MOU for any reason with 60-days advance written notice.

SECTION 7 - UNDERSTANDING

It is mutually agreed upon and understood by both Parties of this MOU that:

1. Each Party will work together in a coordinated fashion for the fulfillment and success of the TPS program to the extent described. This MOU is not intended to, and does not, create an employment or agency relationship between the parties or between any party and any other person.
2. In no way does this MOU restrict either Party from participating in similar agreement with other Public or Private agencies, organizations, and individuals.
3. To the extent possible, each Party will participate in the development and success of the program.
4. Nothing in this agreement shall obligate either Party to the transfer of any funds. Both parties mutually agree that there is no financial arrangement between ICHOOSR and CITY.
5. This MOU is not intended to and does not create any right, benefit, or trust responsibility.
6. This MOU is effective upon signature and date from both Parties.
7. To the extent that any action, claim or dispute arises from this MOU, it shall be governed by the laws of the State of Texas. Venue for any such action, claim or dispute shall be in Tarrant County, Texas.

SECTION 8 - SUPPORT OF THE GOALS, RESPONSIBILITIES, AND OBJECTIVES

The MOU has been signed by authorized representatives of ICHOOSR and CITY. This MOU shall be effective as of the date first written above.

iChoosr LLC

City of Mansfield, Texas

JP HARPER

Name

Joe Smolinski

Name

Vice President

Title

City Manager

Title

Signature

Signature

Date

Date