



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda - Final

Planning and Zoning Commission

Tuesday, July 6, 2021

6:00 PM

City Hall Council Chambers

1. **CALL TO ORDER**

2. **APPROVAL OF MINUTES**

[21-4155](#) Minutes - Approval of the June 21, 2021 Planning and Zoning Commission Meeting Minutes

Attachments: [Meeting Minutes 06-21-2021.pdf](#)

3. **CITIZENS COMMENTS**

Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from "personal criticisms".

In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

4. **PUBLIC HEARINGS**

[21-4153](#) SUP#20-019: Public hearing for a request for a Specific Use Permit for a gasoline service station on approximately 1.39 acres out of the Richard Bratton Survey, Abstract No. 114, Tarrant County, TX, located at the northwest corner of E. Broad St. & Matlock Rd.; Drew Donosky of Claymoore Engineering, Inc. (engineer) and Tom Schaffer of Schaffer Construction (developer) on behalf of Steve Horning-Lockwood (owner)

Attachments: [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Site Plan.pdf](#)

[Exhibit C - Elevations.pdf](#)

[Exhibit D - Landscape Plan.pdf](#)

[Exhibit E - Sign Plan.pdf](#)

[21-4154](#) ZC#21-006: Public hearing for a change of zoning from PR Pre-Development District to PD Planned Development for professional office uses on approximately 0.708 acres out of the William Bratton Survey, Abstract No. 161, Tarrant County, TX, located at 1045 Matlock Rd.; Eric Grossman of Grossman Design Build (developer) on behalf of Sai Duvvuri of LMS Development LLC (owner)

Attachments: [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Development Plan and Floor Plans.pdf](#)

[Exhibit C - Elevations and Perspectives.pdf](#)

[Exhibit D - Landscape Plan.pdf](#)

10. **COMMISSION ANNOUNCEMENTS**
11. **STAFF ANNOUNCEMENTS**
12. **ADJOURNMENT OF MEETING**
13. **NEXT MEETING DATE: Monday, July 19, 2021**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on Thursday July 1, 2021, in accordance with Chapter 551 of the Texas Government Code.

Jennifer Johnston, Development Coordinator

* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



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STAFF REPORT

File Number: 21-4155

Agenda Date: 7/6/2021

Version: 1

Status: Approval of Minutes

In Control: Planning and Zoning Commission

File Type: Meeting Minutes

Title

Minutes - Approval of the June 21, 2021 Planning and Zoning Commission Meeting
Minutes

Description/History

The minutes of the June 21, 2021 Planning and Zoning Commission meeting are in DRAFT form and will not become effective until approved by the Board at this meeting.



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Minutes - Draft

Planning and Zoning Commission

Monday, June 21, 2021

6:00 PM

City Hall Council Chambers

This meeting was open to the public and conducted by video conferencing with access to the public.

1. CALL TO ORDER

Chairman Knight called the meeting to order at 6:00 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving the date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Staff Present:

*Arty Wheaton-Rodriguez, Assistant Director of Planning
Jennifer Johnston, Development Coordinator.*

Commissioners:

Absent 2 - Justin Gilmore and Michael Mainer

Present 5 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll and David Goodwin

2. APPROVAL OF MINUTES

[21-4138](#)

Minutes - Approval of the June 7, 2021 Planning and Zoning Commission Meeting Minutes.

Commissioner Goodwin made a motion to approve the June 7, 2021 minutes as presented. Commissioner Weydeck seconded the motion which carried by the following vote:

Aye: 3 - Anne Weydeck; Kent Knight and David Goodwin

Nay: 0

Absent: 2 - Justin Gilmore and Michael Mainer

Abstain: 2 - Blake Axen and Stephen Groll

3. CITIZENS COMMENTS

None

4. CONSENT AGENDA

[21-4139](#)

SD#19-026: Final Plat of Sunset Crossing; Macatee Engineering, LLC, engineer; Sunset Crossing SF, Ltd. and Sunset Crossing Phase 2, Ltd., owner/developer.

Vice-Chairman Axen made a motion to approve the plat as presented. Commissioner Groll seconded the motion which carried by the following vote

Aye: 5 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll and David Goodwin

Nay: 0

Absent: 2 - Justin Gilmore and Michael Mainer

Abstain: 0

5. COMMISSION ANNOUNCEMENTS

None

6. STAFF ANNOUNCEMENTS

None

7. ADJOURNMENT OF MEETING

Commissioner Groll made a motion to adjourn the meeting. Commissioner Goodwin seconded the motion which carried by the following vote:

Aye: 5 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll and David Goodwin

Nay: 0

Absent: 2 - Justin Gilmore and Michael Mainer

Abstain: 0

With no further business, Chairman Knight adjourned the meeting at 6:03 p.m.

Kent Knight, Chairman

Jennifer Johnston, Development Coordinator



CITY OF MANSFIELD

1200 E. Broad St.
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STAFF REPORT

File Number: 21-4153

Agenda Date: 7/6/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

SUP#20-019: Public hearing for a request for a Specific Use Permit for a gasoline service station on approximately 1.39 acres out of the Richard Bratton Survey, Abstract No. 114, Tarrant County, TX, located at the northwest corner of E. Broad St. & Matlock Rd.; Drew Donosky of Claymoore Engineering, Inc. (engineer) and Tom Schaffer of Schaffer Construction (developer) on behalf of Steve Horning-Lockwood (owner)

Description/History

Existing Use: Vacant land

Existing Zoning: PD Planned Development

Surrounding Land Use & Zoning:

North - Vacant land, PD

South - E. Broad St.; bank and offices (PD) across the street

East - Matlock Rd.; restaurant (PD) across the street

West - Vacant land, PD

Thoroughfare Plan Specification:

E. Broad St. - principal arterial (six-lane divided)

Matlock Rd. - principal arterial (six-lane divided)

Comments and Considerations

The subject property consists of 1.39 acres of vacant land at the northwest corner of E. Broad St. and Matlock Rd. This property represents the initial development of a larger 36-acre tract of land located in the frontage zone of the Neighborhood Center Two Sub-District of The Reserve Planned Development (PD). The applicant is requesting a Specific Use Permit for a gasoline service station; the gas station will also include a convenience store. Gas stations require a Specific Use Permit in this sub-district of The Reserve PD and are subject to all of the design regulations applicable to this sub-district.

Site Plan

The site plan includes a 4,650 sq. ft. 7-Eleven convenience store building, as well as a 4,356 sq. ft. canopy with 16 fuel pump stations and a fenced outdoor patio area. The property will have direct access to both Matlock Road and E. Broad St. Access to Matlock Rd. will be right-in/right-out only and will be shared with the future lot to the north. There will be two access points on E. Broad St.; an on-site access point will be right-in/right-out while a full access point will be located off-site on the future lot to the west. Circulation is provided by a shared access drive along Broad Street and Matlock

Road that will also serve future development to the north and west; this drive will include parking spaces on both sides with tree islands at regular intervals as required by the frontage zone requirements of The Reserve PD. Development in the frontage zone also requires the building to be built on an 80' build-to-line as measured from both Matlock Rd. and E. Broad St. This results in the building configuration as shown, with the fuel pump canopy located on the west side of the building; the side of the canopy is also on the build-to-line. Public entrances are provided on both the west side of the building (facing the canopy) and the east side of the building (near the patio area). Direct pedestrian access is provided to the property by sidewalks that connect to the sidewalks along Matlock Rd. and E. Broad St. A trash enclosure will be located on the northwest side of the building. The applicant notes that all service areas and equipment will be screened in accordance with the standards specified in Section 11 of the Neighborhood Center Two Sub-District of The Reserve PD.

Elevations

Elevations have been provided for both the building and the fuel pump canopy. Staff notes that the applicant worked diligently and cooperatively with staff to revise the building configuration and architectural design to adhere to the requirements and intent of The Reserve PD. The Reserve PD is intended to provide for a village-like design and pedestrian-friendly atmosphere. To this end, the building features traditional building materials and a traditional design, as well as public entrances facing both the fuel pump canopy and the Matlock Rd. street frontage. Also in accordance with the regulations, the building includes a well-defined base, middle, and top, as well as four-sided architecture, with materials and articulation repeated around all sides of the building. The building features mostly brick and stone materials. Tower elements are provided on the corners of the building, while a stone base provides definition to the base of the building, windows and metal awnings provide definition to the mid-section of the building, and faux windows add interest to the top of the building and provide the illusion of a second story. In addition, the top of the building is enhanced with an EIFS cornice treatment. The building height ranges from 26' to 32'. Building materials calculations have been provided showing 69% brick, 24% stone, and 7% EIFS; the total percentage masonry is 93%. Glass represents 25% of the total surface area. Elevations have also been provided for the canopies, which include stucco on the canopy itself and brick-and-stone columns that match the building.

Landscape Plan

As required by the Neighborhood Center Two Sub-District of The Reserve PD, a double row of street trees will be planted along E. Broad St. and Matlock Rd.; the trees will be staggered in this section of The Reserve. In addition, canopy trees will be planted in the parking lot islands closer to the building and an island on the north side of the fuel canopy. The street trees and canopy trees will include a mix of red oaks, live oaks, and cedar elms and three vitex ornamental trees will accentuate the intersection of Broad and Matlock. Holly trees and shrubs will be planted in a reduced 5' landscape setback along the west property line; a variance is being requested for the reduced landscape buffer in order to accommodate the building configuration requirements. Shrubs will also be planted to screen the parking lot and drive aisles from the street and to screen the trash enclosure and any ground-mounted equipment. The patio area will be screened by a 3'-6"-tall decorative metal fence.

Sign Plan

As it relates to signage, development in the Neighborhood Center Two Sub-District of The Reserve follows the same standards applicable to C-2 zoning, which allows for one monument sign or wall sign per street frontage as well as one wall sign per business that occupies the premises. The sign plan shows two monument signs, one along Matlock Rd. and one along E. Broad St.; both are approximately 10' in height with a masonry base to match the building and a sign area of 35 sq. ft. In addition, the sign plan shows three wall signs: a 22'-wide x 2'-tall wall sign over the main (west) entrance and 8' x 8' wall signs on the south and east elevations (facing Broad and Matlock). The applicant is requesting a deviation to allow these additional wall signs facing Broad and Matlock and staff is supportive of the request given the unique building and canopy configuration due to the requirements of The Reserve, as well as the enhanced architecture that was provided.

Recommendation

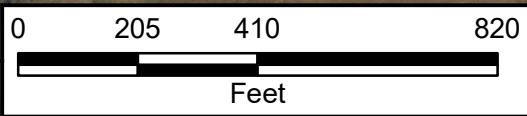
The subject property is located in the Neighborhood Center Two Sub-District of The Reserve PD and represents the initial development of a larger 36-acre tract. In this sub-district, a gas station is only allowed with a Specific Use Permit. Development in the frontage zone of this sub-district requires a particular site layout and architectural and landscaping standards that would ordinarily make this property not very conducive for a gas station. However, the applicant worked cooperatively with staff on achieving a plan that adheres to the requirements, by shifting the fuel pump canopy to the west of the building and orienting the canopy and convenience store building on the 80' build-to-line as measured from both Matlock Rd. and E. Broad St. and making the building the prominent structure on the property as viewed from the street intersection. In addition, the architectural design meets and exceeds the requirements of The Reserve PD. Deviations are requested to allow for a reduced landscape buffer on the west side due to the revised orientation, as well as deviations to allow wall signage on additional elevations given the corner location with entrances on both sides; staff supports these requests given the unique circumstances, the enhanced architecture, and the opportunity to provide additional buffering as needed on future development to the west. Furthermore, staff finds the use compatible with the commercial uses across Matlock and Broad and the expected future commercial uses to the north and west. Staff recommends approval.

Attachments

- Maps and Supporting Information
- Exhibit A - Property Description
- Exhibit B - Site Plan
- Exhibit C - Elevations
- Exhibit D - Landscape Plan
- Exhibit E - Sign Plan



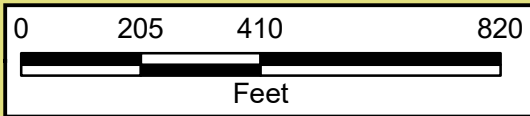
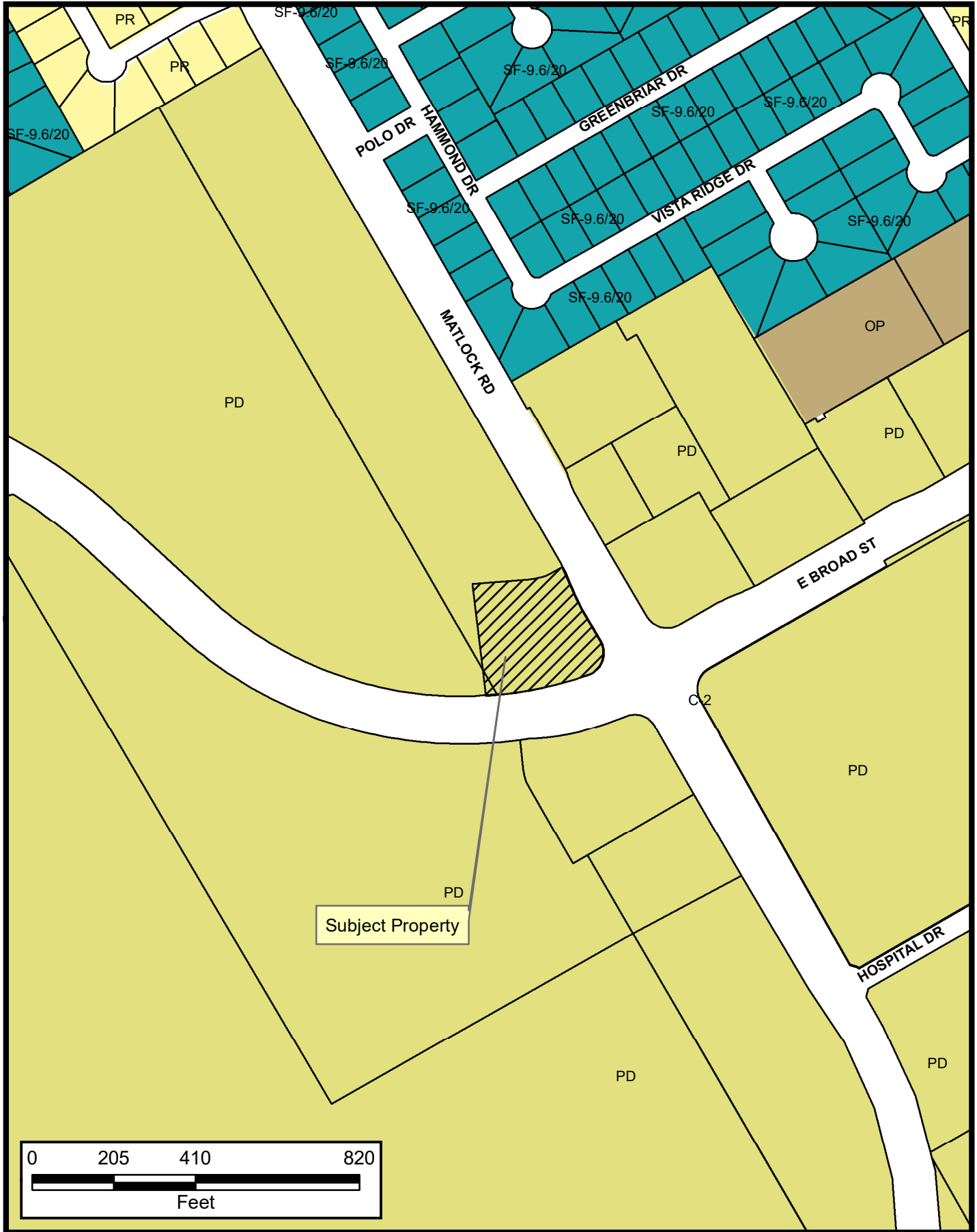
Subject Property



SUP#20-019

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

6/24/2021



SUP#20-019

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6/24/2021

Property Owner Notification for SUP#20-019

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BRATTON, RICHARD SURVEY	A 114	HORNING-LOCKWOOD, STEVE CLARE	20 WOODLAND CT	MANSFIELD, TX	76063-6033
BROAD STREET MEDICAL ADD	BLK 1	BDC FAMILY LP	5000 OVERTON PLZ STE 300	FORT WORTH, TX	76109-4437
BROAD STREET MEDICAL ADDN	BLK 1	MATLOCK CROSSING LLC	816 BRIGHTON AVE	SOUTHLAKE, TX	76092
LOCKWOOD VILLAGE	BLK 1	AMERICAN NATIONAL BANK OF TX	PO BOX 40	TERRELL, TX	75160-9003
MCANEAR, ELIZABETH SURVEY	A 1005	HORNING-LOCKWOOD, STEVE CLARE	20 WOODLAND CT	MANSFIELD, TX	76063-6033
MCANEAR, ELIZABETH SURVEY	A 1005	HORNING-LOCKWOOD, STEVE CLARE	20 WOODLAND CT	MANSFIELD, TX	76063-6033

EXHIBIT A

SUP# 20-019

BEING a 1.72 acre tract of land out of the ELIZABETH MCANIER SURVEY, ABSTRACT NUMBER 1005 AND THE RICHARD BRATTON SURVEY, ABSTRACT NUMBER 114, situated in Tarrant County, Texas and being a portion of called 65.432 acre tract of land conveyed to Steve Clare Horning-Lockwood by deed of record in Volume 10631, Page 2330 of the Real Property Records of Tarrant County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING, at a 1/2 inch iron rod with yellow plastic cap stamped "WIER AND ASSOCIATES" found at the North end of a right-of-way return at the intersection of the West right-of-way line of Matlock Road (right-of-way width varies) and the North right-of-way line of East Broad Street (right-of-way width varies), being the most Easterly Southeast corner of said 65.432 acres and hereof;

THENCE, along said right-of-way return, being the common East line of said 65.432 acre tract, along a non-tangent curve to the right, having a radius of 58.00 feet, a chord bearing of S20°15'55"W, a chord length of 89.70 feet, a delta angle of 101°17'37", an arc length of 102.54 feet to a 1/2 inch iron rod with yellow plastic cap stamped "WIER AND ASSOCIATES" found at the end of said curve, being the most Southerly Southeast corner of said 65.432 acre tract and hereof;

THENCE, along the North right-of-way line of East Broad Street, being the common South line of said 65.432 acre tract, along a compound curve to the right, having a radius of 940.00 feet, a chord bearing of S78°25'43"W, a chord length of 259.10 feet, a delta angle of 15°50'36", an arc length of 259.93 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the Southwest corner hereof, from which an X-cut found bears, along a chord, N70°24'45"W, a distance of 741.73 feet;

THENCE, leaving the North right-of-way line of East Broad Street, over and across said 65.432 acre tract, the following four (4) courses and distances:

1. N06°58'12"W, a distance of 281.99 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the Northwest corner hereof;
2. N85°39'47"E, a distance of 140.77 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of curvature of a non-tangent curve to the left;
3. Along said non-tangent curve to the left, having a radius of 150.00 feet, a chord bearing of N72°35'59"E, a chord length of 68.55 feet, a delta angle of 26°25'02", an arc length of 69.16 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the end of said curve;
4. N59°23'28"E, a distance of 21.18 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the curving West right-of-way line of Matlock Road, being the common East line of said 65.432 acre tract, for the Northeast corner hereof, from which a 1/2 inch iron rod with yellow plastic cap

EXHIBIT A

SUP# 20-019

stamped "WIER AND ASSOCIATES" found bears, along a chord, N28°32'21"W, a distance of 24.50 feet;

THENCE, along the curving West right-of-way line of Matlock Road, being the common East line of said 65.432 acre tract, the following three (3) courses and distances:

1. Along a non-tangent curve to the right, having a radius of 502.11 feet, a chord bearing of S24°20'22"E, a chord length of 49.08 feet, a delta angle of 05°36'11", an arc length of 49.10 feet to a 1/2 inch iron rod with yellow plastic cap stamped "WIER AND ASSOCIATES" found at the point of curvature of a reverse curve to the left;
2. Along said reverse curve to the left, having a radius of 526.11 feet, a chord bearing of S25°47'32"E, a chord length of 76.84 feet, a delta angle of 08°22'31", an arc length of 76.91 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the end of said curve;
3. S29°59'23"E, a distance of 82.92 feet to the **POINT OF BEGINNING** and containing an area of 1.72 Acres, or (75,113 Square Feet) of land, more or less.

PLOTTED BY: AMIRA ABDALLAH
 PLOT DATE: 6/29/2021 12:14 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2020-086 SCHAFER MANSFIELD\CADD\SHEETS\SUP SITE PLAN.DWG
 LAST SAVED: 6/29/2021 12:13 PM

SUP NOTES:

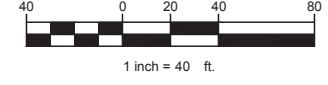
1. THERE WILL BE NO OUTSIDE STORAGE OF MATERIALS OR VEHICLES ON THE PROPERTY.
2. THE BUILDING SHALL BE DESIGNED IN ACCORDANCE WITH THE ARCHITECTURAL REQUIREMENTS SPECIFIED IN SECTIONS 5, 6 AND 7 OF THE NEIGHBORHOOD CENTER TWO SUB-DISTRICT OF THE RESERVE PLANNED DEVELOPMENT.
3. EXTERIOR ILLUMINATION SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARDS SPECIFIED IN SECTION 8 OF THE NEIGHBORHOOD CENTER TWO SUB-DISTRICT OF THE RESERVE PLANNED DEVELOPMENT.
4. ALL SERVICE AREAS AND GROUND-MOUNTED, WALL-MOUNTED, AND ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE LOCATED AND SCREENED IN ACCORDANCE WITH THE STANDARDS SPECIFIED IN SECTION 11 OF THE NEIGHBORHOOD CENTER TWO SUB-DISTRICT OF THE RESERVE PLANNED DEVELOPMENT.
5. ALL SIGNAGE SHALL BE DESIGNED IN ACCORDANCE WITH SECTION 12 OF THE NEIGHBORHOOD CENTER TWO SUB-DISTRICT OF THE RESERVE PLANNED DEVELOPMENT AND SHALL ALSO ADHERE TO THE CRITERIA FOR C-2 ZONED PROPERTIES AS SPECIFIED IN SECTION 7100 OF THE ZONING ORDINANCE.
6. ALL UTILITIES EXCEPT ELECTRICAL TRANSMISSION LINES SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH SECTION 13 OF THE NEIGHBORHOOD CENTER TWO SUB-DISTRICT OF THE RESERVE PLANNED DEVELOPMENT.
7. ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.

NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
3. AN EXTRA SACK OF CEMENT PER CUBIC YARD IS REQUIRED FOR ALL HAND POURS.
4. ALL RIGID PAVEMENT WITHIN THE CITY RIGHT-OF-WAY OR UNDER A FIRE LANE SHALL BE PER CITY STANDARDS AND DETAILS.



GRAPHIC SCALE



LEGEND

---	PROPERTY LINE
---	PROPOSED CURB & GUTTER
■	PROPOSED LIGHT DUTY CONCRETE PAVEMENT
■	PROPOSED FIRE LANE, ACCESS, DRAINAGE, & UTILITY EASEMENT
■	PROPOSED CONCRETE SIDEWALK
— FL —	FIRE LANE STRIPING
---	FULL-DEPTH SAW CUT



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE

No.	DATE	REVISION	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

7-ELEVEN
 CITY OF MANSFIELD, TEXAS, ELLIS COUNTY
 THE RESERVE
 1.39 ACRES
 SUP#20-019

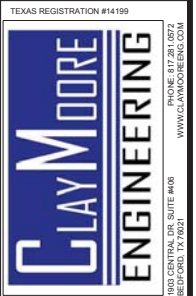
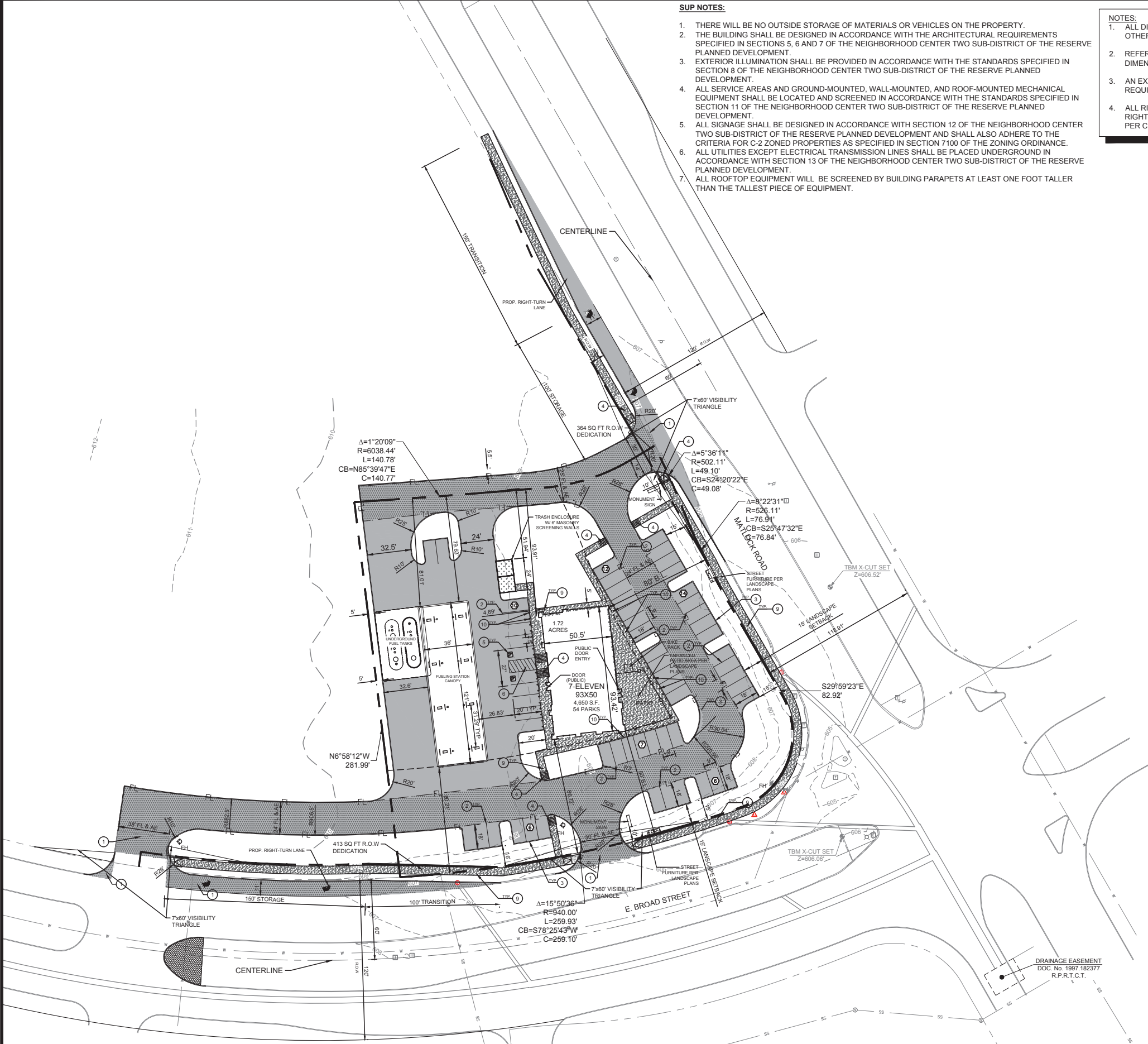
APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DR.
 SUITE #406
 BEDFORD, TX 76021
 PH. 817.281.0572
 FAX 817.281.0574
 CONTACT: DREW DONOSKY, PE
 EMAIL: DREW@CLAYMOOREENG.COM

OWNER:
 STEVE CLARK
 HORNING-LOCKWOOD
 20 WOODLAND CT.
 MANSFIELD, TX 76063
 PH: 972-263-2391
 E: BROADSWORD3@AOL.COM

DEVELOPER:
 TOM SCHAFFER
 SCHAFFER CONSTRUCTION
 2601 NETWORK BLVD, SUITE 413
 FRISCO, TX 75034
 PH: 214-888-6923
 E: TSCHAFFER@SCHAFFERCONST.COM

SITE DATA SUMMARY

LOT	ZONING	PROPOSED USE	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	TOTAL BUILDING AREA (SQ. FT.)	BLDG HGT. (FT.# ST.)	LOT COVERAG E	F.A.R.	LANDSCAPE SQ. FT. (10% OF SITE)	PROV. LANDSCAPE SQ. FT. (34% OF SITE)	PARKING		HANDICAP SP.		SETBACKS			
											REQ. RATIO	REQ. PROV.	REQ.	PROV.	FRONT	REAR	SIDE	
1	PD - THE RESERVE	C-STORE & FUEL	1.71	74,316	4,650	30' - 1 ST	6.3%	0.06	7,431.60	25,526.00	1 SPACE / 200 sf (4,650 SF)	24	57	2	2	15 FOOT	5 FOOT	5 FOOT



PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 Engineer: DREW DONOSKY
 P.E. No. 125651 Date: 6/29/2021

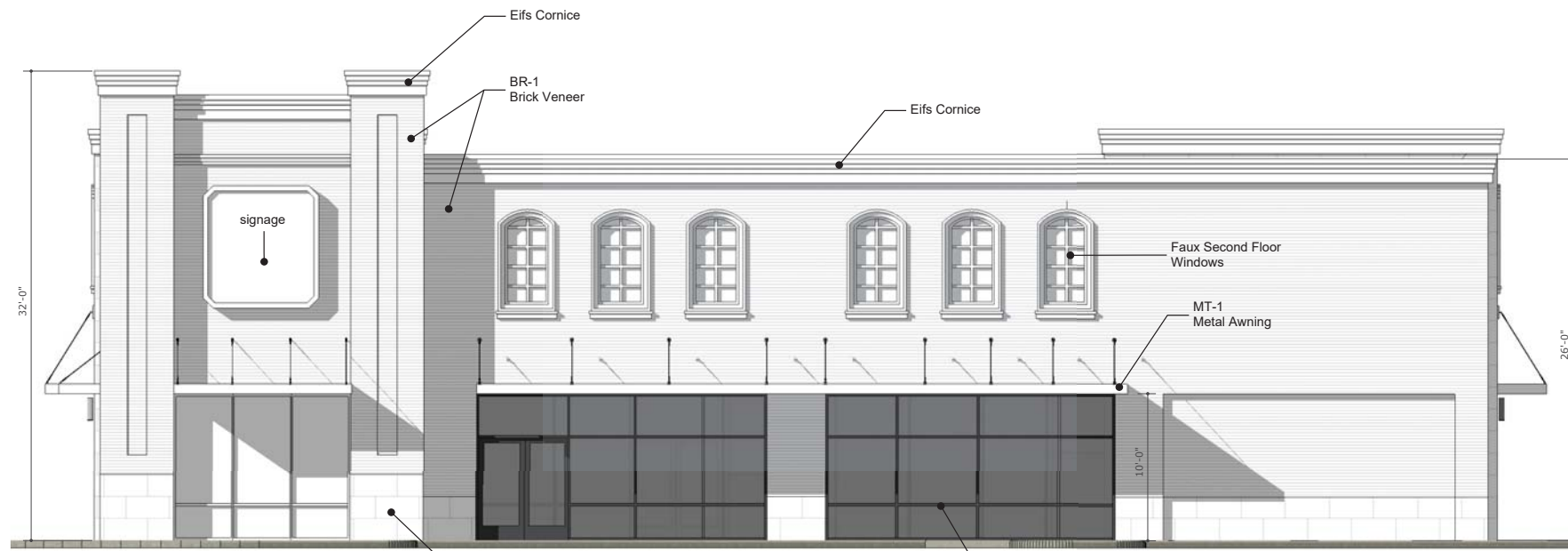
7-ELEVEN
E. BROAD ST & MATLOCK RD.
MANSFIELD, TX
SUP#20-019

SUP SITE PLAN

DESIGN:	ASD
DRAWN:	ASD
CHECKED:	MAM
DATE:	11/12/2020
SHEET	
B	
File No. X	

Total Building Calculations:

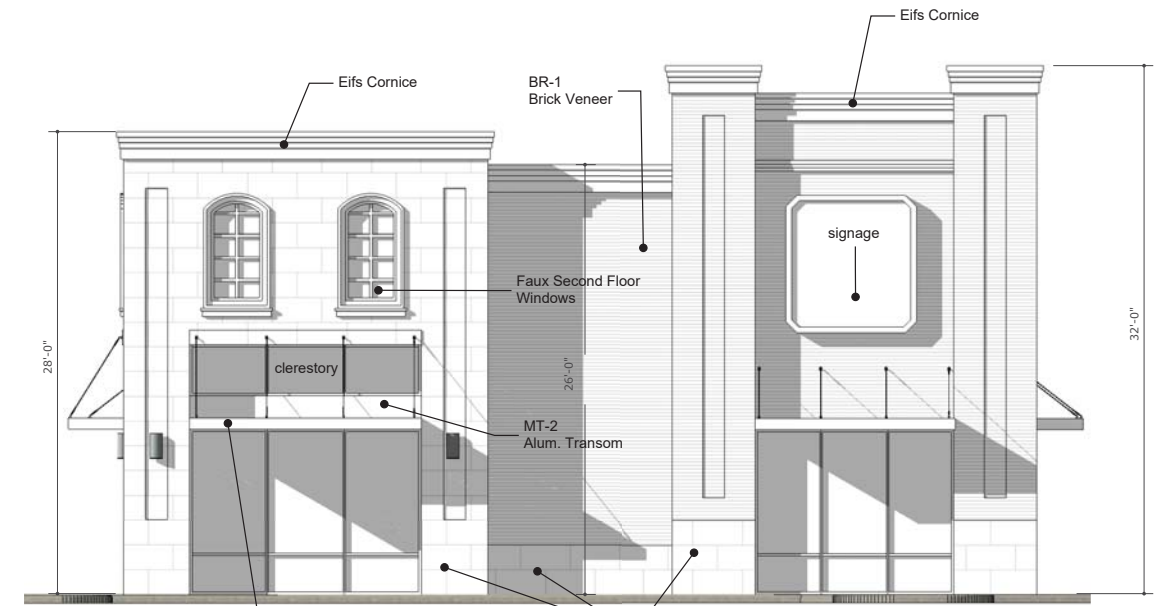
TOTAL ELEVATION AREA:	8,229	
GLASS	2,086	25%
BRICK	5,717	69%
CUT STONE	1,943	24%
EIFS	569	7%



4 Rear (East) Elevation

SCALE: 3/16" = 1'-0"

	Area	Percentage
TOTAL ELEVATION AREA:	2616	
GLASS	617	24%
BRICK	1697	65%
CUT STONE	146	6%
EIFS	156	6%



3 Right (South) Elevation

SCALE: 3/16" = 1'-0"

	Area	Percentage
TOTAL ELEVATION AREA:	1,597	
GLASS	338	21%
BRICK	714	45%
CUT STONE	449	28%
EIFS	96	6%



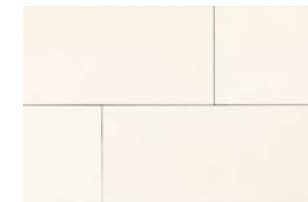
Painted Metal - Doors, Awnings, coping etc to match SW 7048 - Urbane Bronze "Or Approved Equal"



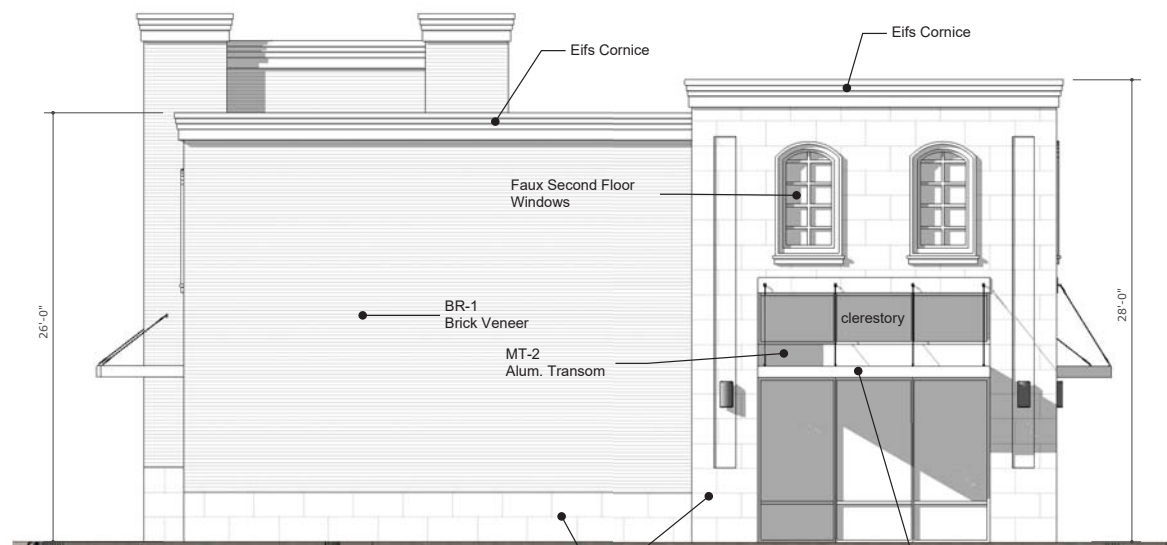
EIFS System - Dryvit Color - "Porcelain" Texture - "Sandblast" "Or Approved Equal"



ACME Brick - Heritage Texture Color - "Highland Gray" "Or Approved Equal"



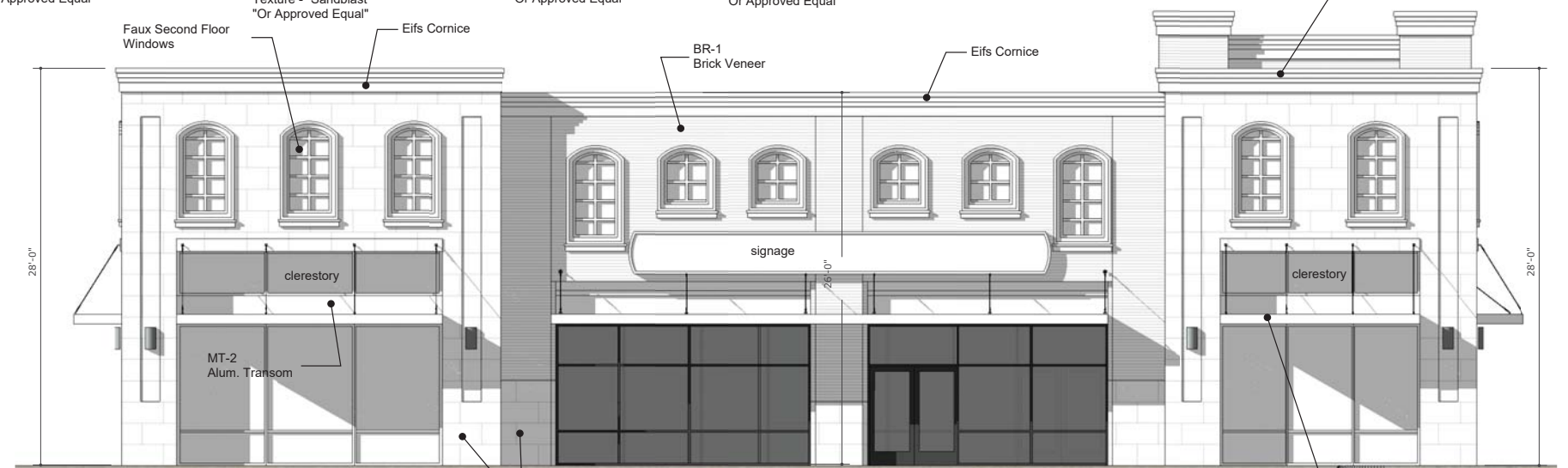
Eldorado Stone - Longitude24 Color - "Snowdrift" "Or Approved Equal"



2 Left (North) Elevation

SCALE: 3/16" = 1'-0"

	Area	Percentage
TOTAL ELEVATION AREA:	1,416	
GLASS	215	15%
BRICK	658	46%
CUT STONE	454	32%
EIFS	89	6%



1 Front (West) Elevation

SCALE: 3/16" = 1'-0"

	Area	Percentage
TOTAL ELEVATION AREA:	2,600	
GLASS	916	35%
BRICK	562	22%
CUT STONE	894	34%
EIFS	228	9%

EXHIBIT C - SUP#20-019
The DIMENSION GROUP

10755 Sandhill Road, Dallas TX 75238

KeVins@dimensiongroup.com O: 214.343.9400 Kevin Sancibrian Page 1 of 3



4 Rear (East) Elevation
SCALE: 3/16" = 1'-0"



3 Right (South) Elevation
SCALE: 3/16" = 1'-0"



2 Left (North) Elevation
SCALE: 3/16" = 1'-0"

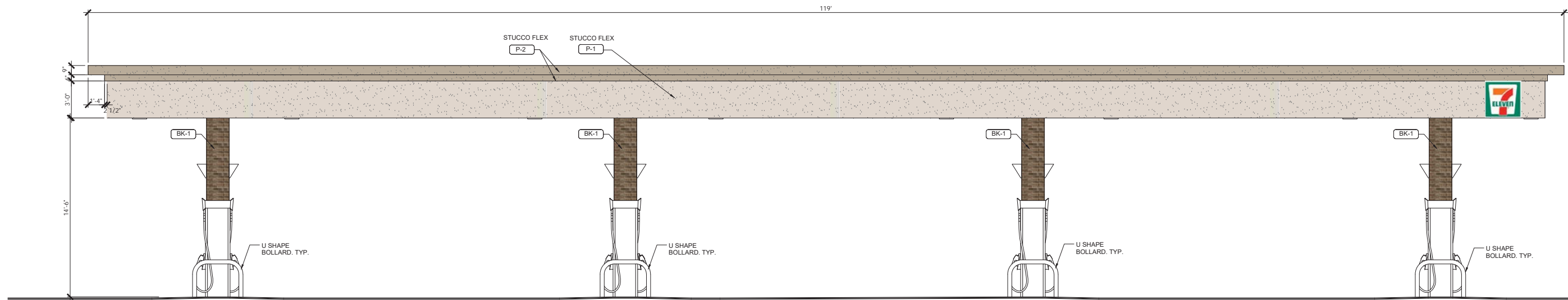


1 Front (West) Elevation
SCALE: 3/16" = 1'-0"

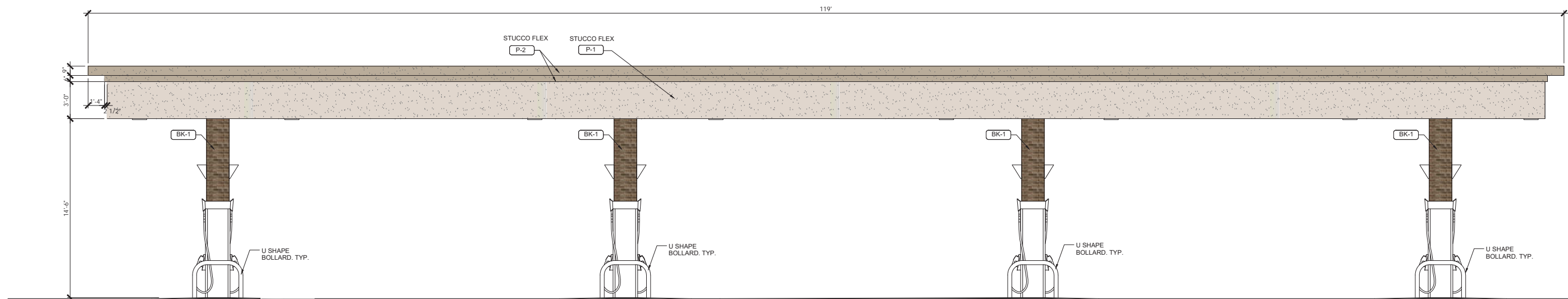
EXHIBIT C - SUP#20-019

The DIMENSION GROUP

10755 Sandhill Road, Dallas TX 75238
O: 214.343.9400



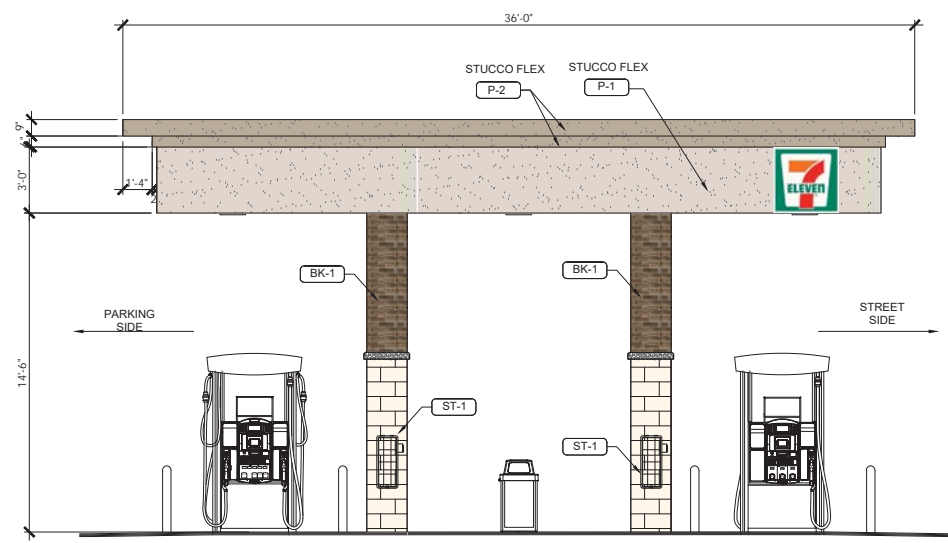
4 CANOPY REAR ELEVATION (WEST)
SCALE 1/4" = 1'-0"



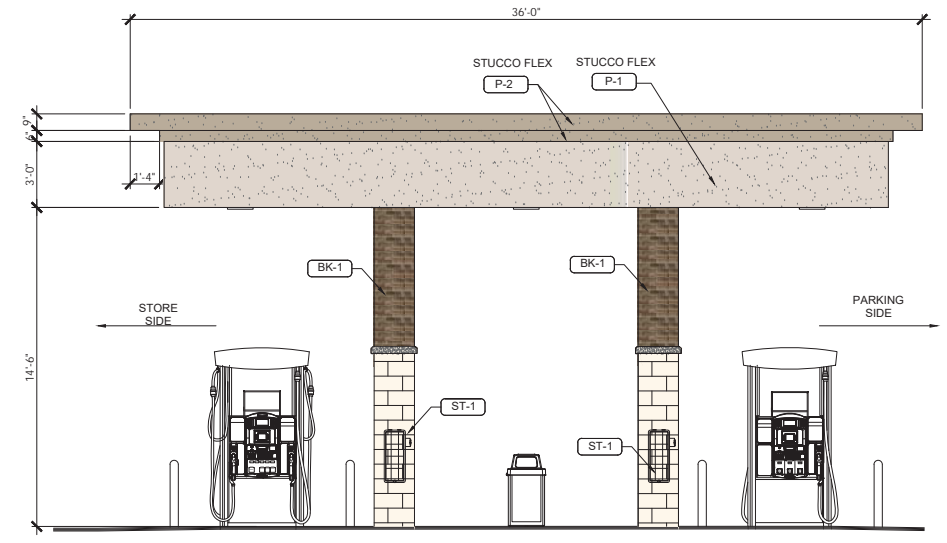
3 CANOPY FRONT ELEVATION (EAST)
SCALE 1/4" = 1'-0"

MATERIAL SCHEDULE

BK-1 ACME BRICK HERITAGE TEXTURE - HIGHLAND GREY OR APPROVED EQUAL	P-1 FLEX STUCCO PAINT AESTHETIC WHITE (SW 7035)
P-2 FLEX STUCCO PAINT BALANCED BEIGE (SW 7037)	ST-1 ELDORADO STONE LONGITUDE24 'SNOWDRIFT' OR APPROVED EQUAL



2 CANOPY RIGHT ELEVATION (SOUTH)
SCALE 1/4" = 1'-0"



1 CANOPY LEFT ELEVATION (NORTH)
SCALE 1/4" = 1'-0"

EXHIBIT C - SUP#20-019

The DIMENSION GROUP

10755 Sandhill Road, Dallas TX 75238
O: 214.343.9400

PLANTING LEGEND

Table with columns: SYMBOL, BOTANIC NAME, COMMON NAME, MIN. SIZE, SPACING, QUANTITY, REMARKS. Lists various trees like Nellie Stevens Holly, Texas Red Oak, Live Oak, Cedar Elm, and Vitex.

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.

SHRUBS & GROUNDCOVERS

Table with columns: SYMBOL, BOTANIC NAME, COMMON NAME, MIN. SIZE, SPACING, QUANTITY, REMARKS. Lists shrubs like Dwarf Burford Holly, Compact Texas Sage, Evergreen Giant Liriope, Muhly Grass, and Asian Jasmine.

Table with columns: SYMBOL, BOTANIC NAME, COMMON NAME, MIN. SIZE, SPACING, QUANTITY, REMARKS. Lists turf grass: Common Bermuda Grass.

LANDSCAPE CALCULATIONS

ZONING DESIGNATION: THE RESERVE PLANNED DEVELOPMENT DISTRICT SUB-DISTRICT: NEIGHBORHOOD CENTER DISTRICT 2 TOTAL SITE AREA: 60,374 SF

SUMMARY CHART - BUFFERYARDS/SETBACKS. Table with columns: Location of bufferyard or setback, Required/provided, Length, Bufferyard or Setback Width/Type, Canopy Trees, Ornamental Trees, Shrubs, Screening Wall/Device Height & NA.

* - Due to shared access pavement along North boundary, buffer requirements to be a part of adjacent parcel development. ** - East & South tree requirements are per The Reserve PDD Standards. *** - Shrub quantities shown to achieve parking lot screening criteria. **** - West tree requirements reduced by 50% due to compatible adjacent use.

SUMMARY CHART - LANDSCAPE AREAS. Table with columns: Landscape Area (in SF), % of Landscape Area, Canopy Trees, Ornamental Trees, Shrubs, Groundcover (in s.f.).

* - May include required street setback, building foundation, and buffer yard landscape areas only / excludes parking lot interior and parking lot perimeter landscape areas. ** - Does not include turf areas.

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING. Table with columns: # of required parking spaces, # of provided parking spaces, # of tree islands.

ALL GROUND MOUNTED UTILITY EQUIPMENT NOT SHOWN, BUT PRESENT IN THE FIELD, MUST BE SCREENED WITH EVERGREEN SHRUBS.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.

IRRIGATION CONCEPT

- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES...
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED...
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS...
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER...

LANDSCAPE MAINTENANCE

THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES.

VERTICAL text on the left edge: PLOTTED BY: KENN BATES 6/23/2021 11:17 AM...



06/23/2021

7-ELEVEN
E. BROAD ST & MATLOCK RD.
MANSFIELD, TX
SUP#20-019



(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

LANDSCAPE
PLANTING PLAN

Table with columns: DESIGN, DRAWN, CHECKED, DATE. Values include KB, RB, RM, and 11/12/2020.

LP-1

File No. X



7-ELEVEN
CITY OF MANSFIELD, TEXAS, ELLIS COUNTY
THE RESERVE
1.39 ACRES
SUP#20-019

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DR.
SUITE #406
BEDFORD, TX 76021
PH. 817.281.0572
FAX 817.281.0574
CONTACT: DREW DONOSKY, PE
EMAIL: DREW@CLAYMOOREENG.COM

LANDSCAPE ARCHITECT:
EVERGREEN DESIGN GROUP, INC.
15455 DALLAS PKWY.
SUITE 600
ADDISON, TX 75001
PH. 800.680.6630 EXT 6
CONTACT: KENN BATES, PLA
EMAIL: KENN@EVERGREENDESIGNGROUP.COM

OWNER:
STEVE CLARK
HORNING-LOCKWOOD
20 WOODLAND CT.
FRISCO, TX 75034
PH. 972-263-2391
E: BROADSWORD3@AOL.COM

DEVELOPER:
TOM SCHAFER
SCHAFER CONSTRUCTION
2601 NETWORK BLVD, SUITE 413
FRISCO, TX 75034
PH. 214-888-6923
E: TSCHAFFER@SCHAFERCONST.COM

SUP#20-019 EXHIBIT D

PLANTING SPECIFICATIONS

GENERAL

1. QUALIFICATIONS OF LANDSCAPE CONTRACTOR

- 1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING... 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES... 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE...

2. SCOPE OF WORK

- 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK... 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS... 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES...

PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. CONTAINER AND BALLED-AND-BURLAPPED PLANTS.

- 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSIS Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS... 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS... 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND... 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE...

- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS... D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH... E. COMPOST: WEED-FREE, STABLE, AND WEED-FREE ORGANIC MATTER... G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS... H. TREE STAKING AND GUYING... I. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE... J. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE...

METHODS

- A. SOIL PREPARATION 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE... 2. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECTS PLAN LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES... 3. THE CONTRACTOR SHALL VERIFY THAT THE SOIL SAMPLES PER THE SOILS REPORT RECOMMENDATIONS... 4. FOR REDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:

B. SUBMITTALS

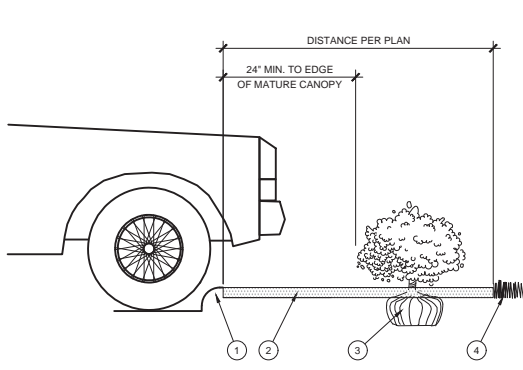
- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES... 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY)...

C. GENERAL PLANTING

- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS... 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE... 2. TREE PLANTING 1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL... 2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE...

D STEEL EDGING

SCALE: NOT TO SCALE

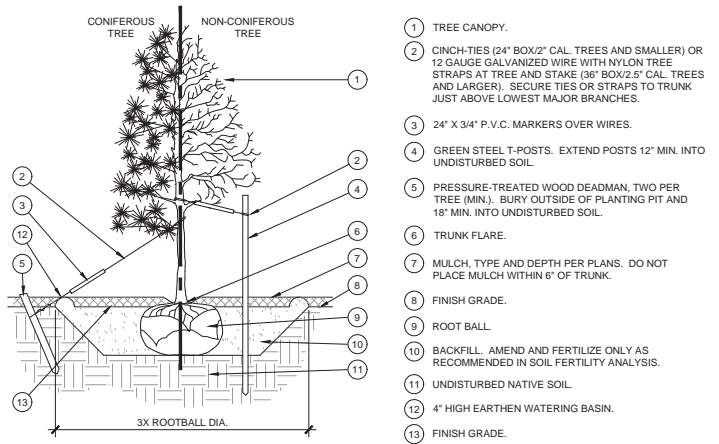


E PLANTING AT PARKING AREA

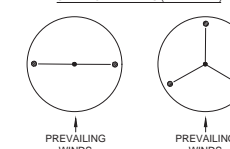
SCALE: NOT TO SCALE

GENERAL GRADING AND PLANTING NOTES

- 1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT... 3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE... 4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING...

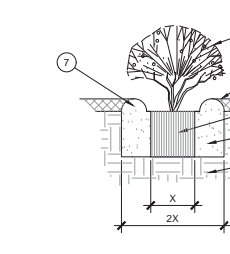


STAKING EXAMPLES (PLAN VIEW)



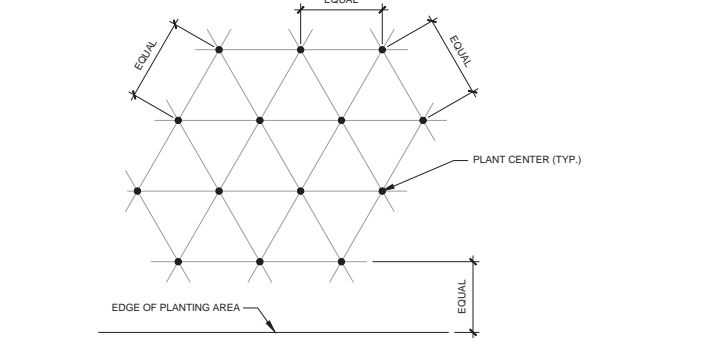
A TREE PLANTING

SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING

SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA: TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

Table with 4 columns: PLANT SPACING, AREA DIVIDER, PLANT SPACING, AREA DIVIDER. Rows include 6", 0.22; 8", 0.39; 10", 0.60; 12", 0.87; 15", 1.35.

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER. STEP 1: 100 SF/1.95 = 51 PLANTS. STEP 2: 51 PLANTS - (40 LF/1.95 = 21 PLANTS) = 30 PLANTS TOTAL

C PLANT SPACING

SCALE: NTS

7-ELEVEN CITY OF MANSFIELD, TEXAS, ELLIS COUNTY THE RESERVE 1.39 ACRES SUP#20-019

APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DR. SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572 FAX 817.281.0572 CONTACT: DREW DONOSKY, PE EMAIL: DREW@CLAYMOOREENG.COM

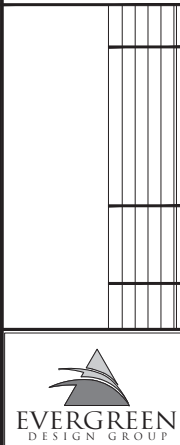
LANDSCAPE ARCHITECT: EVERGREEN DESIGN GROUP, INC. 15455 DALLAS PKWY. SUITE 600 ADDISON, TX 75001 PH: 800.680.6630 EXT 6 CONTACT: KENN BATES, PLA EMAIL: KENN@EVERGREENDESIGNGROUP.COM

OWNER: STEVE CLARK HORNBY LAKWOOD 20 WOODLAND CT. MANSFIELD, TX 76063 PH: 972-263-2391 E: BROADSWORD3@AOL.COM DEVELOPER: TOM SCHAFFER SCHAFFER CONSTRUCTION 2801 NETWORK BLVD, SUITE 413 FRICTO, TX 76034 PH: 214-888-6923 E: TSCHAFFER@SCHAFFERCONST.COM



05/26/2021

7-ELEVEN E. BROAD ST & MATLOCK RD. MANSFIELD, TX SUP#20-019



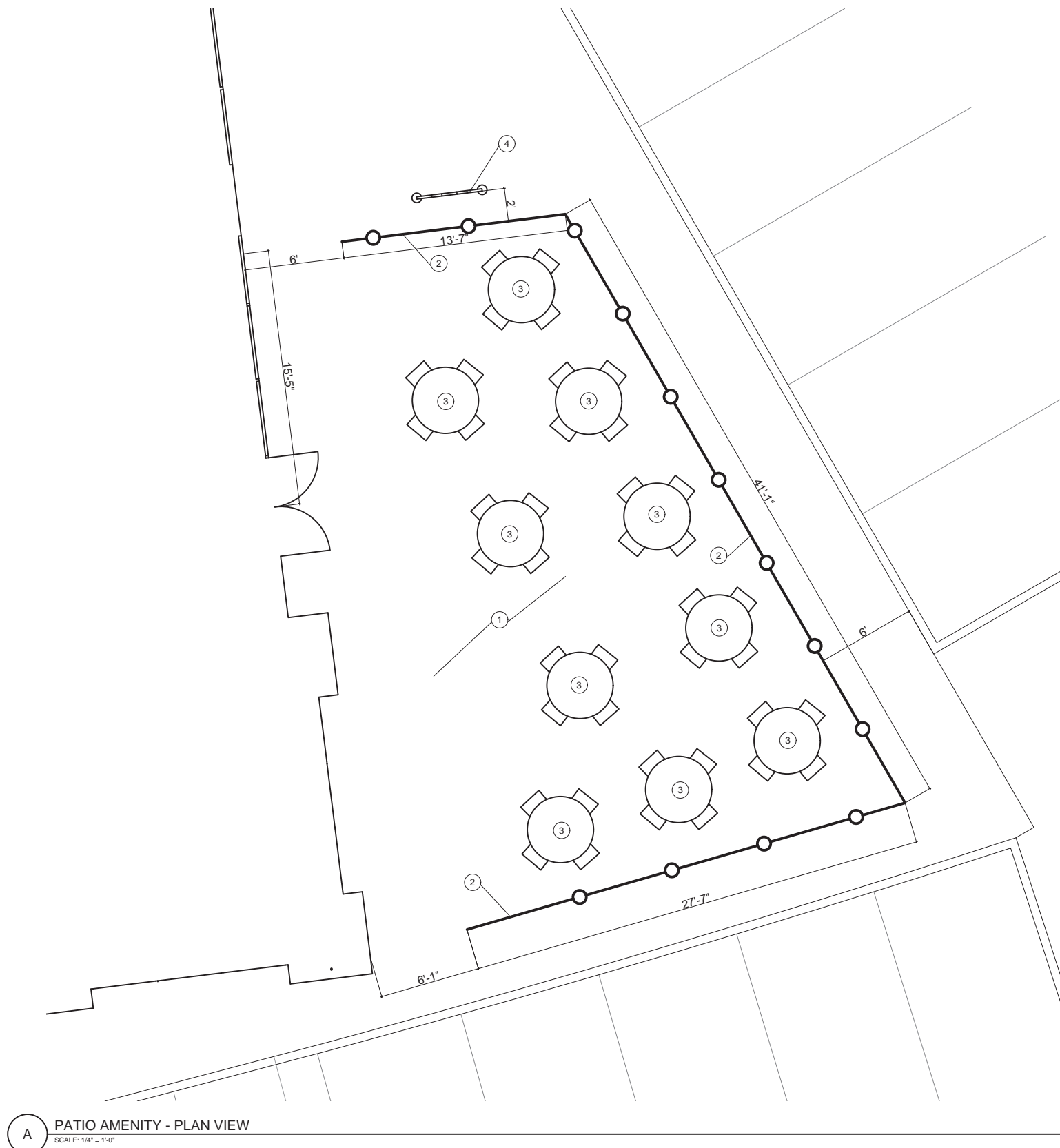
(800) 680-6630 15455 Dallas Pkwy., Ste 600 Addison, TX 75001 www.EvergreenDesignGroup.com

LANDSCAPE DETAILS & SPECIFICATIONS LP-2

PLOTTED BY: KENN BATES 5/26/2021 2:18 PM 7 USERS/KENNBATES/DROBOX (EDG)/EDG - SHARED/2020/7-ELEVEN/7-ELEVEN TX/7ELEVEN MANSFIELD TX-PLT.GWG (5) 5/4/2021 11:15 PM



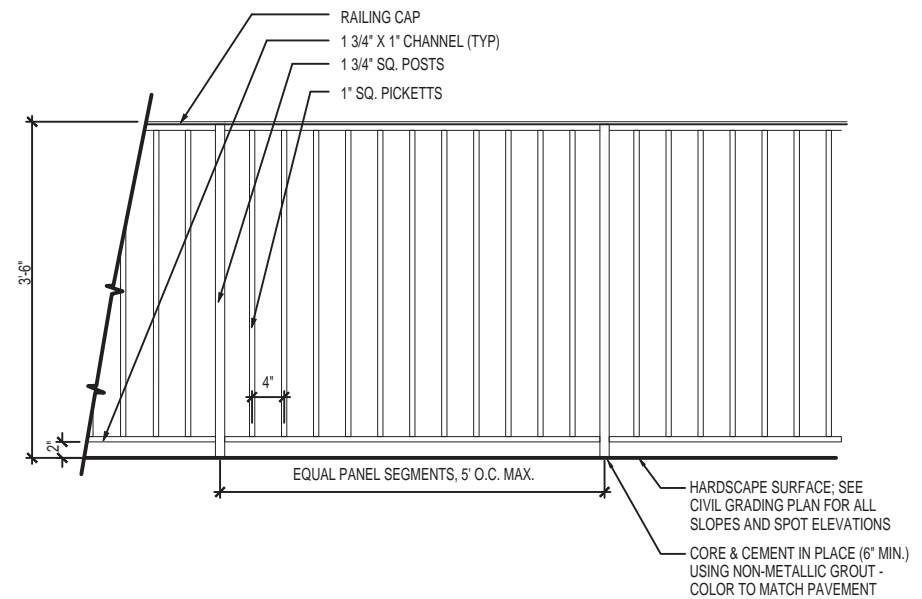
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 LAST SAVED: 5/26/2021 3:15 PM



A PATIO AMENITY - PLAN VIEW
SCALE: 1/4" = 1'-0"

CONSTRUCTION LEGEND

- ① CONCRETE PAVING, POURED IN PLACE. SEE CIVIL DRAWINGS FOR COLOR, FINISH TEXTURE, AND CONTROL AND EXPANSION JOINT LAYOUT.
- ② DECORATIVE METAL FENCING, 42-INCH HEIGHT, ANODIZED ALUMINUM. COLOR TO BE SELECTED BY OWNER OR OWNER'S REPRESENTATIVE. SEE DETAIL B, THIS SHEET.
- ③ CAFE TABLES AND CHAIRS AS SELECTED BY OWNER OR OWNER'S REPRESENTATIVE.
- ④ BICYCLE RACK, HEAVY DUTY CHALLENGER, 7 BIKE CAPACITY, SURFACE MOUNTED, POWDER COATED BLACK FINISH, MODEL H36-7, AS SOLD BY MADRAX (800) 448-7931.



B DECORATIVE METAL FENCING AT PATIO
SCALE: NOT TO SCALE



05/26/2021

7-ELEVEN
 E. BROAD ST & MATLOCK RD.
 MANSFIELD, TX
 SUP#20-019



(800) 680-6630
 15455 Dallas Pkwy., Ste 600
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PATIO HARDSCAPE
 PLAN & DETAILS

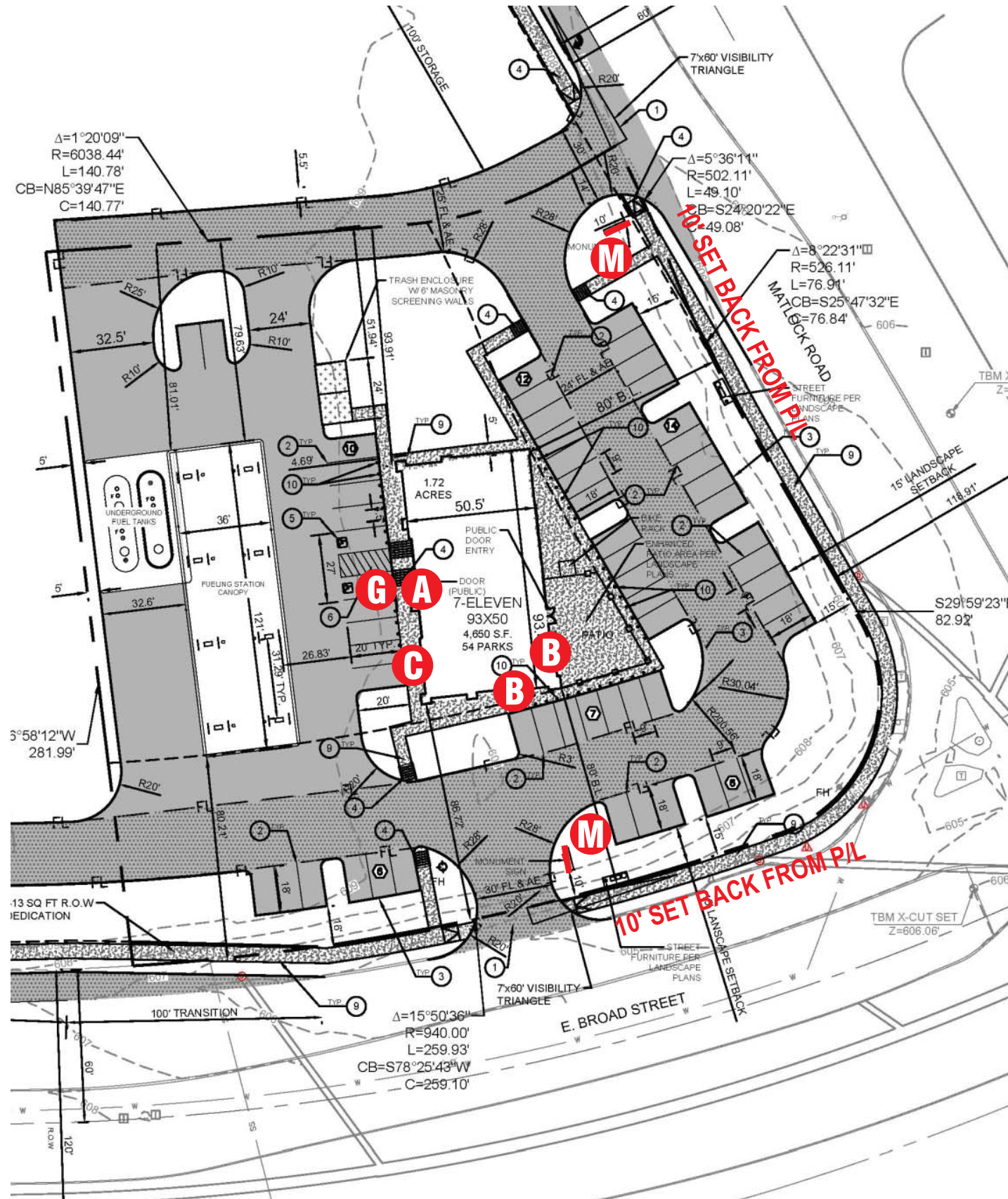
7-ELEVEN
 CITY OF MANSFIELD, TEXAS, ELLIS COUNTY
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DEVELOPER:
 TOM SCHAFFER
 SCHAFFER CONSTRUCTION
 2601 NETWORK BLVD, SUITE 413
 FRISCO, TX 75034
 PH: 214-888-6923
 E: TSCHAFFER@SCHAFFERCONST.COM



PRODUCT LIST		
SQ. FT.	QTY	ITEM
EXTERIOR BUILDING SIGNS		
A	44.5	1 TATEYAMA
B	64	2 WALL SIGNS
INTERIOR SIGNS AND WINDOW VINYL		
C	3.2	1 ATM INTERIOR WINDOW SIGN
G	N/A	TBD WINDOW VINYL
EXTERIOR GROUND SIGNS		
M	34.4	2 DF MONUMENT SIGNS

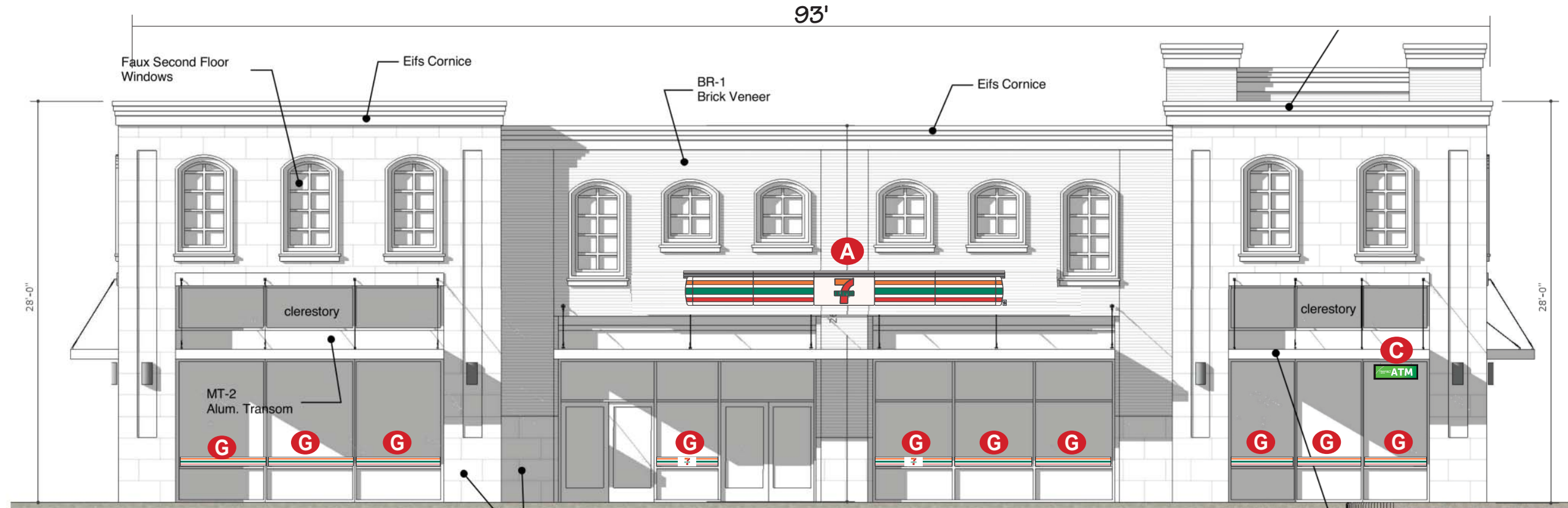
A DEVIATION IS REQUESTED TO ALLOW WALL SIGNAGE ON THREE ELEVATIONS, AS SHOWN, DUE TO THE UNIQUE BUILDING ORIENTATION.



Job Location: 41869
 E. Broad St. & Matlock Rd.,
 Mansfield, TX 76063
Date: June 21, 2021

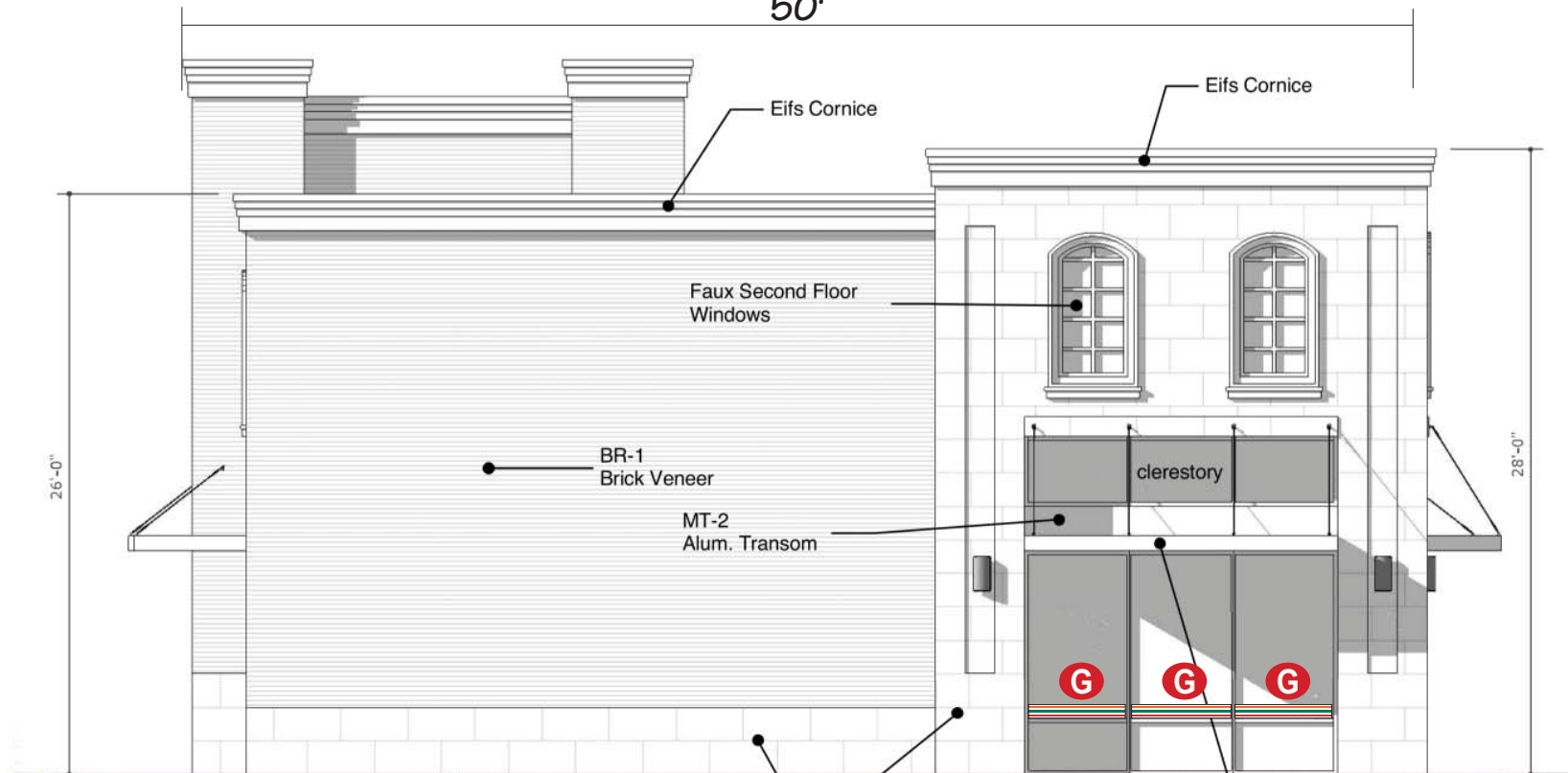


D-ORDER# 102182.07 TDP
Project Mgr.: Jennifer Hayes
 jennifer.hayes@cummingsigns.com
 Page: 1 of 9



FRONT ENTRANCE

PROPOSED: 44.5 SQ. FT.
 NOTE: SF IS NOT RESTRICTED.
 NTE 75% OF BLDG. WIDTH



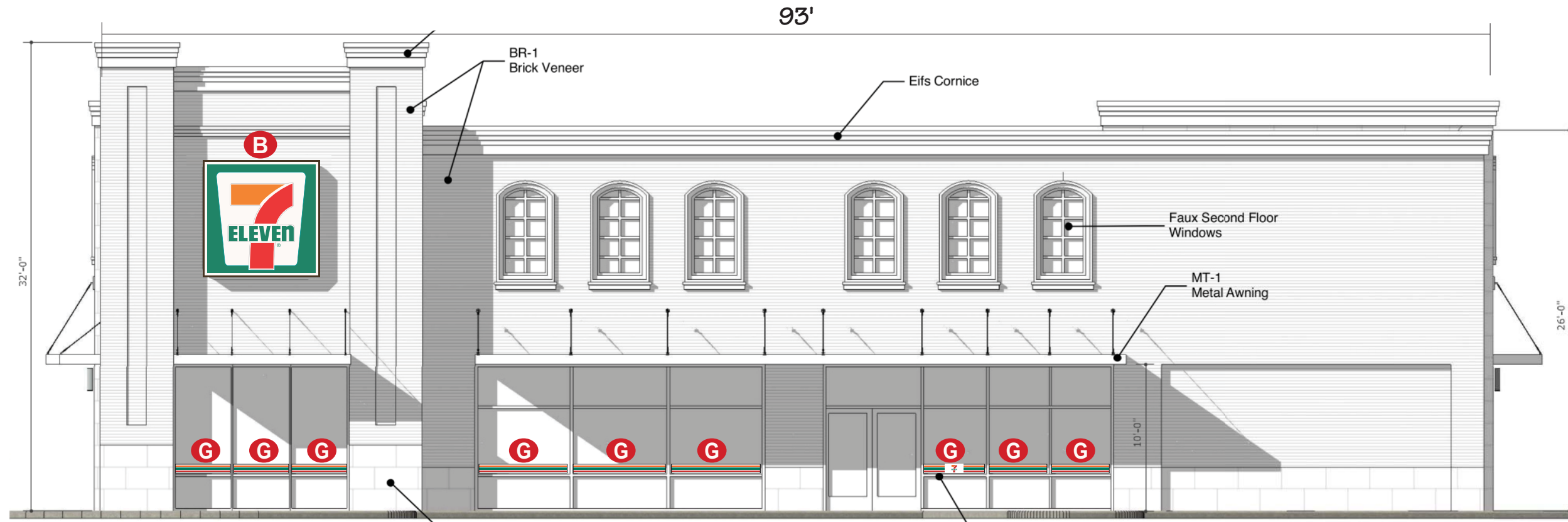
LEFT SIDE

CASE# SUP#20-019 EXHIBIT E

Job Location: 41869
 E. Broad St. & Matlock Rd.,
 Mansfield, TX 76063
 Date: June 21, 2021

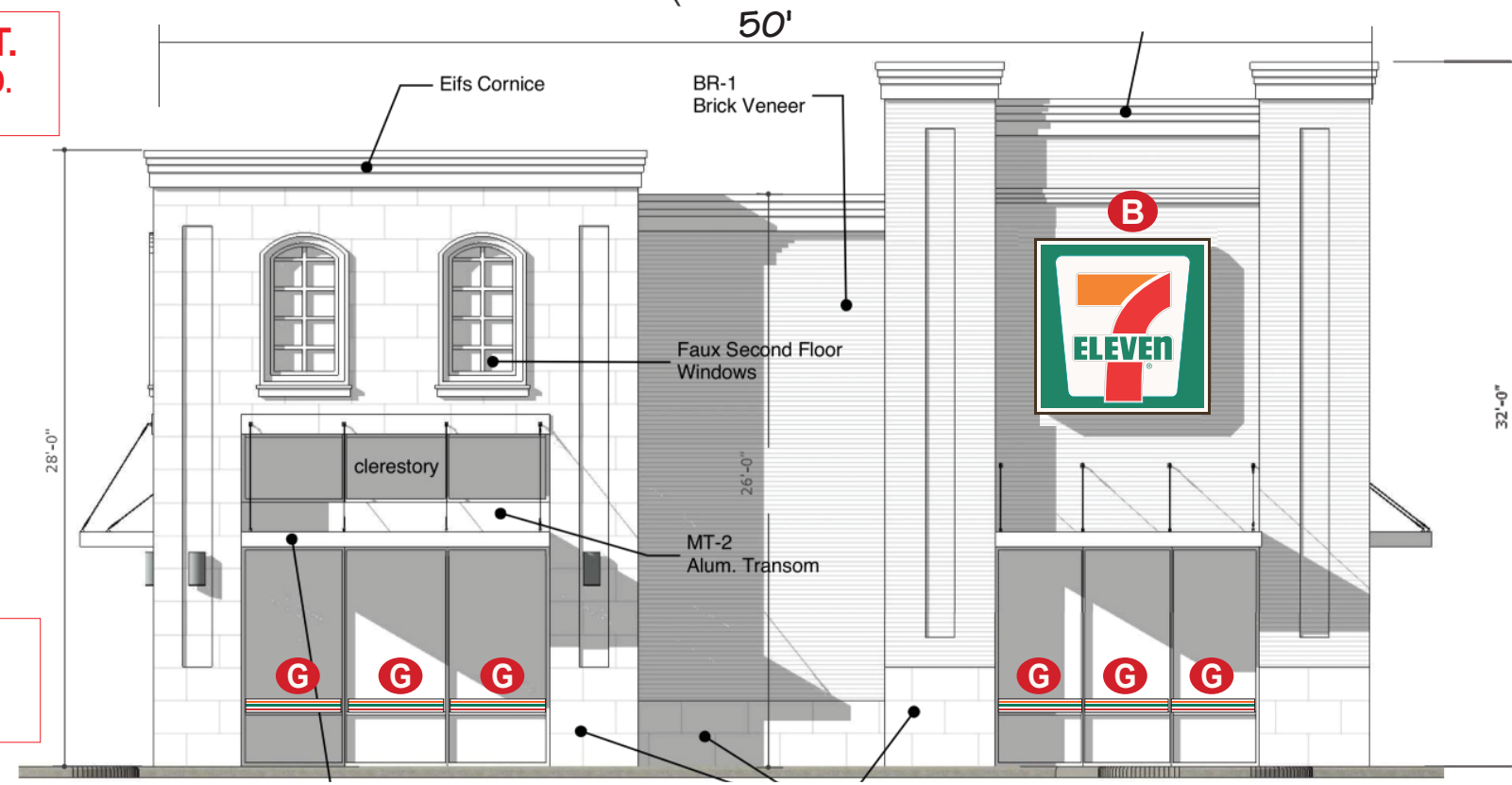


D-ORDER# 102182.07 TDP
 Project Mgr.: Jennifer Hayes
 jennifer.hayes@cummingsigns.com
 Page: 2 of 9



REAR

PROPOSED: 64 SQ. FT.
 NOTE: SF IS NOT RESTRICTED.
 NTE 75% OF BLDG. WIDTH



RIGHT SIDE

PROPOSED: 64 SQ. FT.
 NOTE: SF IS NOT RESTRICTED.
 NTE 75% OF BLDG. WIDTH

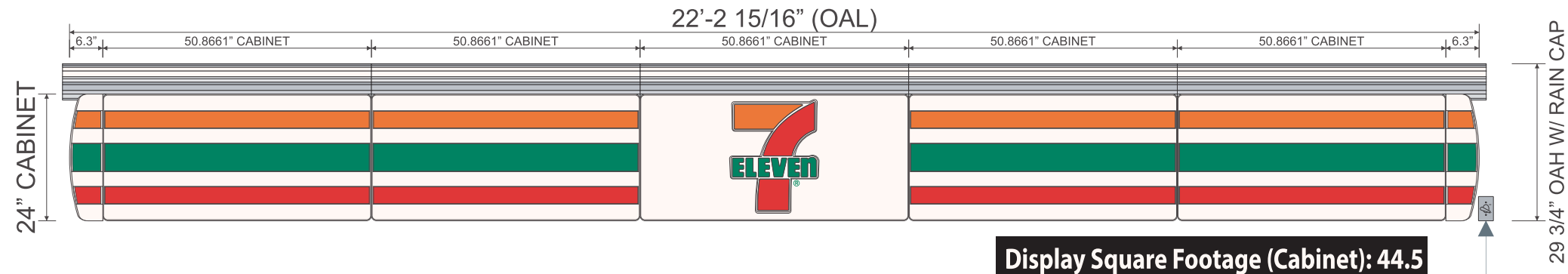
Job Location: 41869
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D-ORDER# 102182.07 TDP
 Project Mgr.: Jennifer Hayes
 jennifer.hayes@cummingsigns.com
 Page: 3 of 9

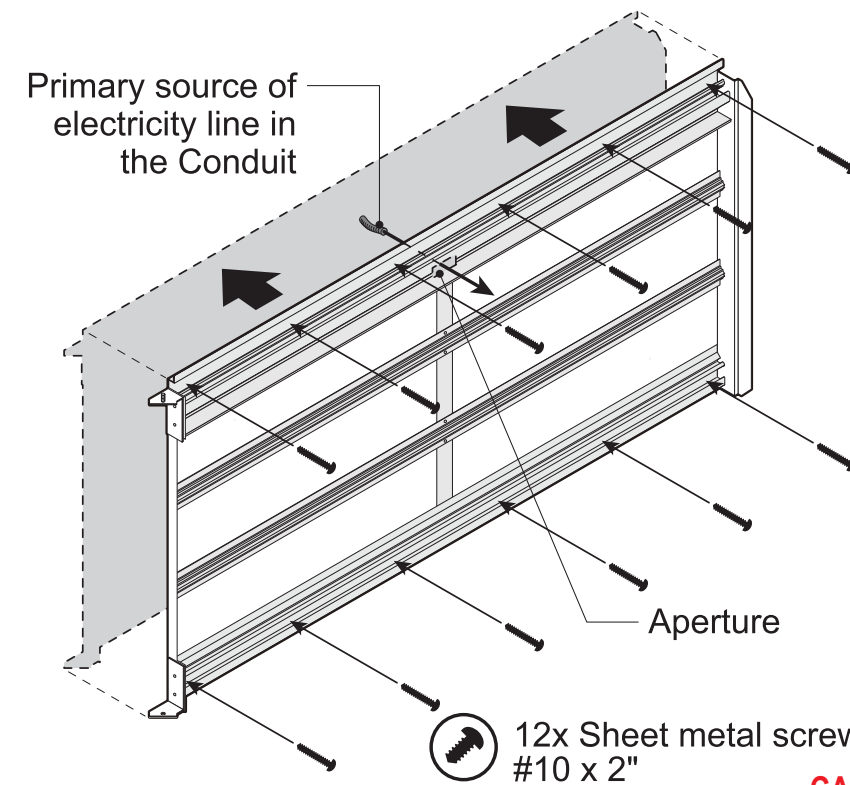
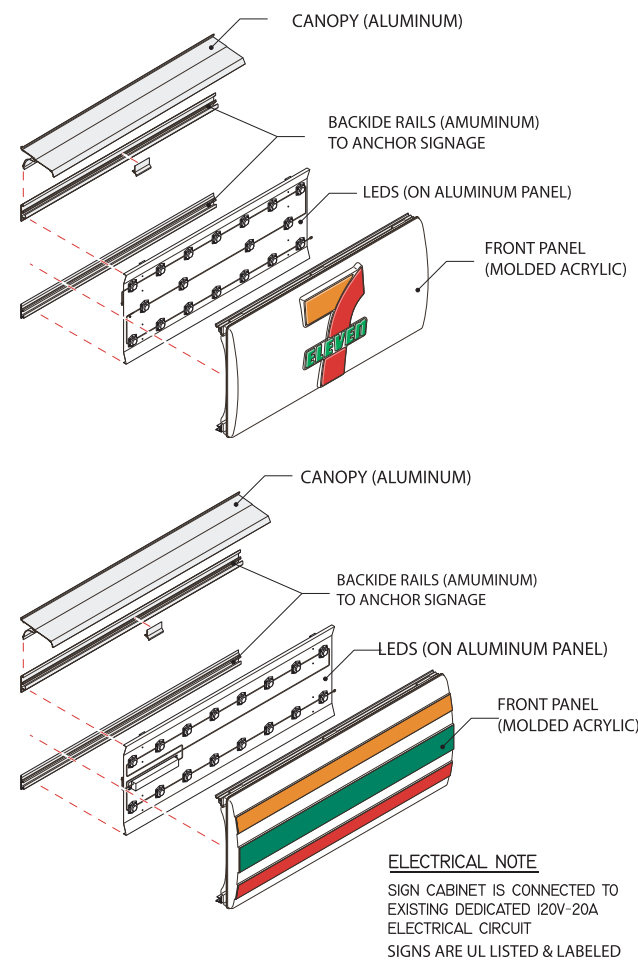
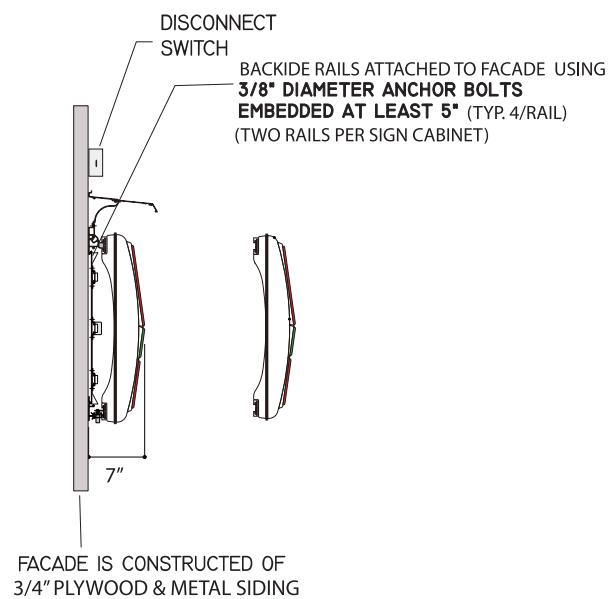
A

FASCIA SIGNAGE MANUFACTURED BY TATEYAMA.
THIS ARTWORK NOT TO BE USED FOR PRODUCTION.



ELECTRICAL NOTE: EXPOSED EXTERIOR 20 AMP WEATHERPROOF ELECTRICAL DISCONNECT REQUIRED WITHIN VISUAL RANGE OF SIGN REQUIRED FOR EVERY 16 AMPS OF SIGNAGE. ACTUAL NUMBER OF CIRCUITS TO BE DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR. ACTUAL LOCATION OF BOX MAY VARY. CIRCUITS AND SWITCH TO BE PROVIDED BY OTHERS. INPUT VOLTAGE - 120V ALL SIGNAGE WILL BE (U.L.) 48STD COMPLIANT.

SIGN CABINET & WALL MOUNT DETAIL



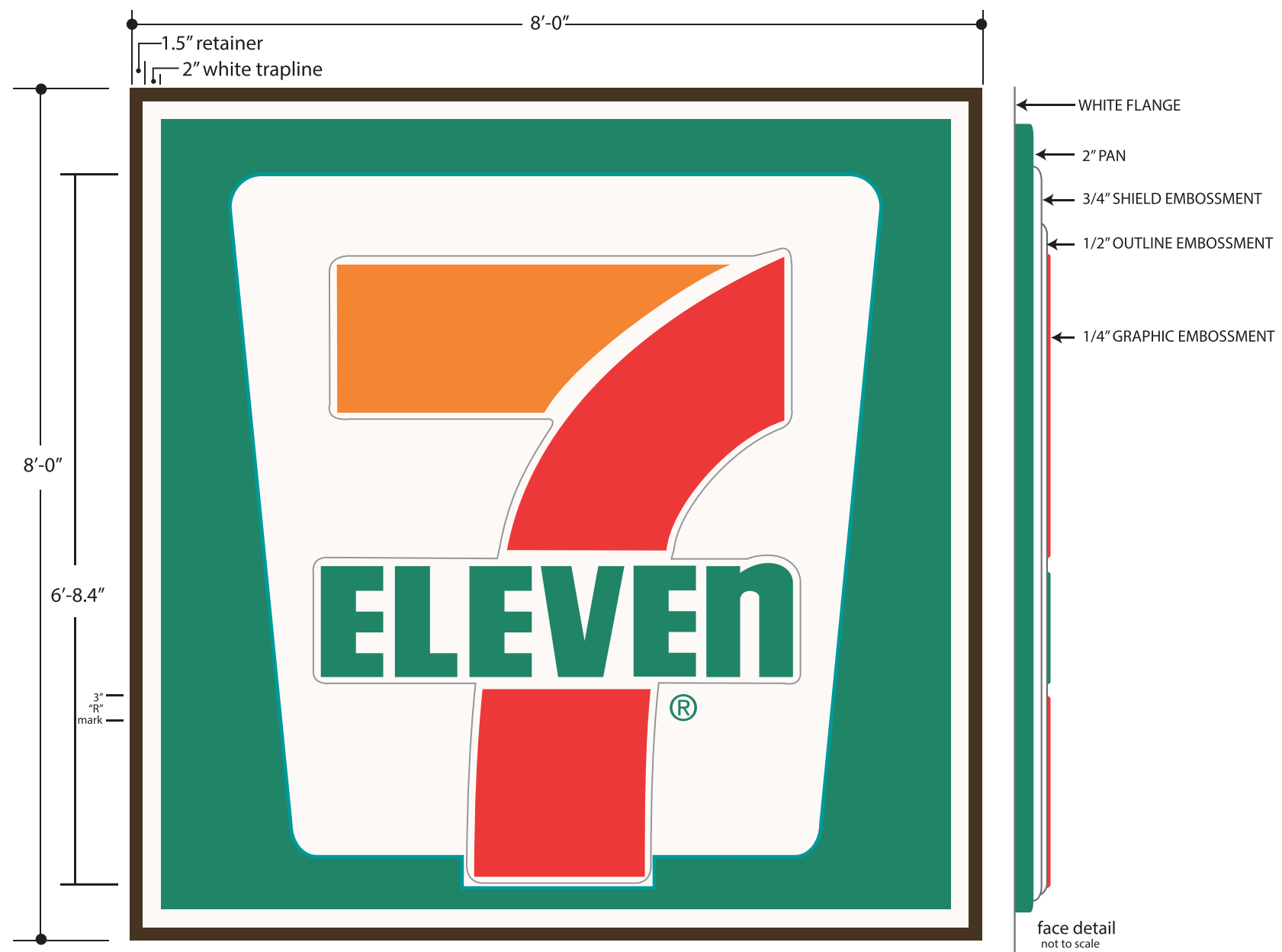
CASE# SUP#20-019
EXHIBIT E

Job Location: 41869
E. Broad St. & Matlock Rd.,
Mansfield, TX 76063
Date: June 21, 2021

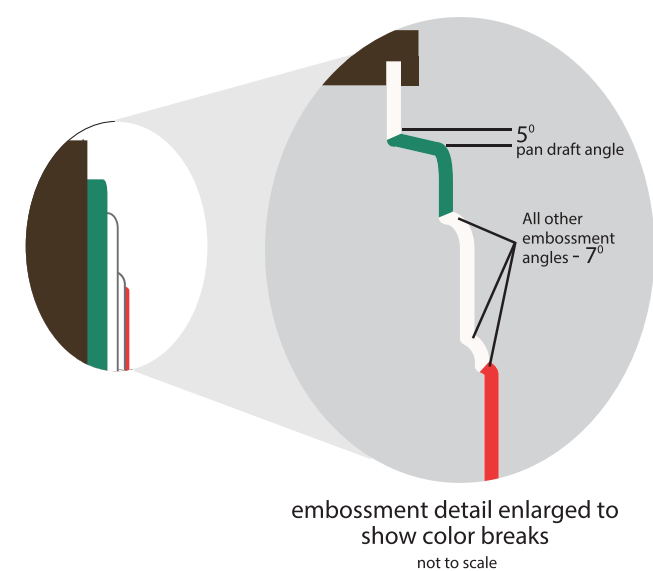


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Project Mgr.: Jennifer Hayes
jennifer.hayes@cummingsigns.com
Page: 4 of 9

B



- SINGLE FACE INTERNALLY ILLUMINATED WALL SIGNS.
 - LED ILLUMINATION.
 - 5 1/2" EXTRUDED ALUMINUM CABINET & RETAINERS PAINTED BRONZE.
 - FORMED POLYCARBONATE FACES WITH EMOSSSED GRAPHICS.
 - TRAPLINE PROPORTIONAL TO LOGO FIELD.
 - WALL SIGNS TO UTILIZE SAME TOOLING AS PYLON FAMILY.
- | | |
|--|------------|
| | 3M 3630-26 |
| | 3M 3630-33 |
| | 3M 3630-44 |
| | WHITE |
| | BRONZE |



CASE# SUP#20-019
EXHIBIT E

Job Location: 41869
E. Broad St. & Matlock Rd.,
Mansfield, TX 76063
Date: June 21, 2021



D-ORDER# 102182.07 TDP
Project Mgr.: Jennifer Hayes
jennifer.hayes@cummingsigns.com
Page: 5 of 9

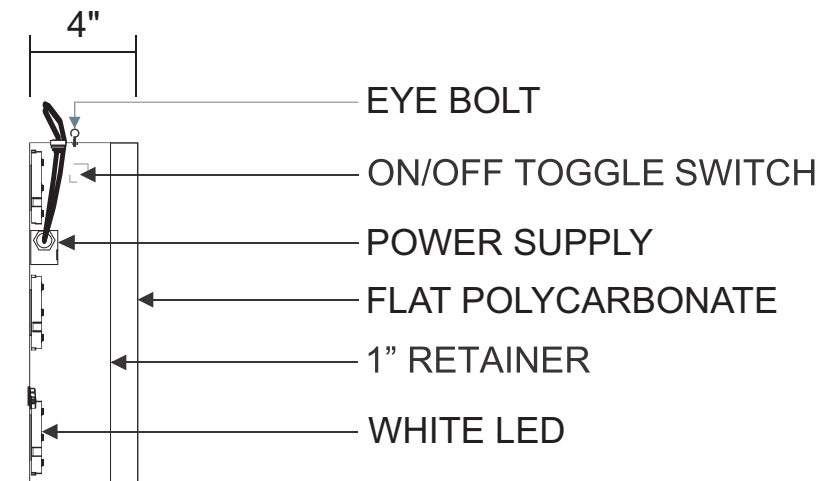
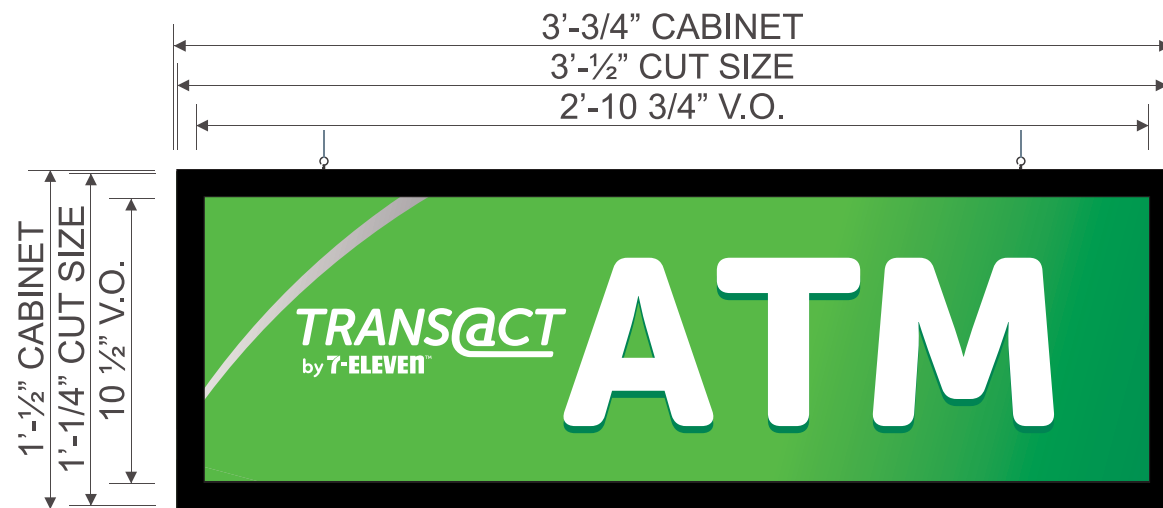


SPECIFICATIONS
 SF INTERNALLY ILLUMINATED HANGING
 SIGN (INTERIOR)

CABINET:
 EXTRUDED ALUMINUM PAINTED DURANODIC
 BRONZE 313E

FACE:
 3/16" THICK FLAT WHITE POLYCARBONATE
 WITH 1ST SURFACE DIGITAL PRINT IMAGE.

ILLUMINATION:
 GE WHITE LED



**SHOWN FOR PERMITTING PURPOSES
 ONLY. SIGN PROVIDED BY FCTI.**

Display Square Footage (Cabinet): 3.2

**CASE# SUP#20-019
 EXHIBIT E**

Job Location: 41869
 E. Broad St. & Matlock Rd.,
 Mansfield, TX 76063
Date: June 21, 2021



D-ORDER# 102182.07 TDP
Project Mgr.: Jennifer Hayes
 jennifer.hayes@cummingsigns.com
 Page: 6 of 9



WINDOW VINYL GRAPHICS.
VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.

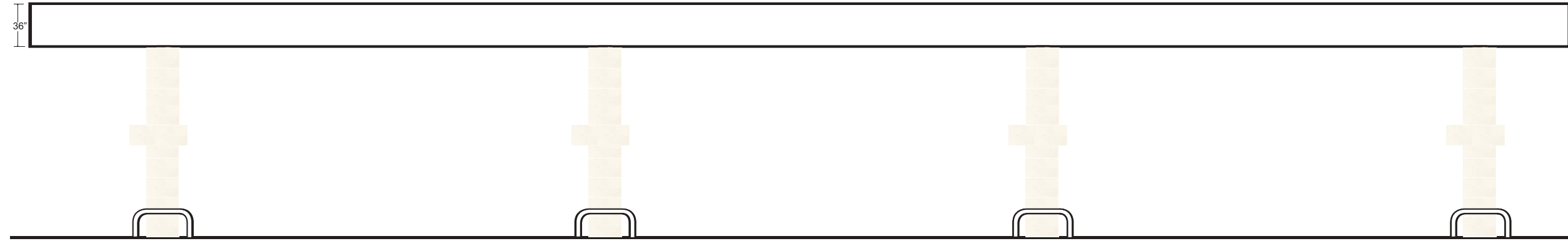
NOTE: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS. NOT PART OF CUMMINGS RESOURCES SCOPE OF WORK.
NOTE : FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.

CASE# SUP#20-019
EXHIBIT E

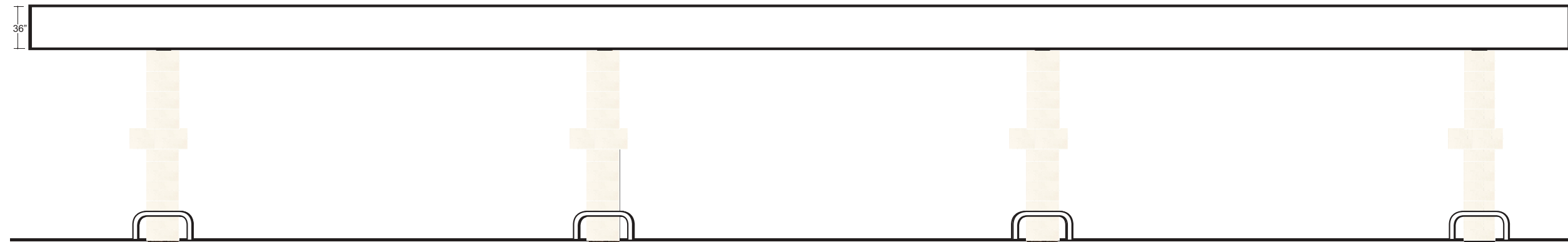
Job Location: 41869
E. Broad St. & Matlock Rd.,
Mansfield, TX 76063
Date: June 21, 2021



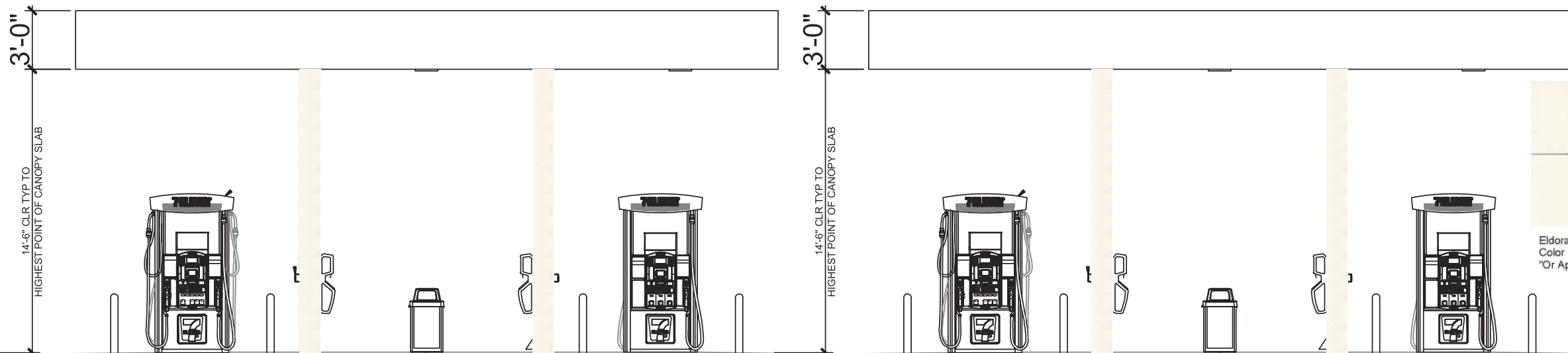
D-ORDER# 102182.07 TDP
Project Mgr.: Jennifer Hayes
jennifer.hayes@cummingsigns.com
Page: 7 of 9



WEST (FACING STORE)



EAST (FACING MATLOCK RD.)



SOUTH FACING E BROAD

NORTH FACING OPPOSITE



CASE# SUP#20-019
EXHIBIT E

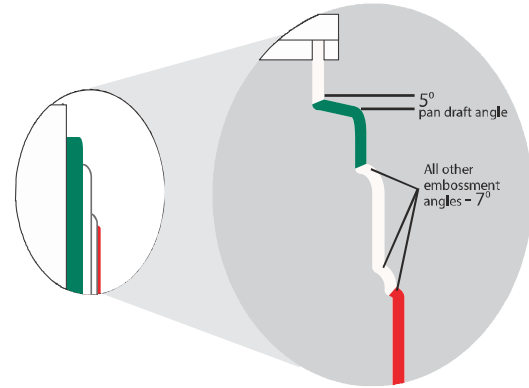
Job Location: 41869
E. Broad St. & Matlock Rd.,
Mansfield, TX 76063
Date: June 21, 2021



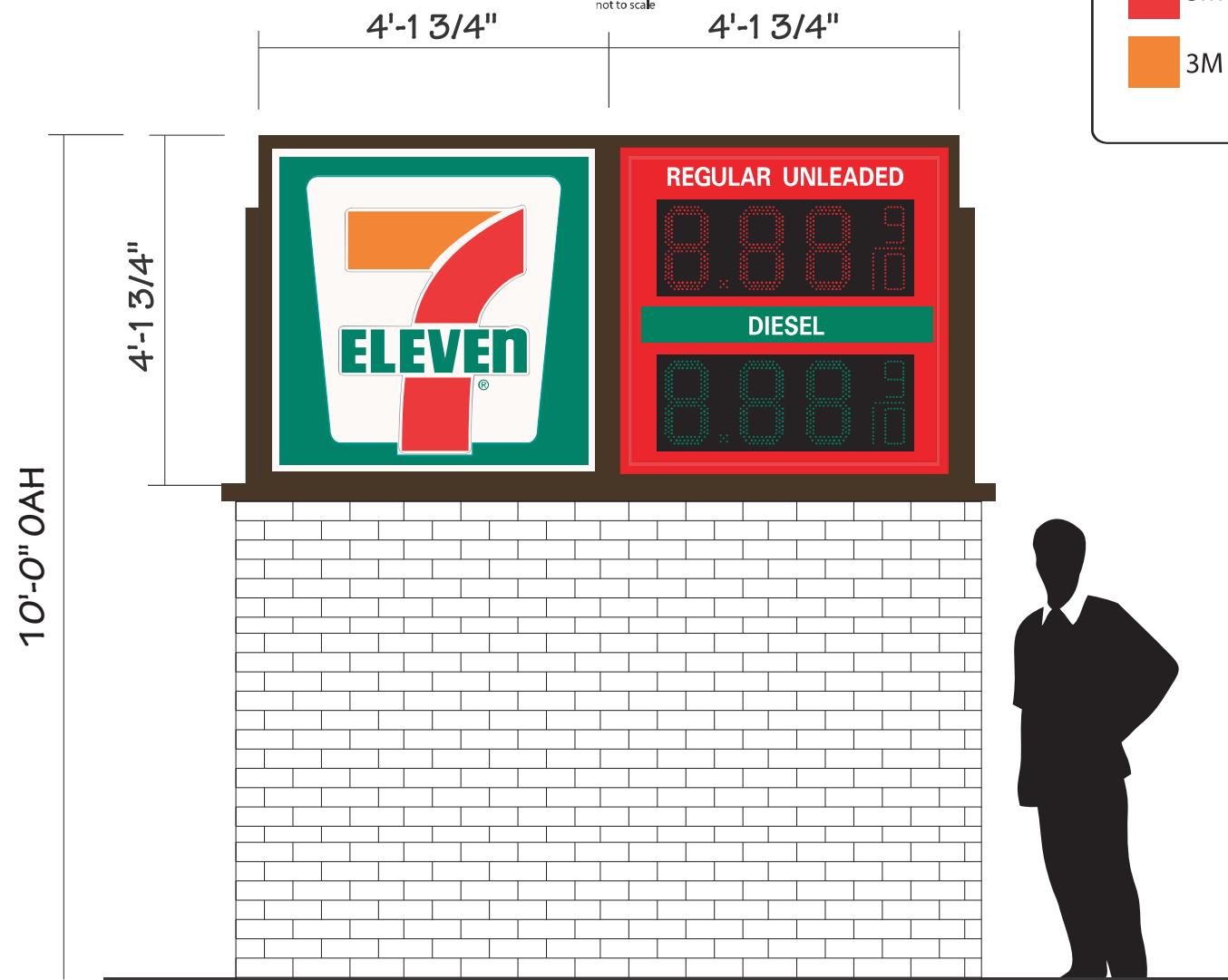
D-ORDER# 102182.07 TDP
Project Mgr.: Jennifer Hayes
jennifer.hayes@cummingsigns.com
Page: 8 of 9



7-ELEVEN



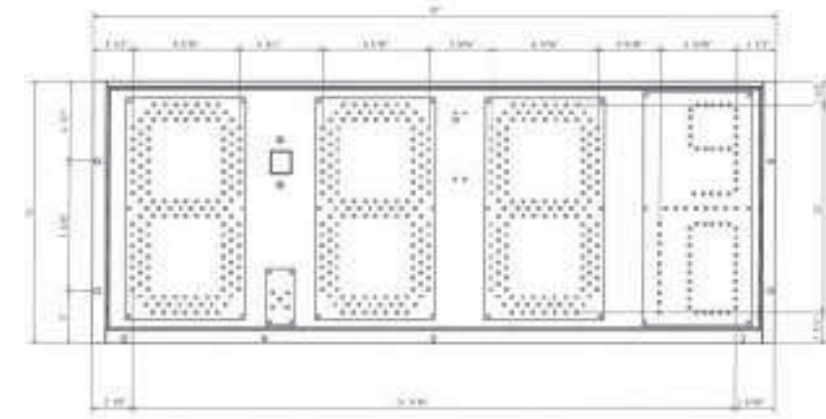
embossment detail enlarged to show color breaks not to scale



BASE MASONRY & COLOR TM BLDG.

- DOUBLE FACE INTERNALLY ILLUMINATED PYLON SIGNS.
 - LED ILLUMINATION.
 - 8" EXTRUDED ALUMINUM CABINET & RETAINERS PAINTED BRONZE.
 - FORMED POLYCARBONATE FACES WITH EMBOSSED GRAPHICS.
 - TRAPLINE PROPORTIONAL TO LOGO FIELD.
- | | | | |
|--|------------|--|--------|
| | 3M 3630-26 | | WHITE |
| | 3M 3630-33 | | BRONZE |
| | 3M 3630-44 | | |

- DOUBLE FACE INTERNALLY ILLUMINATED SIGN CABINET.
 - EXTRUDED ALUMINUM CABINET & RETAINERS PAINTED DURANODIC BRONZE.
 - PAN FORMED CLEAR ACRYLIC FACE BACK SPRAYED PMS 485 RED.
 - WHITE COPY.
 - DIESEL BACKGROUND 3M 3630-26 GREEN
 - WHITE LED ILLUMINATION
 - DIGITAL PRICER -
12" RED LED
12" GREEN LED
 - ELECTRICAL NOTES:
TOTAL AMPS - 9.0
TOTAL CIRCUITS - (1) 20 AMP REQUIRED
VOLTS - 120
- | | | | |
|--|---------|--|------------|
| | PMS 485 | | BRONZE |
| | WHITE | | 3M 3630-26 |



PROPOSED: 34.4 SQ. FT.

CASE# SUP#20-019
EXHIBIT E

Job Location: 41869
E. Broad St. & Matlock Rd.,
Mansfield, TX 76063
Date: June 21, 2021



D-ORDER# 102182.07 TDP
Project Mgr.: Jennifer Hayes
jennifer.hayes@cummingsigns.com
Page: 9 of 9



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4154

Agenda Date: 7/6/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

ZC#21-006: Public hearing for a change of zoning from PR Pre-Development District to PD Planned Development for professional office uses on approximately 0.708 acres out of the William Bratton Survey, Abstract No. 161, Tarrant County, TX, located at 1045 Matlock Rd.; Eric Grossman of Grossman Design Build (developer) on behalf of Sai Duvvuri of LMS Development LLC (owner)

Description/History

Existing Use: Vacant land

Existing Zoning: PR, Pre-Development District

Surrounding Land Use & Zoning:

North - Office, PD

South - Golf course, PR

East - Matlock Rd.; vacant land (PR) across the street

West - Golf course, PR

Thoroughfare Plan Specification:

Matlock Rd. - principal arterial (six-lane divided)

Comments and Considerations

The subject property consists of 0.708 acres of vacant land. The applicant is requesting to rezone the property from PR Pre-Development District to PD Planned Development District for professional office uses.

Development Plan

The proposed Development Plan includes three one-story buildings: a 3,036 sq. ft. office building (Building A), a 1,832 sq. ft. recreation building (Building B), and an 802 sq. ft. storage building (Building C). The development will house the offices of Grossman Design Build.

Access into the development will be provided by a single access point directly on Matlock Rd.; the access point will be right-in/right-out. An excessive area of public right-of-way to accommodate utility lines constrains the area of the site and requires deviations from the typical building setback requirements. Also due to this condition, access into the site, a turnaround facility, entry landscaping, and monument signage are all proposed to be placed in the right-of-way. Access into the site will be gated; a turnaround area will be provided ahead of the gate. The development will be served by an 11-space parking lot.

15 spaces would typically be required, but the applicant has demonstrated that the 11 spaces is adequate for their needs, particularly with a significant portion of their total building area devoted to recreational uses for the office employees. When only considering the office building (Building A), the site meets the typical parking requirements applicable to office uses (1 space per 300 sq. ft.). To provide pedestrian access, sidewalks and crosswalks connect the different buildings on the site and a sidewalk connection is provided to the public sidewalk along Matlock Rd.

Due to the low level of trash generation expected for this development, trash service will be handled via trash carts, with the trash carts to be stored in the storage building. The applicant has specified that they will adhere to the City's typical Zoning Ordinance requirements as it relates to equipment and service area screening and that lighting will be designed to be shielded downward and not trespass onto other properties or cause glare. Attached to the Development Plan, the applicant has also provided floor plans for the buildings.

Elevations and Perspectives

The buildings employ a more contemporary design, but with the use of traditional materials. The buildings are heavily articulated with wall plane recesses and projections and roof height variations, with an overall maximum height ranging from 16'-6" to 17'-6". The roof also includes a mix of flat design and slight slopes (with 1:12 and 2:12 pitches). The buildings are also accentuated by abundant windows and doors, particularly on the facades facing the golf course to the west, as well as a metal flashing system and decorative lights. In addition, an arbor is provided adjacent to the office building and a covered patio is provided adjacent to the recreation building. The buildings include a mix of brick, stone, split-face concrete blocks, wood, and metal siding. Overall, the buildings are at least 65% masonry, which is just slightly off the City's typical 70% requirement for commercial buildings but which allows for the more contemporary design and the use of wood and metal materials. Color perspectives have been provided to illustrate how the development will appear from different angles. To provide more mix of materials to match the other buildings and break up areas of blank wall, staff recommends that the storage building be revised to provide for a stone base.

Landscaping and Screening

Landscaping will be provided as shown on the Landscape Plan. The site was particularly designed to preserve many of the existing trees on the property. 21 trees will be preserved, 2 trees will be transplanted, and 8 trees will be removed. The preserved trees include a mix of cedar, hackberry, locust, elm, and mesquite trees and will be protected during construction. In addition, several more trees in the public right-of-way area will be preserved. The main entrance will be lined with shrubs and grasses and include seasonal color at the intersection. In addition, shrubs, grasses, ornamental trees, and seasonal color will line the foundations of the buildings and accentuate the parking and pedestrian walkway areas. A mix of wrought-iron and wood fencing will provide screening along the east and north property lines, as well as gates to provide vehicular and pedestrian access. The wrought-iron fence will be 3'6" in height, while the wood fence will be 6' in height; design details are provided in the Elevations. In order to provide for more of an open design more appropriate for an office development adjacent to a golf course and

other office buildings and to provide for more consistent screening, staff recommends that all screening be changed to the 3'6" wrought-iron fence. With the change in screening, additional shrubs may be required to soften the north sides of the buildings and screen any equipment.

Signage

The applicant has noted on the Development Plan that all signage will follow the typical standards applicable to OP zoning. A location for a monument/directory sign has been identified along Matlock Rd. at the entrance into the site; this sign will be located in the right-of-way and subject to removal if the City or utility providers need access. In addition, the Elevations show an externally-lit wall sign to be placed on the front of the main office building (Building A).

Recommendation:

The proposed plan will provide for the development of an office building and accessory recreation and storage buildings. The site has been designed to preserve as many trees as possible, while providing the parking and pedestrian access necessary to serve the development, as well as additional landscaping to enhance the site. The building architecture provides for a more contemporary style, but with the use of traditional building materials. The proposed low-intensity professional office use is consistent with the existing office uses immediately to the north and additional office and medical uses further to the south. To be sensitive to the adjacent golf course and nearby residential uses, the buildings are single-story with a maximum height not exceeding 17'-6". Staff recognizes the unique configuration of the property (with an extensive area of right-of-way) and therefore supports the deviations from some of the standard requirements (i.e. reduced front setback, sign and turnaround located in the right-of-way, etc.) in order to provide for a quality development on a site that is ordinarily difficult to develop. Staff recommends approval with the following conditions:

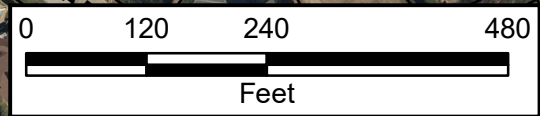
1. A stone base shall be provided on the storage building and additional shrubs shall be provided to soften the north sides of the buildings and screen any equipment, as necessary.
2. The perimeter screening shall be revised to a 3'6" wrought-iron fence for the entirety, with the wood fence sections removed.

Attachments:

Maps and Supporting Information
Exhibit A - Property Description
Exhibit B - Development Plan and Floor Plans
Exhibit C - Elevations and Perspectives
Exhibit D - Landscape Plan



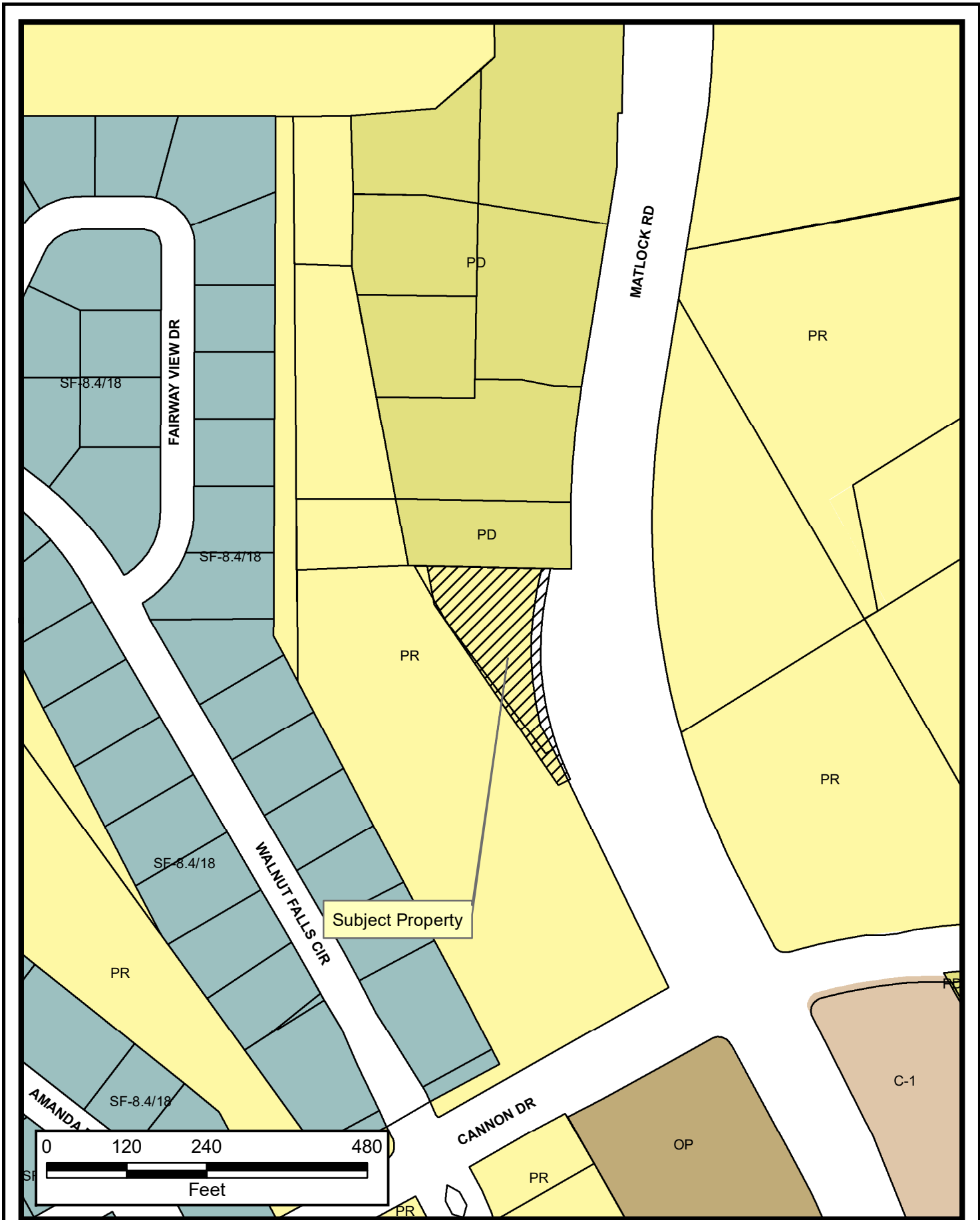
Subject Property



ZC#21-006

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

6/24/2021



ZC#21-006

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

6/24/2021

Property Owner Notification for ZC#21-006

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BRATTON, WILLIAM SURVEY	A 161	WALNUT CREEK MANAGEMENT CORP	PO BOX 2539	SAN ANTONIO, TX	78299
BRATTON, WILLIAM SURVEY	A 161	HORNING-LOCKWOOD, STEPHEN C	20 WOODLAND CT	MANSFIELD, TX	76063-6033
BRATTON, WILLIAM SURVEY	A 161	LMS DEVELOPMENT LLC	6617 OAK HILL CT	FORT WORTH, TX	76132-4580
BRATTON, WILLIAM SURVEY	A 161	WALNUT CREEK MANAGEMENT CORP	PO BOX 2539	SAN ANTONIO, TX	78299
BRATTON, WILLIAM SURVEY	A 161	WALNUT CREEK MANAGEMENT CORP	PO BOX 2539	SAN ANTONIO, TX	78299
BRATTON, WILLIAM SURVEY	A 161	WALNUT CREEK MANAGEMENT CORP	PO BOX 2539	SAN ANTONIO, TX	78299
BRATTON, WILLIAM SURVEY	A 161	VESS, CHARLES M & ANGELA SUE	3047 RIDGEVIEW DR	GRAPEVINE, TX	76051
CREEKSIDE PLAZA (MANSFIELD)	BLK 1	TNA REALTY LP	1000 W CANNON ST	FORT WORTH, TX	76104
ROPE, A INVESTMENTS	BLK 1	A ROPE INVESTMENTS LLC	3451 PLAINVIEW RD	MIDLOTHIAN, TX	76065

Property Description

April 15, 2021 - AN4405-R2
 *see Page 2 of 2 for Exhibit A-2

Of a 0.708 acre tract situated in the William Bratton Survey, Abstract No. 161, Tarrant County, Texas, and being that same called 0.5970 acre tract described in instrument to LMS Development, LLC, recorded under Instrument Number D213304350, of the Official Public Records of Tarrant County, Texas, (O.P.R.T.C.T.), said 0.708 acre tract being more particularly described in this metes and bounds description:

BEGINNING at a 1/2" iron rod with cap stamped "Texas Surveying, Inc." set in the westerly right-of-way of Matlock Road, (120 feet wide), being in the southerly line of Lot 1, Block 1, A. Rope Investments as shown on Minor Plat recorded under Instrument Number D219225345, O.P.R.T.C.T., for the northwest corner of that certain 0.252 acre tract described in instrument to City of Mansfield, recorded in Volume 12194, Page 2248, O.P.R.T.C.T., being the northeast corner of the herein described tract, from which a 5/8" iron rod with cap found for the southeast corner of said Lot 1 bears S 88°42'31" E, 31.66 feet;

THENCE S 09°21'44" W, 52.93 feet, with the westerly right-of-way of said Matlock Road, the westerly line of said 0.252 acre tract, to a 1/2" iron rod with cap stamped "Texas Surveying, Inc." set for the beginning of a 434.88 foot radius curve to the left;

THENCE 269.63 feet southerly, continuing with the westerly right-of-way of said Matlock Road, the westerly line of said 0.252 acre tract, and with said 434.88 foot radius curve to the right, having a chord bearing and distance of S08°23'58" E, 265.33 feet, to a point in a northerly line of that certain 68.667 acre tract described in instrument to Walnut Creek Management, recorded in Volume 11702, Page 1748, O.P.R.T.C.T., for the southwest corner of said 0.252 acre tract, being the northwest corner of that certain 0.400 acre tract described in instrument to City of Mansfield, recorded in Volume 12542, Page 139, O.P.R.T.C.T., and being the southeast corner of the herein described tract, from which a 1/2" iron rod with cap found for reference bears N 73°14' W, 0.48 feet, and a 1/2" iron rod found for a northeast corner of said 68.667 acre tract, being the northeast corner of said 0.400 acre tract and the southeast corner of said 0.252 acre tract bears N63°50'21" W, 35.00 feet;


THENCE S 63°50'21" W, 20.39 feet, with a northerly line of said 68.667 acre tract, to a point for an interior corner of said 68.667 acre tract, being the southwest corner of the herein described tract, from which a 1/2" iron rod with cap found for reference bears S 02°06' W, 0.40 feet;

THENCE N 34°25'43" W, 327.47 feet, with an easterly line of said 68.667 acre tract, to a 1/2" iron rod with cap found for an angle point in said line;

THENCE N 10°30'44" W, 58.73 feet, continuing with an easterly line of said 68.667 acre tract, to a 1/2" iron rod found in the south line of said Lot 1, for a northeasterly corner of said 68.667 acre tract, being the northwesterly corner of the herein described tract, from which a 1/2" iron rod with cap found for an interior corner of said 68.667 acre tract, being the southwest corner of said Lot 1 bears N 88°42'31" W, 28.24 feet;

THENCE S 88°42'31" E, 184.06 feet, with the southerly line of said Lot 1, to the POINT OF BEGINNING, and containing 0.708 acres within the herein described metes and bounds description. Bearings, Distances, and/or Areas derived from GNSS observations performed by Texas Surveying, Inc. and reflect N.A.D. 1983, Texas State Plane Coordinate System, North Central Zone 4202. (Grid)

I, the undersigned, a Registered Professional Land Surveyor in the State of Texas, do certify that the above described property was surveyed on the ground; by me or under my direct supervision; visible conflicts, encroachments, and overlaps are as shown on this plat or map attached hereto; the area & boundary were determined with respect to the recorded references as shown; and the information presented is true & correct to the best of my knowledge. In addition, it is not intended to express or imply warranty, guarantee of ownership, or transfer of title, and this survey is subject to all applicable copyright laws from the date of this survey. The use of this survey is at the sole discretion of the end-user and/or assigns, all injuries, claims, losses, expenses, damages, or claim expenses arising from the use of this survey are the responsibility of the end-user and/or assigns. The surveyor's liability is limited to no greater than the fee charged for the professional services rendered during the course of this survey. To protect all parties involved, this survey is only valid if original seal & signature appear on the face of this survey in blue ink.



 Zachariah R. Savory, Registered Professional Land Surveyor No. 5966
 Texas Surveying, Inc. - Aledo Branch
 205 S. Front Street, Aledo TX 76008
 aledo@txsurveying.com - 817-441-5263(LAND)
 AN04405 - December 23, 2020



Property Exhibit

April 15, 2021 - ANO4405-R2
 *see Page 1 of 2 for Description

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD DISTANCE
CI	434.88'	269.63'	S 08°23'58" E	265.33'

LINE	BEARING	DISTANCE
L1	S 09°21'44" W	52.93'
L2	S 63°50'21" W	20.39'
L3	N 10°30'44" W	58.73'
L4	N 10°36'35" W	102.09'

MINOR PLAT
 Lot 1, Block 1
 A. ROPE INVESTMENTS
 D219225345

Fd. 1/2" Capped Iron Rod

Fd. 1/2" Capped Iron Rod

Fd. 1/2" Capped Iron Rod

S 88°42'31" E 184.06'

P.O.B.

Fd. 5/8" Capped Iron Rod

WILLIAM BRATTON SURVEY
 ABSTRACT No. 161

Notes)

- 1) No abstract of title or title commitment was provided to this surveyor. Record research performed by this surveyor was made only for the purpose of determining the boundary of this property and of the adjoining parcels. Record documents other than those shown on this survey may exist and encumber this property.
- 2) Official F.E.M.A. flood hazard information has not been reviewed during the course of this survey, for up to date flood hazard information always visit the official F.E.M.A. website at (www.FEMA.gov).
- 3) Bearings, Distances, and/or Areas derived from GNSS observations and reflect N.A.D. 1983, Texas State Plane Coordinate System, North Central Zone 4202. (Grid)
- 4) Governmental entities may require this property to be further platted and recorded with the County Clerk.
- 5) Underground utilities were not located during this survey. Call 811 and/or Utility Providers before excavation or construction.
- 6) Please consult all applicable governing entities regarding rules & regulations, that may affect construction on this property.
- 7) C.I.R.S.- 1/2" Capped Iron Rod Set with orange plastic caps stamped "Texas Surveying"

0.708 ACRES
 LMS DEVELOPMENT LLC
 CALLED O.5970 AC.
 D213304350

WALNUT CREEK MANAGEMENT CORPORATION
 N 34°25'43" W 327.47'
 68.667 AC
 V. 11702. P. 1748

CITY OF MANSFIELD
 0.252 AC
 V. 12194, P. 2248

1045 MATLOCK ROAD
 120' R.O.W.

Fd. 1/2" Capped Iron Rod
 N 13°4' W 0.44'

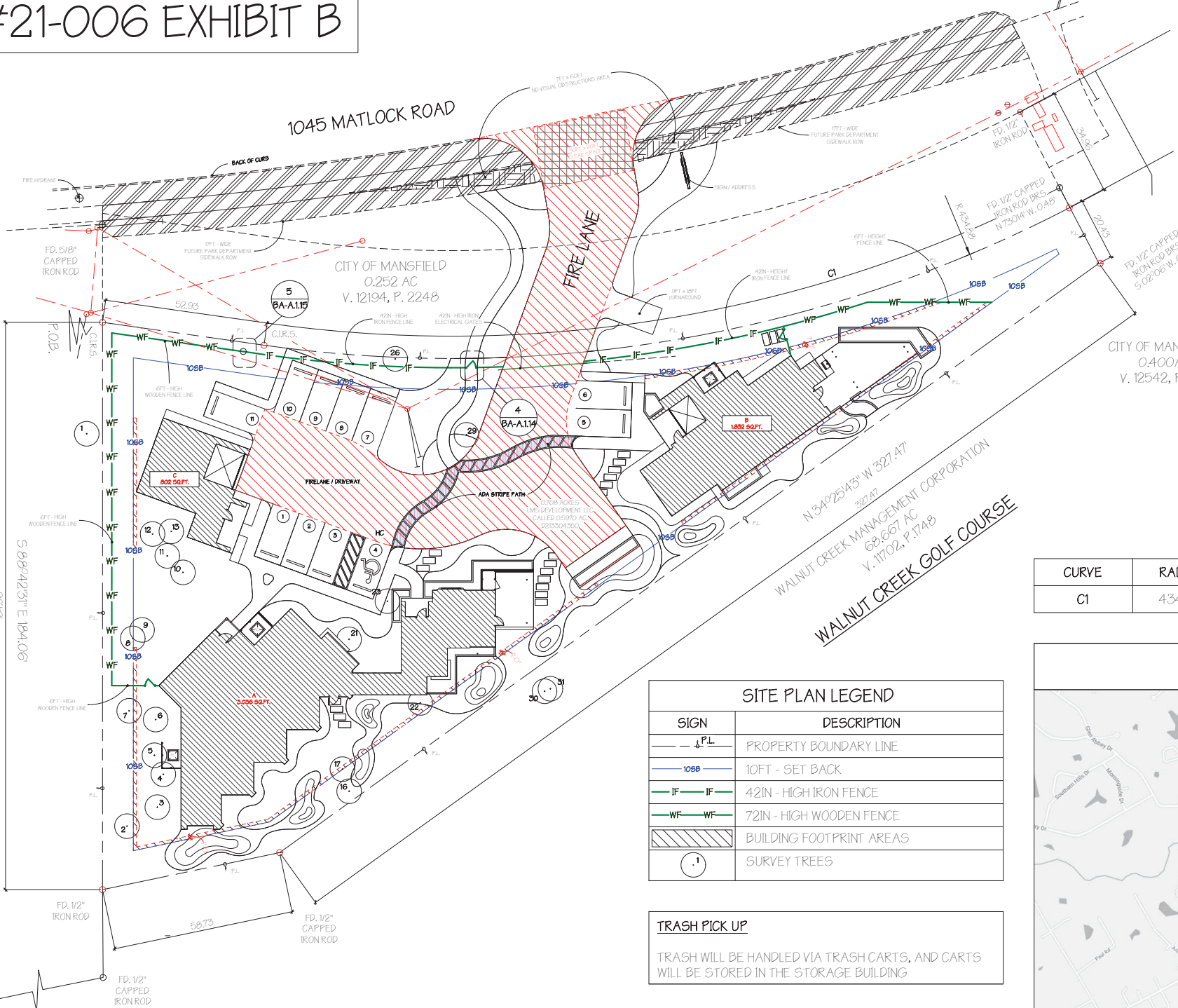
Fd. 1/2" Capped Iron Rod

CITY OF MANSFIELD
 0.400 AC
 V. 12542, P. 139

Legend	
	Light Pole
	Power Pole
	Electric Meter
	Overhead Electric
	Telecom
	Telecom Vault
	Storm Drain Manhole
	Fence
	Fire Hydrant
	Water Meter
	Sanitary Sewer Manhole
	Gas Meter
	Gas Test Station
	Mail Box
	Sign Post
	Guy Wire



ZC#21-006 EXHIBIT B



MINOR PLAT
LOT 1, BLOCK 1
A. ROPE INVESTMENTS
D219225345

SITE PLAN LEGEND

SIGN	DESCRIPTION
--- P.L.	PROPERTY BOUNDARY LINE
1058	10FT - SET BACK
IF - IF	42IN - HIGH IRON FENCE
WF - WF	72IN - HIGH WOODEN FENCE
[Hatched Area]	BUILDING FOOTPRINT AREAS
(1)	SURVEY TREES

TRASH PICK UP

TRASH WILL BE HANDLED VIA TRASH CARTS, AND CARTS WILL BE STORED IN THE STORAGE BUILDING

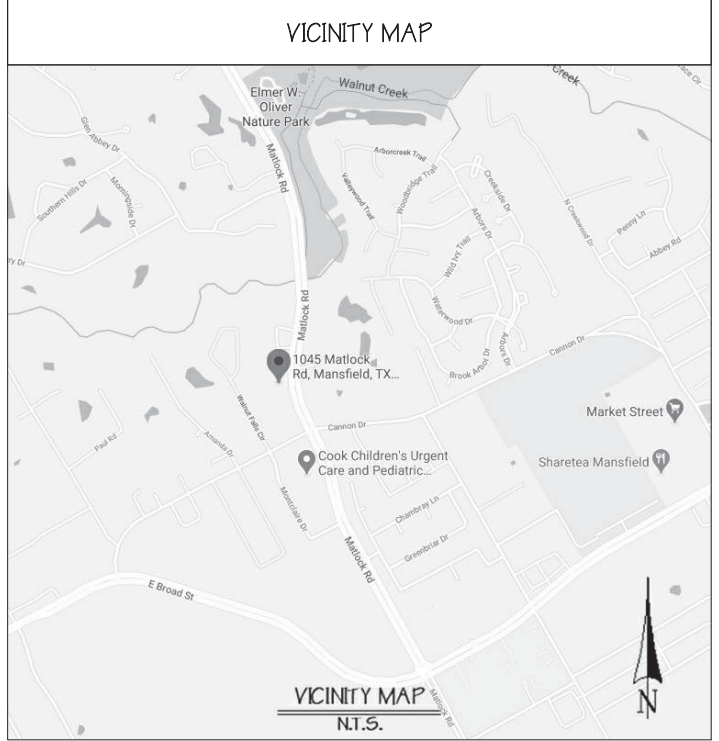
MASONRY

TOTAL MASONRY COVERAGE FOR ALL 3 BUILDINGS IS 65%
TOTAL MASONRY COVERAGE INCLUDING STUCCO FOR ALL THREE BUILDINGS IS 74%

OWNER'S INFORMATION

OWNER: GROSSMAN DESIGN BUILD
CONTACT: ERIC GROSSMAN
817-899-7077
ERIC@GROSSMANDESIGNBUILD.COM
ADDRESS: 911 E. BROAD ST. MANSFIELD, TEXAS 76063

CURVE	RADIUS	ARC	CHORD	CHORD
C1	434.88'	269.63'	5 08'2358"	E265.33'



DEVELOPMENT PLAN

PROJECT NAME: GROSSMAN DESIGN BUILD OFFICE
PARCEL NAME: UMB DEVELOPMENT LLC
LOCATION: 1045 MATLOCK ROAD, MANSFIELD, TEXAS 76063, TARRANT COUNTY
ACRES: 0.53
1 LOT, DEVELOPMENT WILL OCCUR SIMULTANEOUSLY

PLANNING DEVELOPMENT NOTES

THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS OR ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

ALL SIGNAGE WILL ADHERE TO THE REGULATIONS FOR OP ZONED PROPERTIES AS SPECIFIED PER ZONING ORDINANCE.

ALL SERVICE AREAS AND MECHANICAL EQUIPMENT WILL BE SCREENED PER ZONING ORDINANCE.

ALL TRASH ENCLOSURES WILL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.

ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.

ALL LIGHTING WILL BE DESIGNED TO BE SHIELDED DOWNWARD AND NOT TRESPASS ONTO OTHER PROPERTIES OR CAUSE GLARE.

DEVELOPER IS PROPOSING IMPROVEMENTS IN THE ROW, AND ARE RESPONSIBILITY OF THE OWNER TO MAINTAIN. THE CITY IS NOT RESPONSIBLE FOR REPLACEMENT OR MAINTENANCE OF THESE IMPROVEMENTS. THE CITY RESERVES THE RIGHT TO REMOVE THESE IMPROVEMENTS IF THEY ARE IN CONFLICT WITH CITY IMPROVEMENTS.



SITE PLAN AREA CALCULATION

AREA ID	AREA, SQ.FT.
PROPERTY	30,845
BUILDING (3 BLOCKS)	5,670
*SIDEWALKS	1,109
PARKING	1,935
*DRIVES	4,097
# OF PARKING	11
ADA SPACE	1
BLDG COVERAGE	0.18 %
IMPERVIOUS LOT / COVERAGE	0.41 %

NOTE:
* - LOCATED ON PROPERTY AREA

UNDER ROOF TOTAL BUILDING AREA CALCULATION

ID	BUILDING	AREA, SQ.FT.
BUILDING A	OFFICE	3,036
BUILDING B	RECREATION	1,832
BUILDING C	STORAGE	802
TOTAL GROSS UNDER ROOF:		5,670 SQ.FT.

MAX PARKING LOTS CALCULATION

ID	AC AREA, SQ.FT.	RULES FOR CALC.	TOTALS
BLDG A	2,723	1 per 300 SQ.FT.	9.1 Spaces
BLDG B	1,330	1 per 300 SQ.FT.	4.4 Spaces
BLDG C	713	1 per 500 SQ.FT.	1.4 Spaces
REQUIRED:			14.9 Spaces
PROVIDED:			11 Spaces

PARKING CALCULATION

BLDG A OFFICE = 1,836 USABLE
1,836 SQ.FT. ÷ V300 = 6 SPACES

BLDG B RECREATIONS = 812 USABLE
812 SQ.FT. ÷ V300 = 2.7 SPACES = 3 SPACES

BLDG C STORAGE = 713 USABLE
713 SQ.FT. ÷ V500 = 1 SPACES

10 TOTAL SPACES REQUIRED
11 SPACES PROVIDED
10 STANDARD / 1 HC SPACES

SQ.FT. CALCULATIONS SUMMARY

BLDG A OFFICE = 3,036 SQ.FT. UNDER ROOF
OFFICES / CONFERENCE AREAS / BREAK ZONES = 1,836 SQ.FT. USABLE ROOMS
HALLWAYS / RECEPTION = 619 SQ.FT.
CLOSETS / TOILETS = 268 SQ.FT.
PORCHES / PATIO = 313 SQ.FT.

BLDG B RECREATION = 1,832 SQ.FT. UNDER ROOF
EXERCISE / KITCHEN GOLF = 812 SQ.FT.
MECH / HALLWAY / STORAGE = 383 SQ.FT.
SHOWER / TOILET / LOCKER = 135 SQ.FT.
PORCHES / PATIO = 502 SQ.FT.

BLDG C STORAGE = 802 SQ.FT. UNDER ROOF
STORAGE = 713 SQ.FT.
TOILET = 60 SQ.FT.
PORCH = 90 SQ.FT.

ISSUED FOR

REVIEW SET

SEAL

ARCHITECT

Grossman Design Build
911 East Broad Street
Mansfield, Texas 76063
817-473-9168
www.gdcvsemanidesignbuild.com

PROJECT INFO

GROSSMAN DESIGN BUILD OFFICE
1045 MATLOCK RD, MANSFIELD, TEXAS 76063

SHEET INFO

PROJECT NO:
DRAWN BY:
CHECKED BY:
SCALE: 1" = 20'-0"
DATE: 24.06.2021

TITLE & NO

OVERALL SITE PLAN

A.104



MINOR PLAT
LOT 1, BLOCK 1
A. ROPE INVESTMENTS
D219225345

NOTE: NO TREES, BUSHES, SIGNS, WALLS OR ANYTHING OVER 2 FEET IN HEIGHT IS ALLOWED WITHIN THE VISIBILITY TRIANGLES

BUILDING MAX HEIGHT:	
BUILDING A	17'- 6"
BUILDING B	16'- 6"
BUILDING C	16'- 6"

SITE PLAN LEGEND	
SIGN	DESCRIPTION
	PROPERTY BOUNDARY LINE
	10FT - SET BACK
	42IN - HIGH IRON FENCE
	72IN - HIGH WOODEN FENCE
	FIRE HOSE LINE - 150'
	HOSE LAY TERMINATION
	DRIVE / FIRELANE AREA
	BUILDING FOOTPRINT AREAS
	7FT x 60FT NO VISUAL OBSTRUCTIONS AREA
	17FT - WIDE FUTURE PARK DEPARTMENT SIDEWALK ROW

CURVE	RADIUS	ARC	CHORD	CHORD
C1	434.88'	269.63'	5 08°23'58"	E265.33'

GRAPHIC SCALE: 1" = 20'-0"



DIMENSION SITE PLAN
1" = 20'-0"

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TEXAS 76063

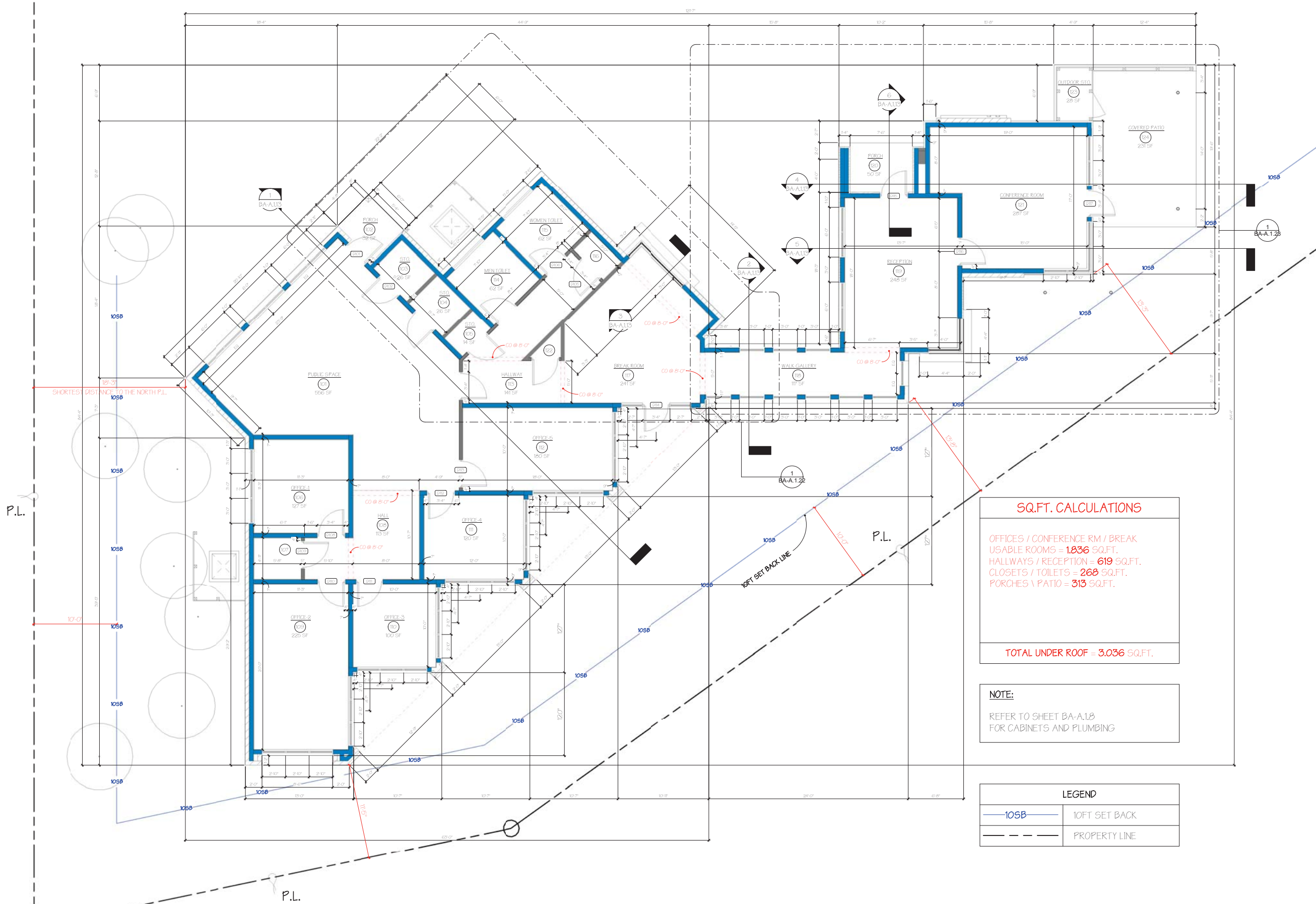
SHEET INFO

PROJECT NO:
DRAWN BY:
CHECKED BY:
SCALE: 1" = 20'-0"
DATE: 24.06.2021

TITLE & NO

DIMENSION SITE PLAN

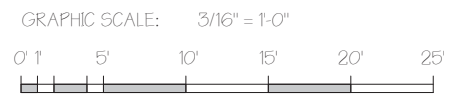
A.105



SQ.FT. CALCULATIONS	
OFFICES / CONFERENCE RM / BREAK USABLE ROOMS =	1,836 SQ.FT.
HALLWAYS / RECEPTION =	619 SQ.FT.
CLOSETS / TOILETS =	268 SQ.FT.
PORCHES \ PATIO =	313 SQ.FT.
TOTAL UNDER ROOF =	3,036 SQ.FT.

NOTE:
REFER TO SHEET BA-A.1.B
FOR CABINETS AND PLUMBING

LEGEND	
	10FT SET BACK
	PROPERTY LINE

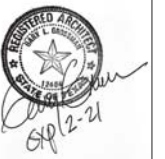


BLDG A - OFFICE. DIMENSIONED PLAN
3/16" = 1'-0"

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ARCHITECT

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911 East Broad Street
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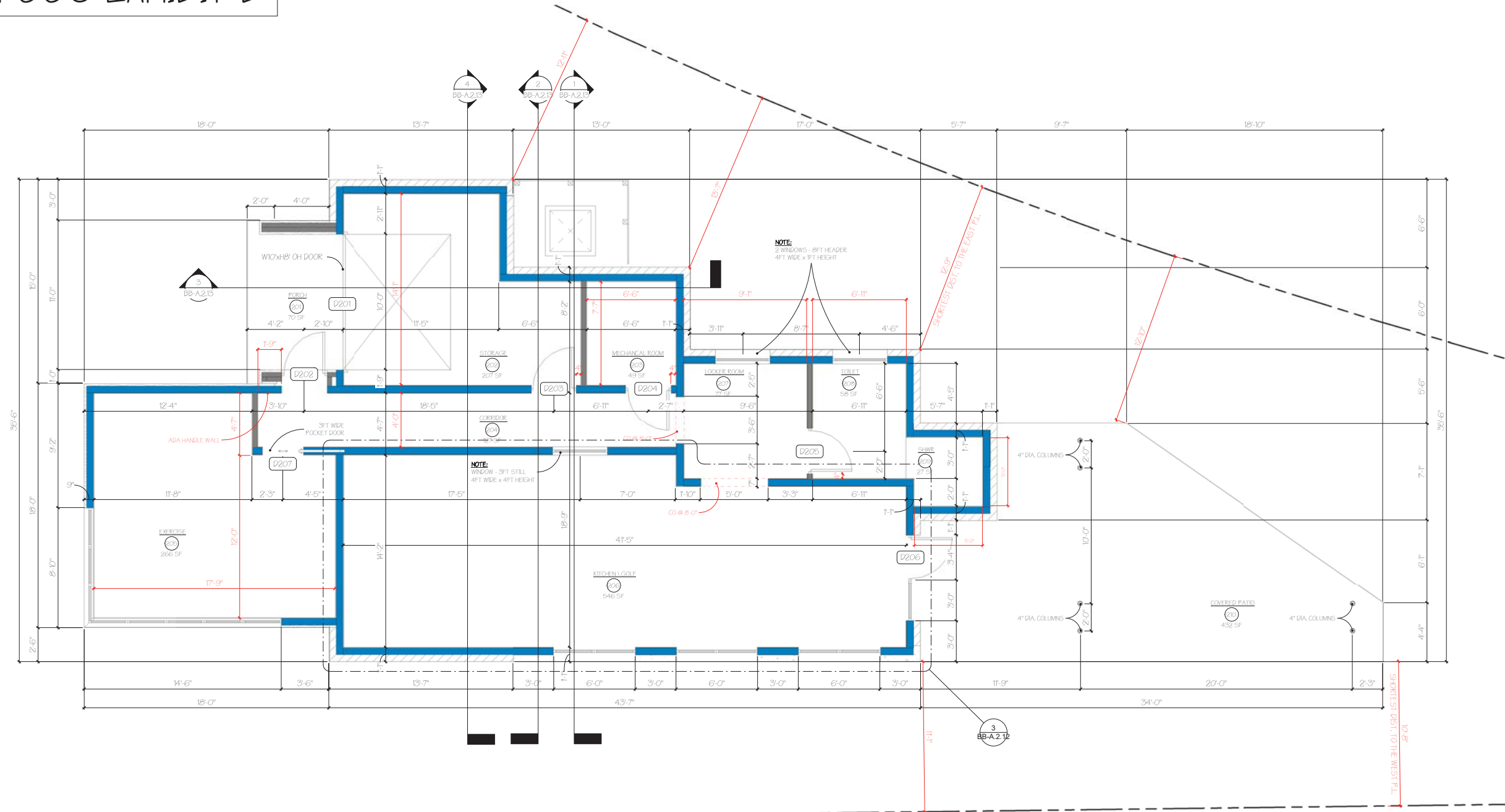
SHEET INFO

PROJECT NO:
DRAWN BY:
CHECKED BY:
SCALE: 3/16" = 1'-0"
DATE: 10.06.2021

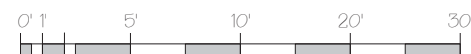
TITLE & NO

BLDG A - OFFICE.
DIMENSIONED PLAN

BA-A.1.6



GRAPHIC SCALE: 1/4" = 1'-0"



SQ.FT. CALCULATIONS	
EXERCISE / KITCHEN GOLF	= 812 SQ.FT.
MECH / HALLWAY / STORAGE	= 383 SQ.FT.
SHOWER / TOILET / LOCKER	= 135 SQ.FT.
PORCHES / PATIO	= 502 SQ.FT.
TOTAL UNDER ROOF	= 1,832 SQ.FT.

LEGEND	
	10FT SET BACK
	PROPERTY LINE



BLDG B - RECREATION. DIMENSIONED PLAN
1/4" = 1'-0"

ISSUED FOR

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ARCHITECT

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1045 MATLOCK RD, MANSFIELD,
TEXAS 76063

SHEET INFO

PROJECT NO:
DRAWN BY:
CHECKED BY:
SCALE: 1/4" = 1'-0"
DATE: 10.06.2021

TITLE & NO

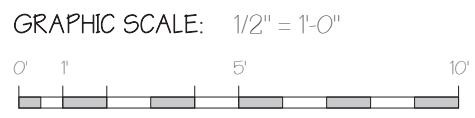
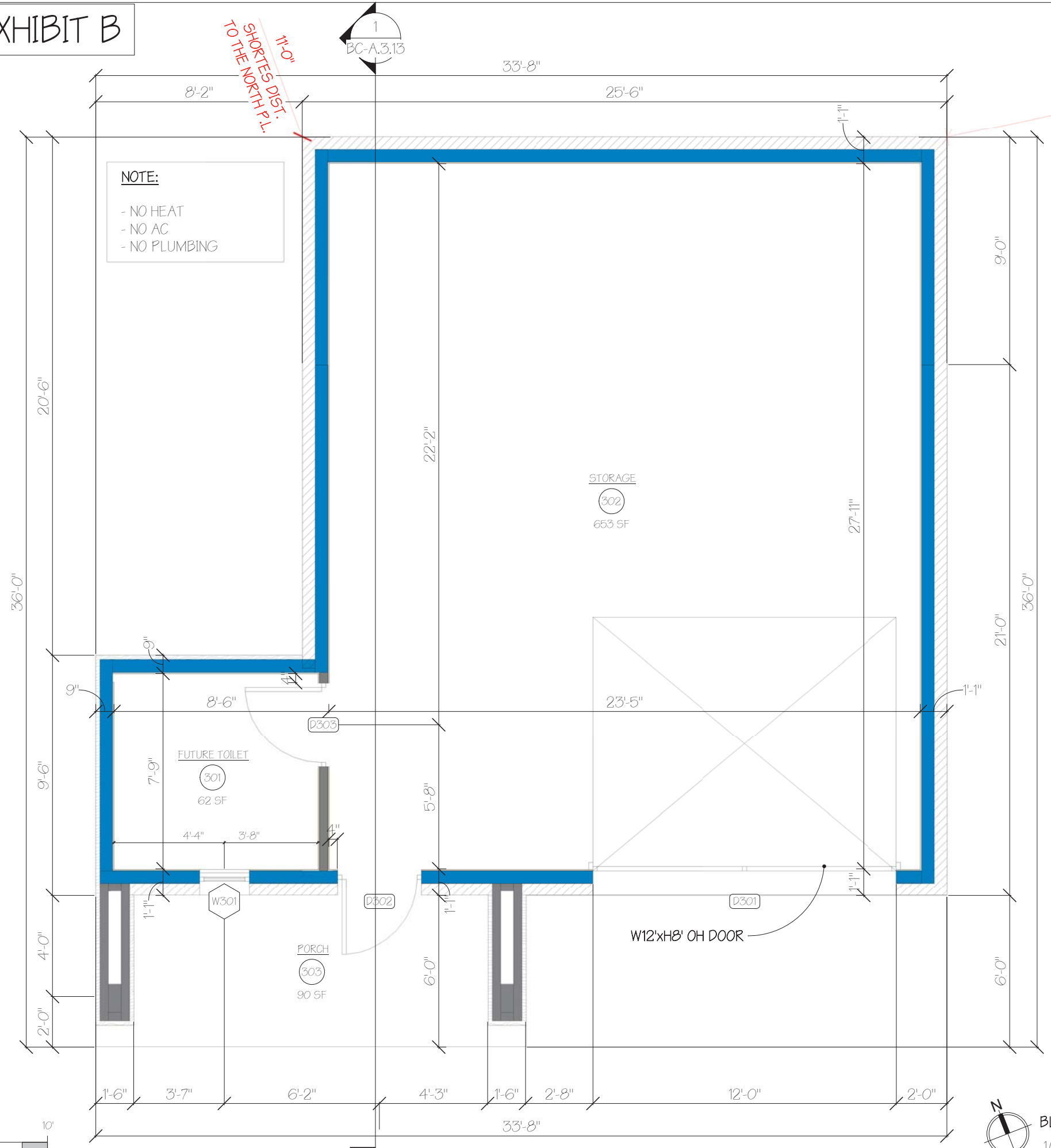
BLDG B - RECREATION.
DIMENSIONED PLAN
BB-A.2.6

11'-0"
SHORTEST DIST.
TO THE NORTH P.L.



27'-11"
SHORTEST DIST. TO THE EAST P.L.

NOTE:
- NO HEAT
- NO AC
- NO PLUMBING



SQ.FT. CALCULATIONS

STORAGE = 653 SQ.FT.
TOILET = 60 SQ.FT.
PORCH = 90 SQ.FT.

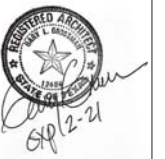
TOTAL UNDER ROOF = 802 SQ.FT.

BLDG C - STORAGE. DIMENSIONED PLAN
1/2" = 1'-0"

ISSUED FOR

REVIEW SET

SEAL



ARCHITECT

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SHEET INFO

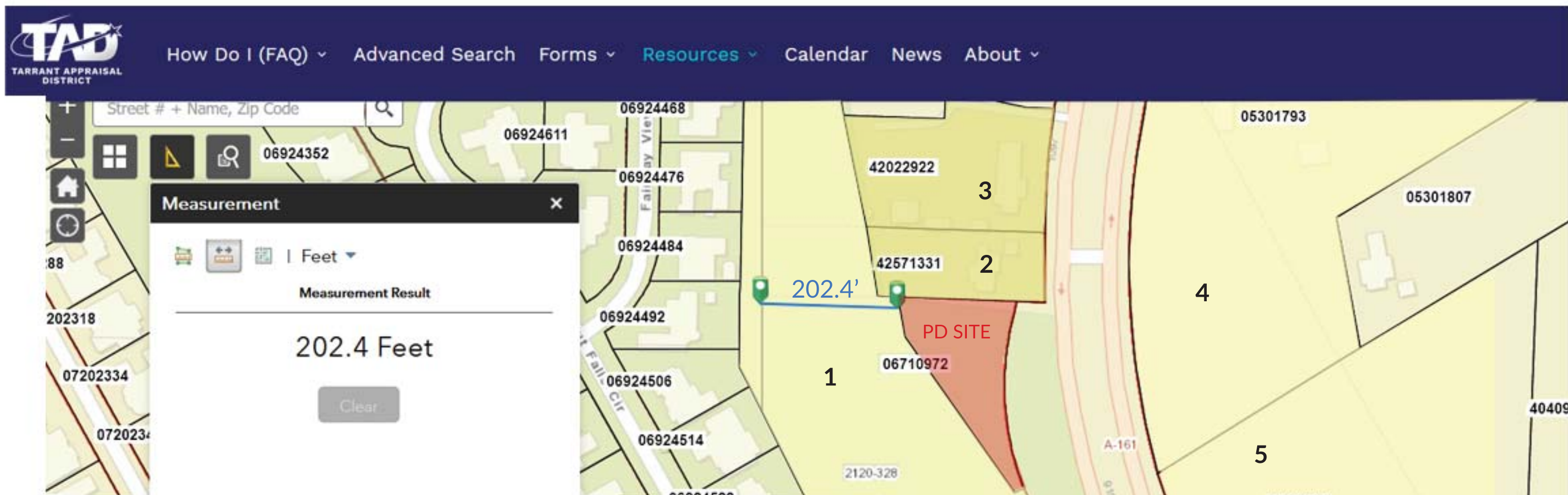
PROJECT NO:
DRAWN BY:
CHECKED BY:
SCALE: 1/2" = 1'-0"
DATE: 10.06.2021

TITLE & NO

BLDG C - STORAGE.
DIMENSIONED PLAN

BC-A.3.6

Exhibit B - ZC#21-006 Surrounding Properties / Zoning - Within 200'



Surrounding Land Use and Owners:

#1
 Property Zoning: - PR - Golf Course
 Site Address: 1300 Matlock Road
 Owner: WALNUT CREEK MANAGEMENT CORP
 Owner Address: PO BOX 2539
 SAN ANTONIO, TX 78299
 TAD Account # 06710980

#2
 Property Zoning: PD - Office
 Site Address: 951 Matlock Road
 Owner: A ROPE INVESTMENTS LLC
 Owner Address: 3451 PLAINVIEW RD
 MIDLOTHIAN, TX 76065
 TAD Account # 42571331

#3
 Property Zoning: PD - Office
 Site Address: 971 Matlock Road
 Owner: TNA Realty
 Owner Address: 1000 W. Cannon St.
 Fort Worth, TX 76104
 TAD Account # 42022922

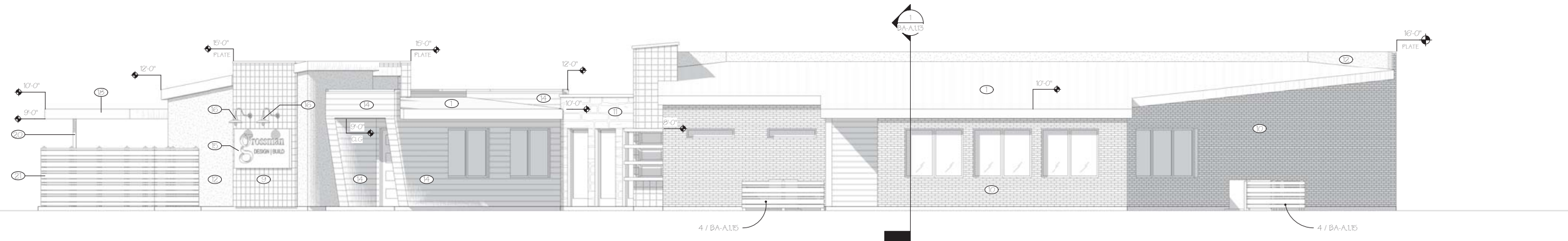
#4
 Property Zoning: PR - Vacant
 Site Address: 1116 MATLOCK RD
 Owner: VESS CHARLES M
 VESS ANGELA SUE
 Owner Address: 3047 RIDGEVIEW DR
 GRAPEVINE, TX 76051
 TAD Account # 05955807

#5
 Property Zoning: PR - Vacant
 Site Address: 2001 CANNON DR
 Owner: HORNING-LOCKWOOD STEPHEN C
 Owner Address: 20 WOODLAND CT
 MANSFIELD, TX 76063-6033
 TAD Account # 04328701

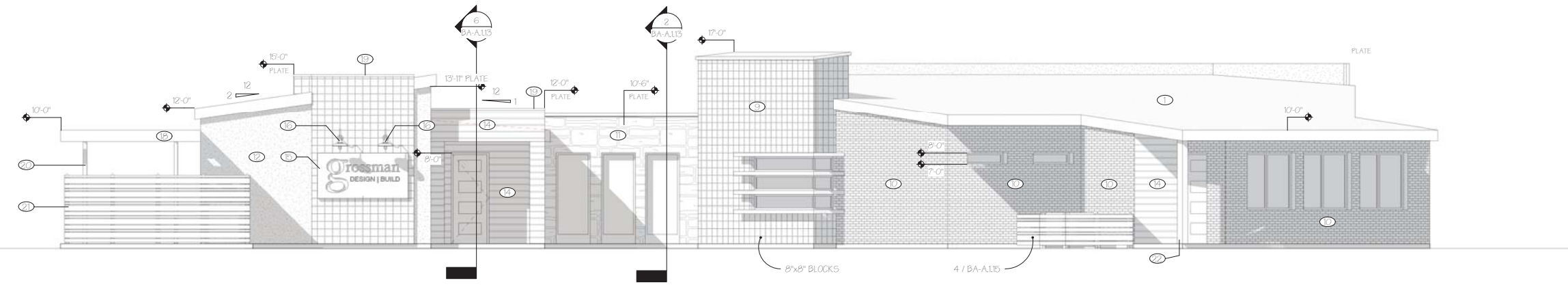


City of Mansfield, Zoning Map

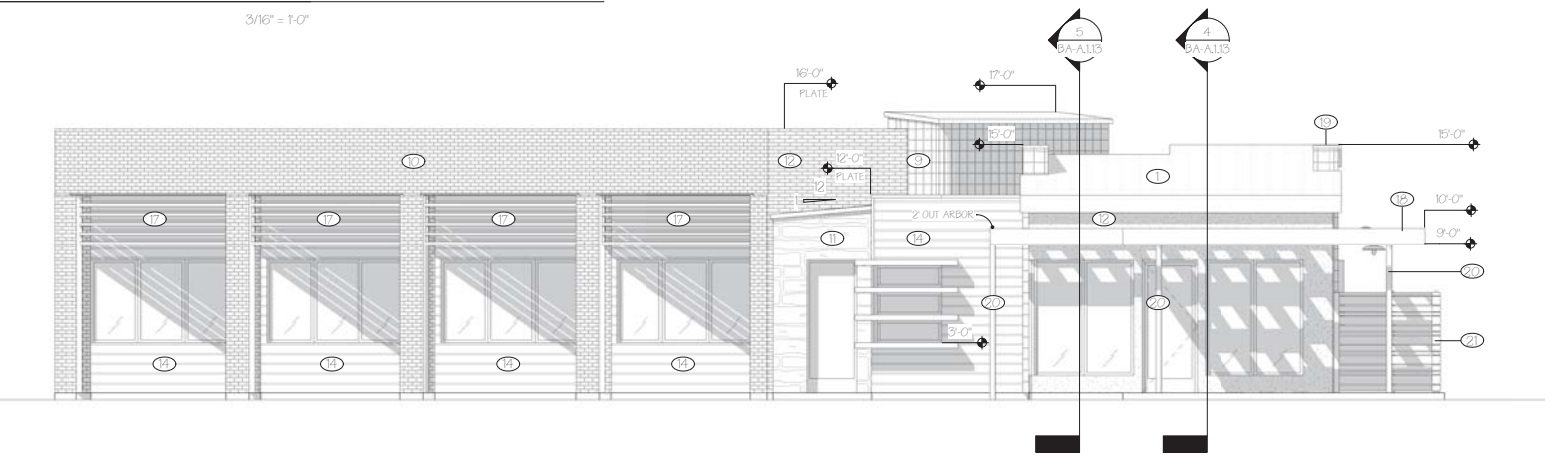
ZC#21-006 EXHIBIT C



1 OFFICE. NORTH-EAST ELEVATION
3/16" = 1'-0"



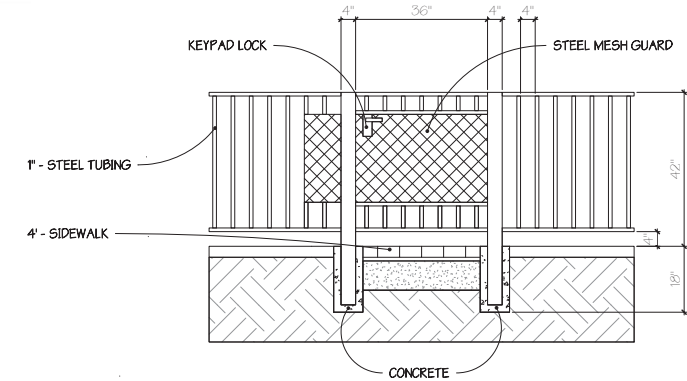
2 OFFICE. EAST ELEVATION
3/16" = 1'-0"



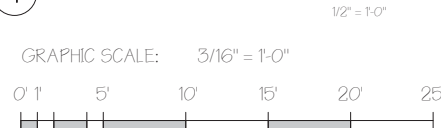
3 OFFICE. SOUTH ELEVATION
3/16" = 1'-0"

WALL FINISHES SCHEDULE

TYPE OF MATERIAL, SF	BUILDING ELEVATIONS				TOTAL	% OF TOTAL
	NORTH	EAST	SOUTH	WEST		
8"x8" BLOCKS	0	145	351	128	624	0.15
BRICK (RUNNING BOND)	515	380	192	529	1,616	0.38
STONE	0	107	40	113	261	0.06
STUCCO	82	135	90	248	555	0.13
WOOD	155	215	106	726	1,203	0.28



4 IRON FENCE. DETAIL
1/2" = 1'-0"



BLDG A - OFFICE. BLDG ELEVATIONS - 1
3/16" = 1'-0"

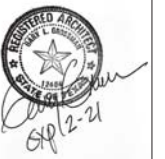
ELEVATION KEY NOTES

1	METAL R-PANEL ROOF
2	GUTTER
5	DOWNSPOUT (DS) - W/SPLASH BLOCK TRIM AND DOWNSPOUTS
8	ROOF FLASHING
9	8"x8" BLOCK FINISHING
10	BRICK RUNNING BOND WALL FINISHING
11	STONE WALL FINISHING
12	STUCCO WALL FINISHING
13	METAL PANEL WALL FINISHING
14	WOOD SIDING WALL FINISHING
15	STOREFRONT SIGNAGE
16	OUTDOOR LIGHTS
17	HORIZONTAL LOUVERED SCREEN
18	GRID PATIO COVER
19	WALL FLASHING
20	STEEL COLUMN
21	WOOD FENCING 6'
22	8"x8" CEDAR POST

ISSUED FOR

REVIEW SET

SEAL



ARCHITECT

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911 East Broad Street
Mansfield, Texas 76063
817-473-9168
www.grossmandesignbuild.com



PROJECT INFO

GROSSMAN DESIGN BUILD OFFICE
10415 MATLOCK RD, MANSFIELD,
TEXAS 76063

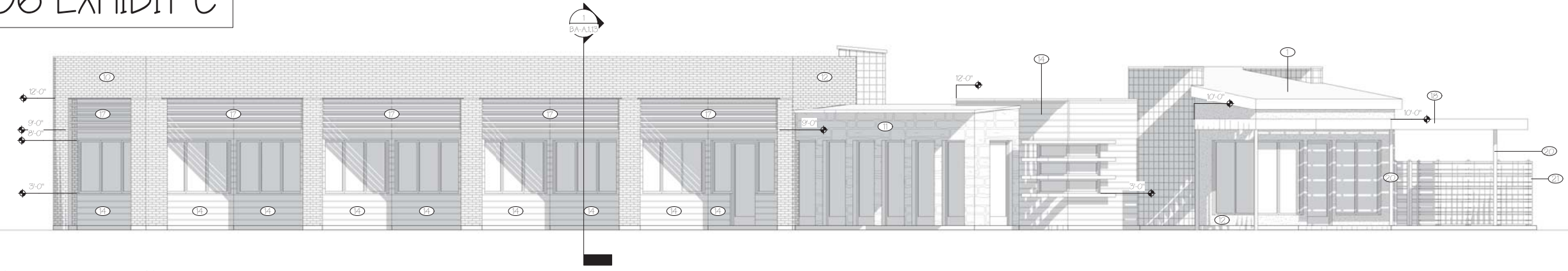
SHEET INFO

PROJECT NO:
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SCALE: As indicated
DATE: 10.06.2021

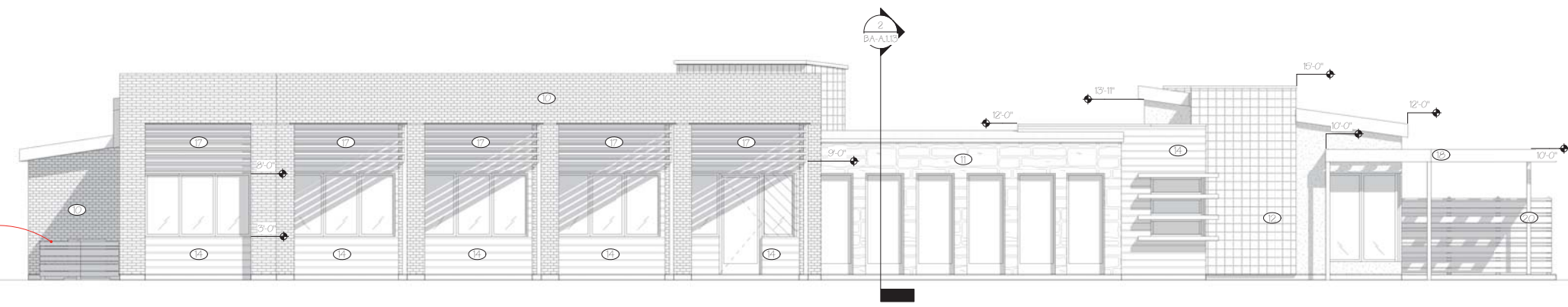
TITLE & NO

BLDG A - OFFICE. BLDG ELEVATIONS - 1

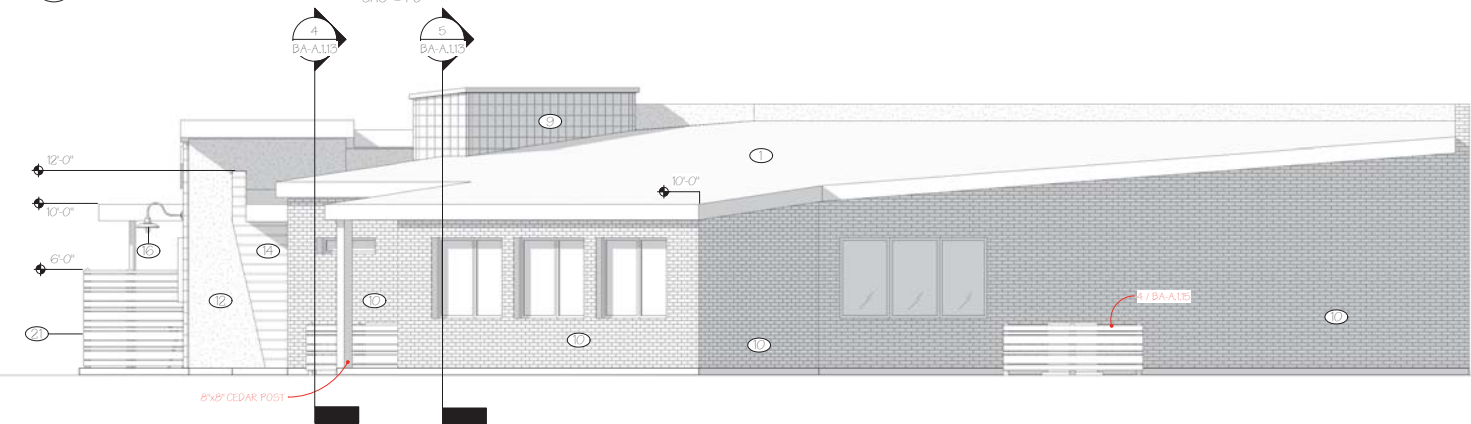
BA-A.114



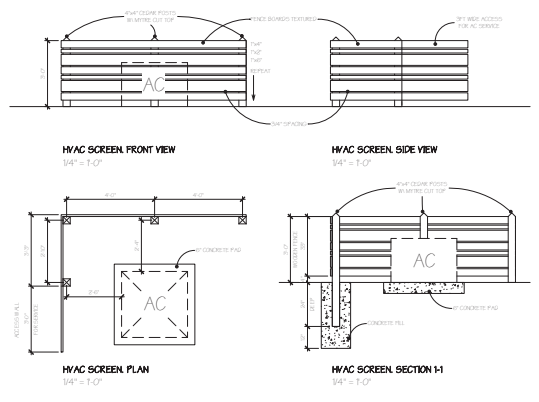
1 OFFICE. SOUTH-WEST ELEVATION
3/16" = 1'-0"



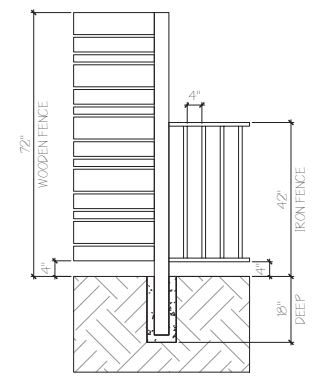
2 OFFICE. WEST ELEVATION
3/16" = 1'-0"



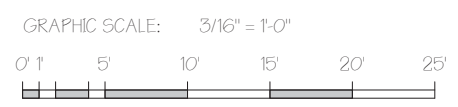
3 OFFICE. NORTH ELEVATION
3/16" = 1'-0"



4 HVAC SCREEN
1/4" = 1'-0"



5 WOOD / IRON FENCE CONNECTION
1/2" = 1'-0"



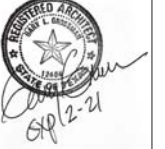
BLDG A - OFFICE. BLDG ELEVATIONS - 2

ELEVATION KEY NOTES	
1	METAL R-PANEL ROOF
2	GUTTER
5	DN(SPOUT (DS) - W/SPLASH BLOCK TRIM AND DN(SPOUTS
8	ROOF FLASHING
9	8"x8" BLOCK FINISHING
10	BRICK RUNNING BOND WALL FINISHING
11	STONE WALL FINISHING
12	STUCCO WALL FINISHING
13	METAL PANEL WALL FINISHING
14	WOOD SIDING WALL FINISHING
15	STOREFRONT SIGNAGE
16	OUTDOOR LIGHTS
17	HORIZONTAL LOUVERED SCREEN
18	GRID PATIO COVER
19	WALL FLASHING
20	STEEL COLUMN
21	WOOD FENCING 6'
22	8"x8" CEDAR POST

ISSUED FOR

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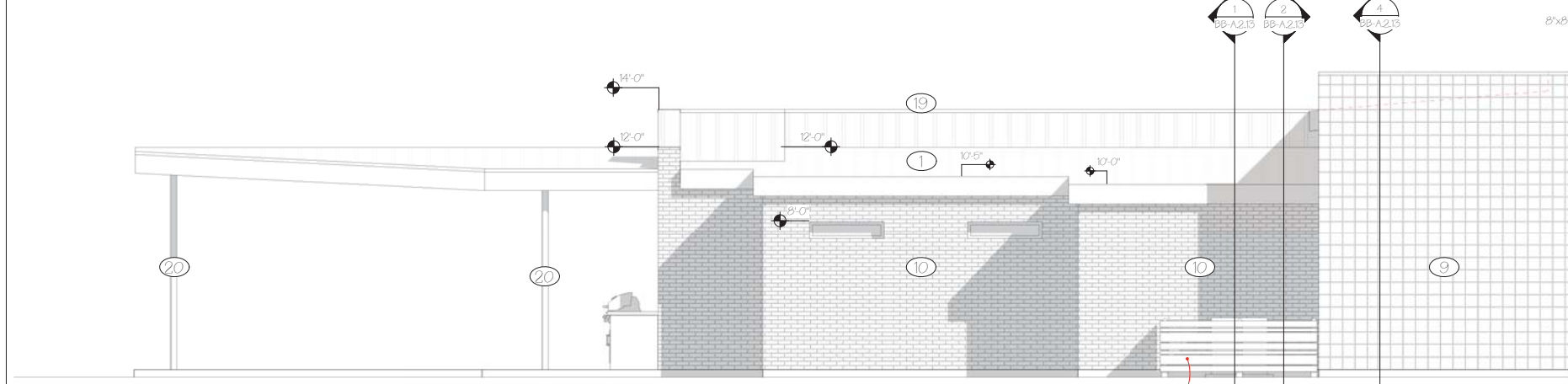
BLDG A - OFFICE. BLDG ELEVATIONS - 2

BA-A.115

ZC#21-006 EXHIBIT C

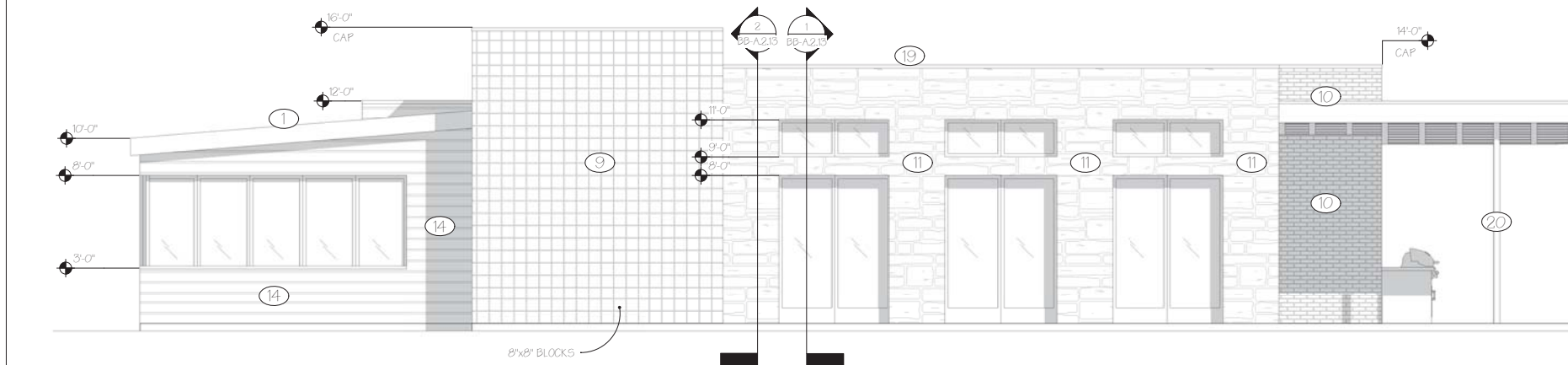
WALL FINISHES SCHEDULE

TYPE OF MATERIAL, SF	BUILDING ELEVATIONS				TOTAL	% OF TOTAL
	NORTH	EAST	SOUTH	WEST		
8"x8" BLOCKS	88	217	21	217	543	0.22
BRICK RUNNING BOND	0	331	361	78	771	0.32
METAL SIDING	33	21	106	89	250	0.1
STONE	0	0	16	240	256	0.11
WOOD	307	183	0	114	605	0.25

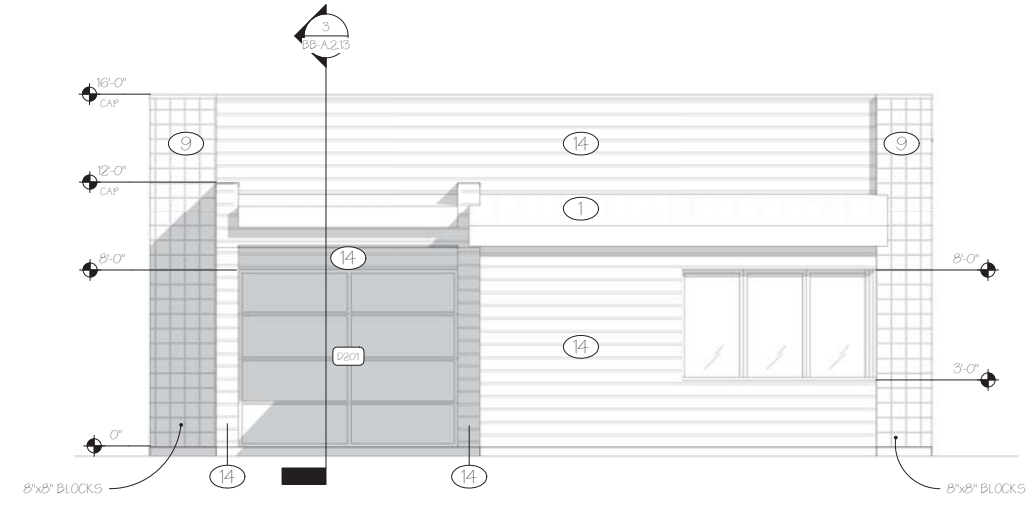
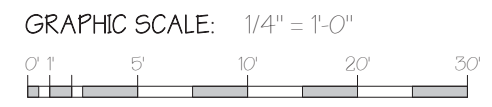


2 RECREATION. EAST ELEVATION
1/4" = 1'-0"

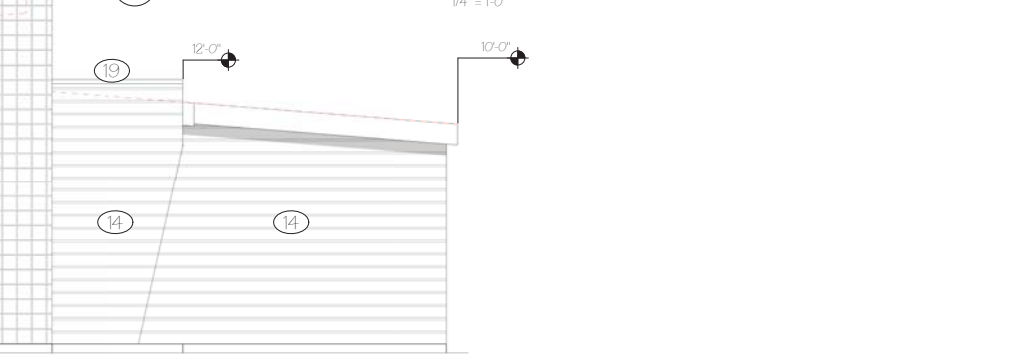
ELEVATION KEY NOTES	
1	METAL R-PANEL ROOF
2	GUTTER
5	DOWNSPOUT (DS) - W/SPLASH BLOCK TRIM AND DOWNSPOUTS
8	ROOF FLASHING
9	8"x8" BLOCK FINISHING
10	BRICK RUNNING BOND WALL FINISHING
11	STONE WALL FINISHING
12	STUCCO WALL FINISHING
13	METAL PANEL WALL FINISHING
14	WOOD SIDING WALL FINISHING
15	STOREFRONT SIGNAGE
16	OUTDOOR LIGHTS
17	HORIZONTAL LOUVERED SCREEN
18	GRID PATIO COVER
19	WALL FLASHING
20	STEEL COLUMN
21	WOOD FENCING 6'



4 RECREATION. WEST ELEVATION
1/4" = 1'-0"



1 RECREATION. NORTH ELEVATION
1/4" = 1'-0"

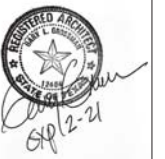


3 RECREATION. SOUTH ELEVATION
1/4" = 1'-0"

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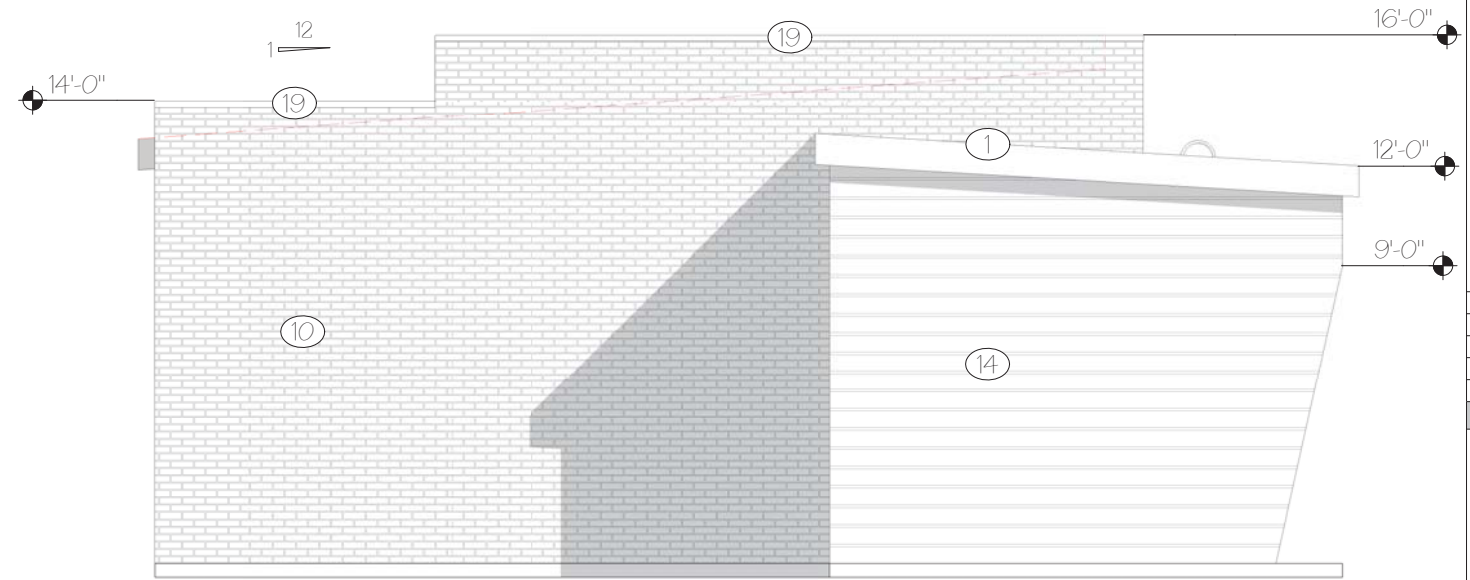
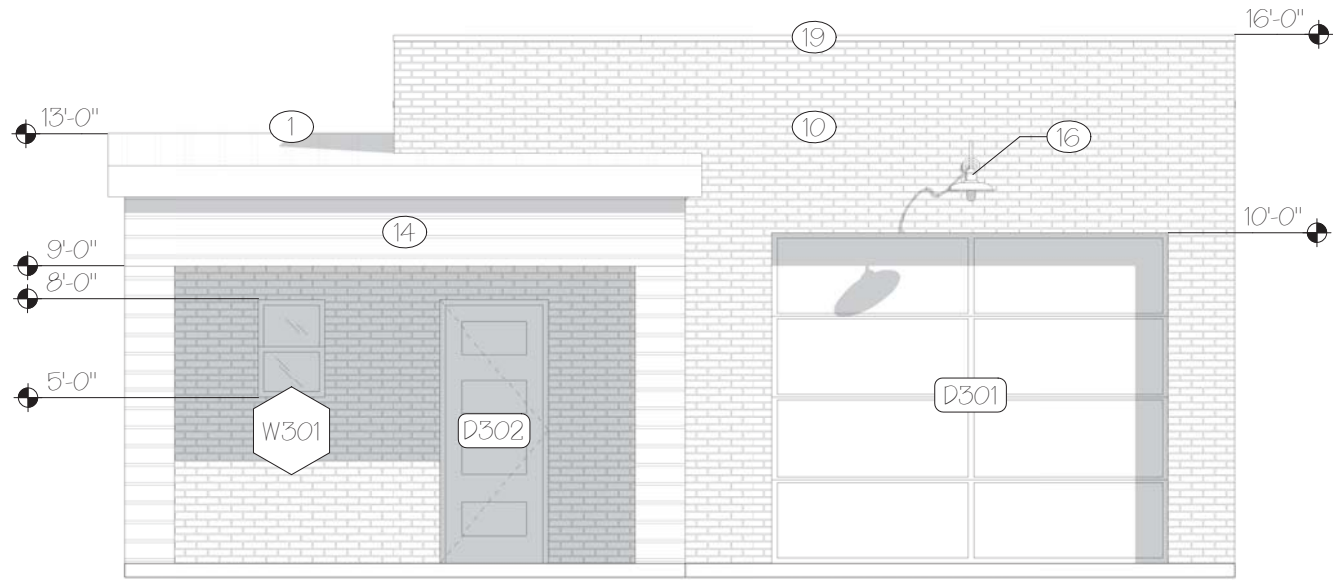
SHEET INFO

PROJECT NO:
DRAWN BY:
CHECKED BY:
SCALE: 1/4" = 1'-0"
DATE: 10.06.2021

TITLE & NO

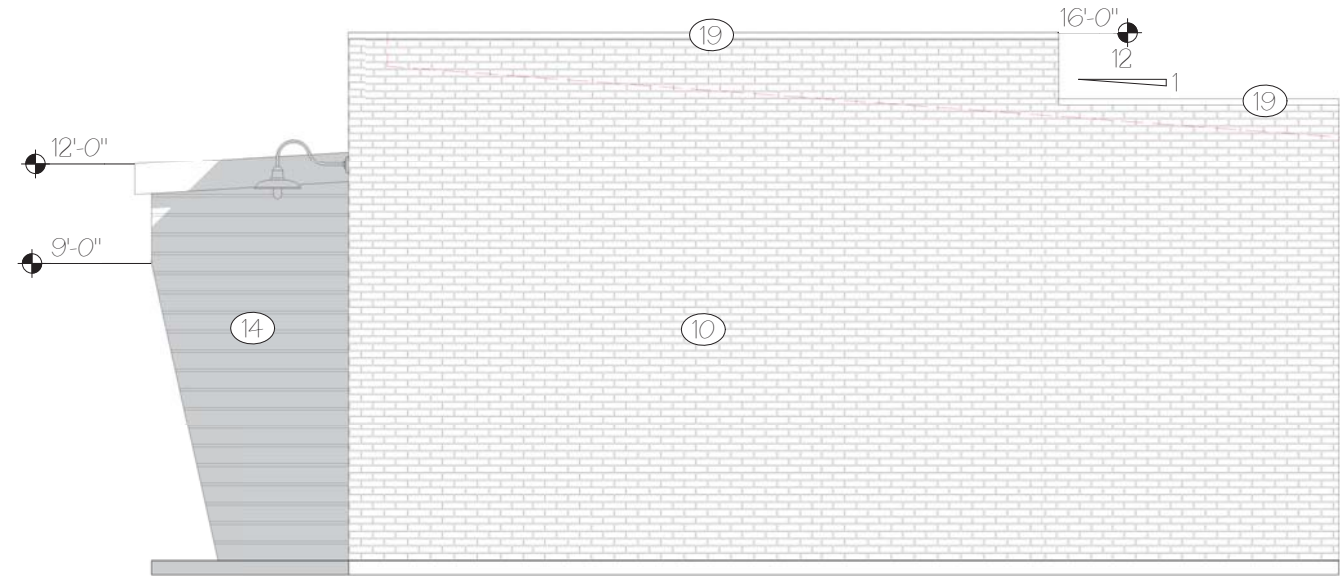
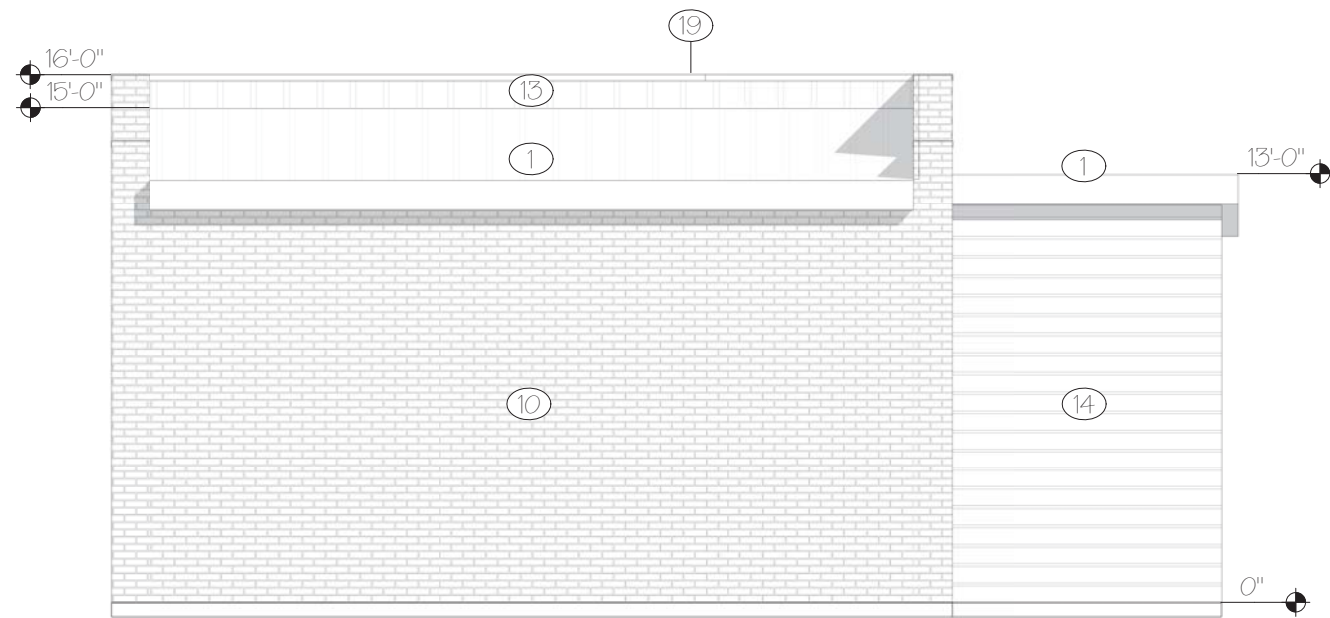
BLDG B - RECREATION.
BLDG ELEVATIONS
BB-A.2.14

ZC#21-006 EXHIBIT C



1 STORAGE. SOUTH ELEVATION
3/8" = 1'-0"

2 STORAGE. WEST ELEVATION
3/8" = 1'-0"



3 STORAGE. NORTH ELEVATION
3/8" = 1'-0"

4 STORAGE. EAST ELEVATION
3/8" = 1'-0"

WALL FINISHES SCHEDULE

TYPE OF MATERIAL, SF	BUILDING ELEVATIONS				TOTAL	% OF TOTAL
	NORTH	EAST	SOUTH	WEST		
BRICK	300	454	321	346	1421	0.72
METAL R-PANELS	23	42	0	43	108	0.05
WOOD	98	57	121	169	445	0.23

ELEVATION KEY NOTES

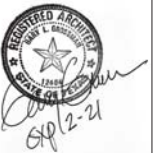
1	METAL R-PANEL ROOF	14	WOOD SIDING WALL FINISHING
2	GUTTER	15	STOREFRONT SIGNAGE
5	DOWNSPOUT (DS) - W/SPASH BLOCK TRIM AND DOWNSPOUTS	16	OUTDOOR LIGHTS
8	ROOF FLASHING	17	HORIZONTAL LOUVERED SCREEN
9	8"x8" BLOCK FINISHING	18	GRID PATIO COVER
10	BRICK RUNNING BOND WALL FINISHING	19	WALL FLASHING
11	STONE WALL FINISHING	20	STEEL COLUMN
12	STUCCO WALL FINISHING	21	WOOD FENCING 6'
13	METAL PANEL WALL FINISHING	22	8"x8" CEDAR POST

BLDG C - STORAGE. BUILDING ELEVATIONS
3/8" = 1'-0"

ISSUED FOR

REVIEW SET

SEAL



ARCHITECT

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CHECKED BY:
SCALE: 3/8" = 1'-0"
DATE: 10.06.2021

TITLE & NO

BLDG C - STORAGE.
BUILDING ELEVATIONS

BC-A.3.14



West Elevation View



East Entry View





Aerial Looking South Towards Matlock and Cannon





Aerial Looking North Towards Matlock





Main Office Building A - Patio





Building C





Main Office Building A - Entry





Building B - Entry

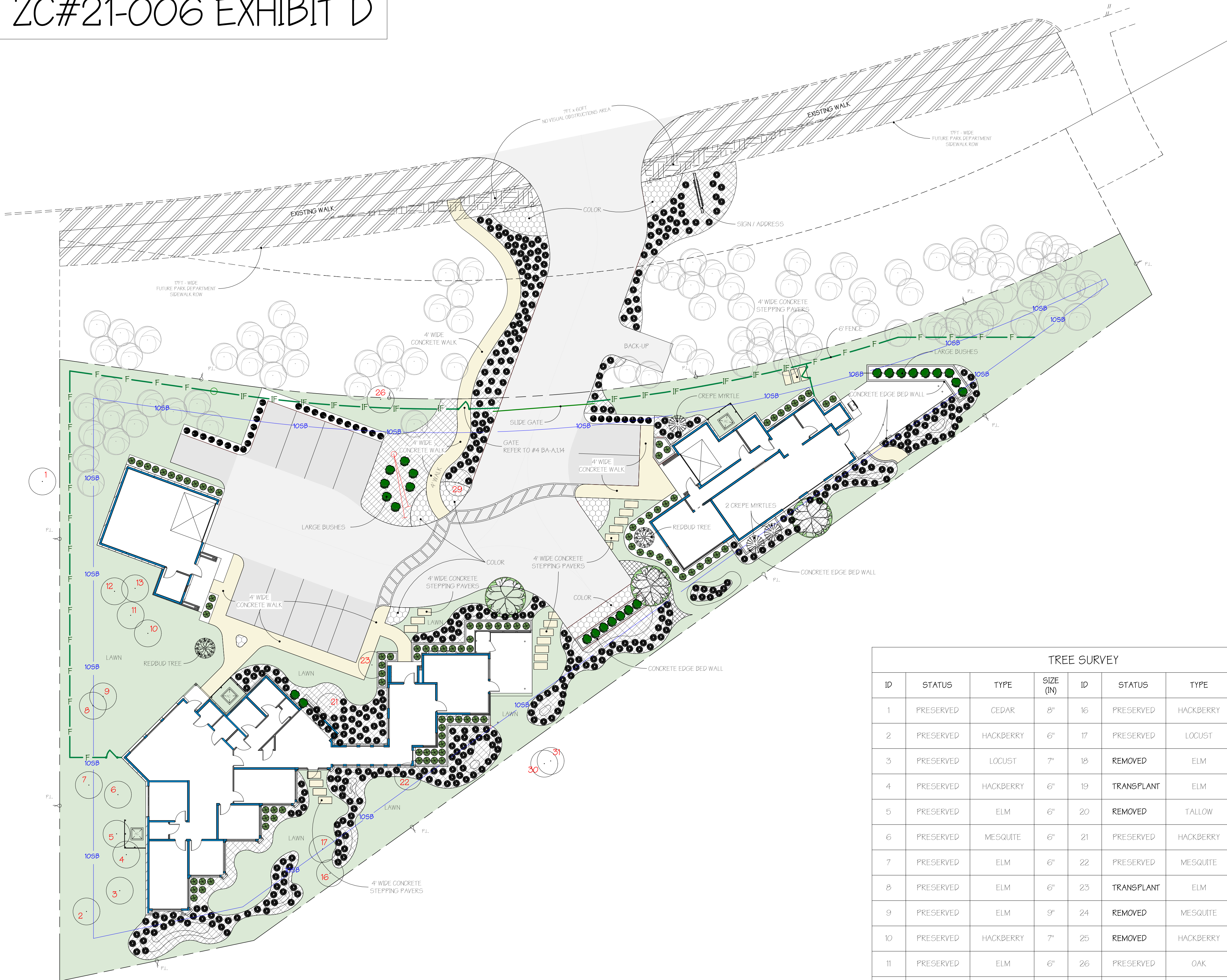




Building B - Golf Course Side



ZC#21-006 EXHIBIT D



NOTE: EXISTING TREES ON SITE ARE TO BE PRESERVED AND WILL BE PROTECTED DURING CONSTRUCTION.

LANDSCAPE LEGEND

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE, GALLON
[Hatched Box]	CONCRETE DRIVEWAY		4,097 + 2,467 SF	
[Dotted Box]	CONCRETE PARKING LOTS		1,935 SF	
[Solid Grey Box]	CONCRETE EDGE WALLS		160 SF	
[Yellow Box]	WALKWAYS		1,109 + 278 SF	
[Hexagonal Pattern Box]	COLOR FLOWER BEDS		296 + 187 SF	
[Cross-hatch Pattern Box]	BERMS AREA W/ WISPY GRASSES		3,120 + 1,013 SF	
[Diagonal Line Pattern Box]			78 SF	
[Green Box]	BERMUDA GRASS	CYNODON DACTYLON	11,773 SF	
[Circle with Dot]	EXISTING TREES ON SITE		22	
[Circle with Circle]	R.O.W. TREES		96	
[Circle with Star]	TRANSPLANTED TREES		3	4" - 6"
[Star Symbol]	CREPE MYRTLE	LAGERSTROEMIA INDICA (DYNAMITE OR NATCHEZ)	3	
[Star Symbol]	REDBUD TREE	CERCIS CANADENSIS	1	
[Green Circle]	LARGE BUSHES TBD		26	
[Green Circle]	SMALL BUSHES TBD		97	
[Star Symbol]	WHISPY GRASS / MEXICAN FEATHERGRASS	NASSELLA TENUISSIMA	453	
[Star Symbol]	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	33	

[Hatched Box]	(7FT x 60FT) NO VISUAL OBSTRUCTIONS AREA
[Dotted Box]	(17FT - WIDE) FUTURE PARK DEPARTMENT SIDEWALK ROW
[Dashed Line]	PROPERTY LINE
[Blue Line]	10SB 10FT SET BACK LINE
[Green Line]	72IN - HIGH WOODEN FENCE LINE
[Green Line]	42IN - HIGH IRON FENCE LINE

NEIGHBORING USE	OP	PR - GOLF COURSE
BASE ZONING OP	N/A	N/A

LARGE SHRUBS	
NELLIE R. STEVENS HOLLY	ILEX X NELLIE R. STEVENS
FOSTER HOLLY	ILEX X ATTENUATA FOSTER
TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS
SMALL SHRUBS	
DWARF YAUPON	LEX VOMITORIA 'NANA'
RED YUCCA	HESPERALOE PARVIFOLIA
JAPANESE BARBERRY	BERBERIS THUNDERGI

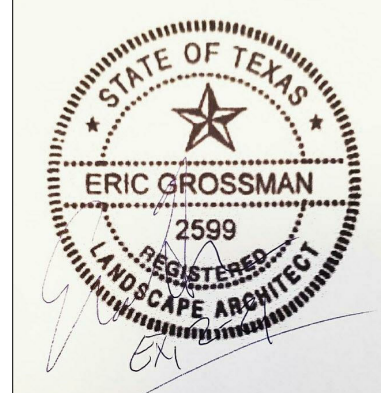
ID	STATUS	TYPE	SIZE (IN)	ID	STATUS	TYPE	SIZE (IN)
1	PRESERVED	CEDAR	8"	16	PRESERVED	HACKBERRY	11"
2	PRESERVED	HACKBERRY	6"	17	PRESERVED	LOCUST	6"
3	PRESERVED	LOCUST	7"	18	REMOVED	ELM	6"
4	PRESERVED	HACKBERRY	6"	19	TRANSPLANT	ELM	8"
5	PRESERVED	ELM	6"	20	REMOVED	FALLOW	6"
6	PRESERVED	MESQUITE	6"	21	PRESERVED	HACKBERRY	10"
7	PRESERVED	ELM	6"	22	PRESERVED	MESQUITE	6"
8	PRESERVED	ELM	6"	23	TRANSPLANT	ELM	6"
9	PRESERVED	ELM	9"	24	REMOVED	MESQUITE	7"
10	PRESERVED	HACKBERRY	7"	25	REMOVED	HACKBERRY	6"
11	PRESERVED	ELM	6"	26	PRESERVED	OAK	8"
12	PRESERVED	ELM	6"	27	REMOVED	CEDAR	12"
13	PRESERVED	HACKBERRY	6"	28	REMOVED	HACKBERRY	12"
14	REMOVED	HACKBERRY	6"	29	PRESERVED	HACKBERRY	12"
15	REMOVED	HACKBERRY	6"	30	PRESERVED	CEDAR	16"
				31	PRESERVED	CEDAR	8"



ISSUED FOR

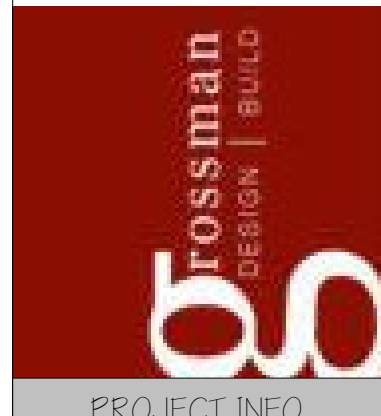
REVIEW SET

SEAL



ARCHITECT

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PROJECT INFO

GROSSMAN DESIGN BUILD OFFICE
 1045 MATLOCK RD, MARSLFIELD,
 TEXAS 76063

SHEET INFO

PROJECT NO:
 DRAWN BY:
 CHECKED BY:
 SCALE: 1/16" = 1'-0"
 DATE: 24.06.2021

TITLE & NO

LANDSCAPE PLAN

L.101