



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda - Final

Planning and Zoning Commission

Tuesday, September 7, 2021

6:00 PM

City Hall Multipurpose Room

1. **CALL TO ORDER**

2. **APPROVAL OF MINUTES**

[21-4270](#) Minutes - Approval of the August 16, 2021 Planning and Zoning Commission Meeting Minutes

Attachments: [Meeting Minutes 08-16-2021.pdf](#)

3. **CITIZENS COMMENTS**

Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from "personal criticisms".

In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

4. **CONSENT AGENDA**

[21-4271](#) SD#21-040: Final Plat of Lots 3, 4, 5 and 6, Block 1, Long Estates, being 3.563 acres located at 4525 E. Broad Street; Coombs Land Surveying, surveyor, and Felix Wong on behalf of Hiep Duc Tran and Hanh Thu Nguyen, owners

Attachments: [Location Map.pdf](#)

[Final Plat.pdf](#)

[21-4272](#) SD#21-034: Final Plat of Lots 1 and 2, Block 1, Regency Addition on 6.102 acres located at 76 Regency Parkway; Realsearch of Texas, LLC, surveyor; Texas E.R. Medical Billing, Inc., owner

Attachments: [Final Plat.pdf](#)

5. **PUBLIC HEARINGS**

[21-4273](#)

SD#21-041: Public Hearing on a Final Plat of Easy Drive Business Park being a revision of Lot 1, McAnier Addition and a 2.117 acre unplatted tract situated in the Elizabeth McAnier Survey, Abstract No. 571, for a total of approximately 4.330 acres; Altar Holdings, LLC, owner; G.A. Dixon Associates, engineer; Coombs Land Surveying, Inc., surveyor

Attachments: [Approved Preliminary Plat.pdf](#)

[Final Plat.pdf](#)

[21-4274](#)

SUP#21-006: Public hearing and consideration of a request for a Specific Use Permit for an Auto Rental on approximately 2.754 acres being Lot 5, Block 1, Mansfield Commons located at 990 N US 287; The Commons at Walnut Creek 18, Owner; Avis Budget, proposed tenant/applicant

Attachments: [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Site Plan and Narrative.pdf](#)

[Exhibit C - Elevations .pdf](#)

[Exhibit D - Sign Plan.pdf](#)

[21-4275](#)

SUP#21-005: Public hearing for a request for a Specific Use Permit for a gasoline service station on approximately 1.168 acres known as Lot 1, Block 1 of Bridges Addition and Lot 1, Block 1 of English Park Addition, located at 1901 & 1911 FM 157; Cody Moore of CEI Engineering, Inc. (engineer) and Devan Pharis of Estacado Interests, LLC (developer) on behalf of Khawaja Haque of Hawk's Pantry Inc. and Anis G. & Nadia Khalil (owners)

Attachments: [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Site Plan.pdf](#)

[Exhibit C - Building Elevations.pdf](#)

[Exhibit D - Landscape Plan.pdf](#)

[Exhibit E - Sign Plan.pdf](#)

[21-4276](#)

SUP#20-006: Public hearing for a request for a Specific Use Permit for a gasoline service station on approximately 1.483 acres known as Lot 1, Block 2, Newport Addition, located at 2919 N. Main St.; Cody Brooks of Bannister Engineering, LLC (engineer), Jack Romigh of Knight Group Architects (architect), and Mark Feuling of Turnkey Construction and Development Group (developer) on behalf of Akram H. Chowdhury (owner)

Attachments: [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Site Plan.pdf](#)

[Exhibit C - Floor Plans & Elevations.pdf](#)

[Exhibit D - Landscape Plan.pdf](#)

[Exhibit E - Sign Plan.pdf](#)

[21-4277](#)

ZC#21-010: Public hearing for a change of zoning from PR, Pre-Development District to PD, Planned Development District for single-family residential uses on approximately 55.899 acres out of the A. Bedford Survey, Abstract No. 60, Johnson County, TX, located at 2695 Howell Dr.; Sam Satterwhite of Engineering Concepts & Design, L.P. (engineer) and Terrance Jobe of Alluvium Development (developer) on behalf of William Troy and Brenda Sells Revocable Trust (owner)

Attachments: [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Development Standards.pdf](#)

[Exhibit C - Development Plan.pdf](#)

[Exhibit D - Open Space, Trail, and Screening Plan.pdf](#)

[Exhibit E - Enhanced Entryway Plan.pdf](#)

[Exhibit F - Building Elevations.pdf](#)

6. **COMMISSION ANNOUNCEMENTS**

7. **STAFF ANNOUNCEMENTS**

8. **ADJOURNMENT OF MEETING**

13. **NEXT MEETING DATE: Monday, September 20, 2021**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on September 02, 2021, in accordance with Chapter 551 of the Texas Government Code.

Jennifer Johnston, Development Coordinator

* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



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STAFF REPORT

File Number: 21-4270

Agenda Date: 9/7/2021

Version: 1

Status: Approval of Minutes

In Control: Planning and Zoning Commission

File Type: Meeting Minutes

Title

Minutes - Approval of the August 16, 2021 Planning and Zoning Commission Meeting
Minutes

Description/History

The minutes of the August 16, 2021 Planning and Zoning Commission meeting are in DRAFT form and will not become effective until approved by the Board at this meeting.



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Minutes - Draft

Planning and Zoning Commission

Monday, August 16, 2021

6:00 PM

City Hall Council Chambers

IMMEDIATELY FOLLOWING THE CAPITAL IMPROVEMENT ADVISORY COMMITTEE MEETING

1. CALL TO ORDER

Chairman Knight called the meeting to order at 6:34 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving the date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Staff:

Jason Alexander, Director of Planning

Arty Wheaton-Rodriguez, Assistant Director of Planning

Raymond Coffman, Assistant Director of Public Works

Andrew Bogda, Planner

Shirley Emerson, Planner

Jennifer Johnston, Development Coordinator

Commissioners:

Absent 1 - Justin Gilmore

Present 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

2. APPROVAL OF MINUTES

[21-4220](#)

Minutes - Approval of the August 2, 2021 Planning and Zoning Commission Meeting Minutes

Commissioner Groll made a motion to approve the August 2, 2021 minutes as presented. Vice-Chairman Axen seconded the motion which carried by the following vote:

Aye: 5 - Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 1 - Anne Weydeck

3. CITIZENS COMMENTS

Tom Corbin, P.O. Box 237 Mansfield TX, inquired about drainage unity fees on water bills and if this fee was used towards Capital Improvements.

Asst. Director of Public Works Raymond Coffman explained funds for Capital Improvements come from impact fees collect.

4. CONSENT AGENDA

[21-4225](#)

SD#21-033: Final Plat of Damascus Gardens, on 4.0 acres located at 2349 N. Holland Road; Bannister Engineering, LLC, engineer and Allabadidi Foundation, owner

Commissioner Groll made a motion to approve the plat as presented.

Commissioner Mainer seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

5. PUBLIC HEARINGS

[21-4221](#)

SUP#21-002: Public hearing for a request for a Specific Use Permit (SUP) for an Eating Place with Drive-Through Service on 0.99 acres out of the Samuel West Survey, Abstract No. 1648, Tarrant County, TX, generally located on the west side of FM 157, approximately 900 feet south of Turner Warnell Rd; 400 feet north of Rosebrook Drive; Mazidji Group, engineer; DFL Properties One, LLC, developer; Mansfield Corridor LLC, owner

Ms. Emerson gave a presentation and was available for questions.

Costa Mazidji, engineer, was available for questions

Chairman Knight opened the public hearing at 6:42 pm and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Knight closed the public hearing at 6:42 pm.

After some discussion, Commissioner Mainer made a motion to approve the Specific Use Permit as presented. Vice Chairman Axen propose to amend the motion to include the access points will be reviewed; Commission Mainer agreed to the amendment. Commissioner Goodwin seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

[21-4222](#)

SUP#21-003: Public hearing for a request for a Specific Use Permit for a center for substance abuse patients on approximately 3.69 acres known as Lot 4R3-2, Block 1 of Mansfield Hospital, located at 1776 N US 287; Pat Norris of Norris Development, Inc. (project manager) and Doug Weiss of Gallus Medical (developer/business operator) on behalf of Robert Milligan and Shontea Price of Healthcare Trust of America, Inc. (owner)

Mr. Bogda gave a presentation and was available for questions.

Doug Weiss of 300 S Jackson St. Denver CO 80209, applicant, gave a presentation and was available for questions.

Chairman Knight opened the public hearing at 7:04 pm and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Knight closed the public hearing at 7:04 pm.

After some discussion, Commissioner Weydeck made a motion to approve the Specific Use Permit with staff recommendations. Commissioner Groll seconded the motion which carried by the following vote

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

[21-4223](#)

ZC#21-012: Public hearing for a change of zoning from PD Planned Development District to PD Planned Development District for eating place with drive-through service uses on approximately 0.71 acres known as Lot 2, Block 1 of Broad Street Marketplace, located at 3121 E Broad St.; Hailey Vaughn of Plaza Street Partners, LLC (developer), Andrew Gribble of Kimley-Horn and Associates, Inc. (engineer/landscape architect), and Aaron King of Torgerson Design Partners (architect) on behalf of Fernando De Leon of LG Broad Cannon, LLC (owner)

Mr. Bogda gave a presentation and was available for questions.

Mr. King gave a presentation and was available for questions.

Chairman Knight opened the public hearing at 7:23 pm and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Knight closed the public hearing at 7:23pm

After some discussion Commissioner Groll made a motion to approve the zoning change. Commissioner Axen seconded the motion which carried by the following vote:

Aye: 5 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll and David Goodwin

Nay: 1 - Michael Mainer

Absent: 1 - Justin Gilmore

Abstain: 0

[21-4224](#)

OA#21-002: Public hearing to consider a proposed amendment of Sections 155.012, 155.054(B), Table F, Line 17 and 24, and 155.099 (B) (39) of the Mansfield Code of Ordinances regarding Non-Traditional Smoking Related Businesses and Tobacco Products Store.

Mr. Wheaton-Rodriguez gave a presentation and was available for questions.

Chairman Knight opened the public hearing at 8:05 pm and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Knight closed the public hearing at 8:05 pm.

After some discussion, Vice Chairman Axen made a motion to approve the amendment to the Code of Ordinance with staff conditions. Commissioner Weydeck seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

6. COMMISSION ANNOUNCEMENTS

None

7. STAFF ANNOUNCEMENTS

Planning Director Jason Alexander advised the Commission of the following:

- SUP#21-004 Ubreakifix was approved
- ZC# 21-004 Willow Branch was tabled
- ZC#21-006 Grossman Design Building was approved
- Stakeholder meeting for the Downtown Rezoning will be at the Farr Best Theater on 08/19/2021 at 9:00 am to 10:30 am and 6:00pm to 8:30pm and on 08/26/2021 from 6:00pm to 8:30pm

8. ADJOURNMENT OF MEETING

Commissioner Groll made a motion to adjourn the meeting. Commissioner Weydeck seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

With no further business, Chairman Knight adjourned the meeting at 8:23 p.m.

Kent Knight, Chairman

Jennifer Johnston, Development Coordinator



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
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STAFF REPORT

File Number: 21-4271

Agenda Date: 9/7/2021

Version: 1

Status: Consent

In Control: Planning and Zoning Commission

File Type: Plat

Title

SD#21-040: Final Plat of Lots 3, 4, 5 and 6, Block 1, Long Estates, being 3.563 acres located at 4525 E. Broad Street; Coombs Land Surveying, surveyor, and Felix Wong on behalf of Hiep Duc Tran and Hanh Thu Nguyen, owners

Description/History

The purpose of this plat is to create 4 lots for single-family residential use. The property is zoned PR and all lots meet the minimum lot area, width and depth for this district. The applicant is dedicating right-of-way for a 100-foot diameter cul-de-sac at the end of Karen Drive to replace a temporary turn easement on the adjacent properties in Bankston Meadows.

On the east side of Lot 3, there is an existing 5-foot electric easement and a 30-foot access easement to the telecommunications tower located on the property to the south.

Although there are no signatures on copy of the plat in the Commission's packet, the filing copy has been signed. The plat meets the requirements of the Subdivision Control Ordinance.

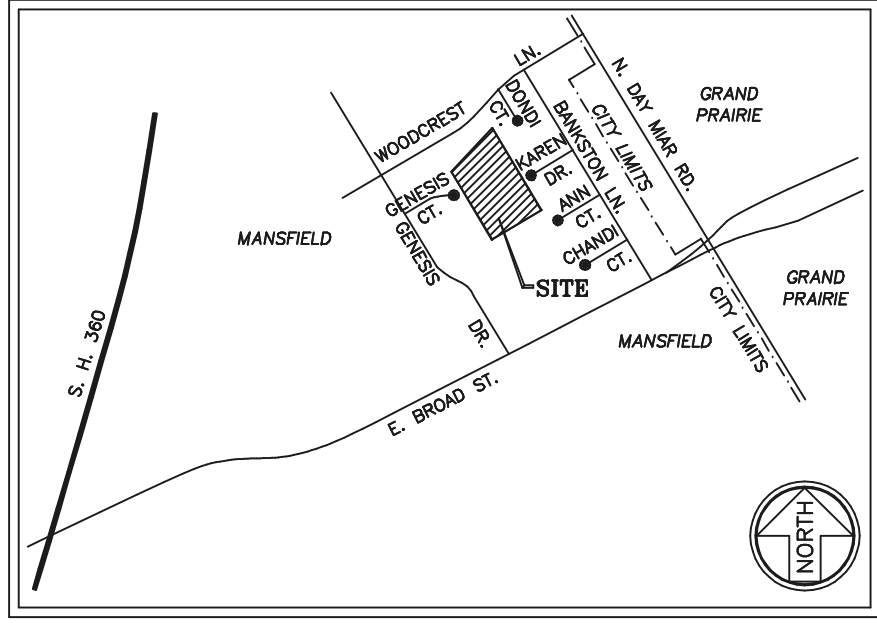
Recommendation

Staff recommends approval.

Attachments

Location Map
Final Plat





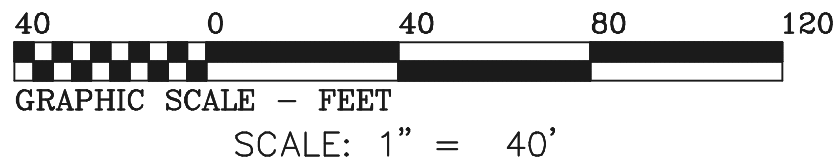
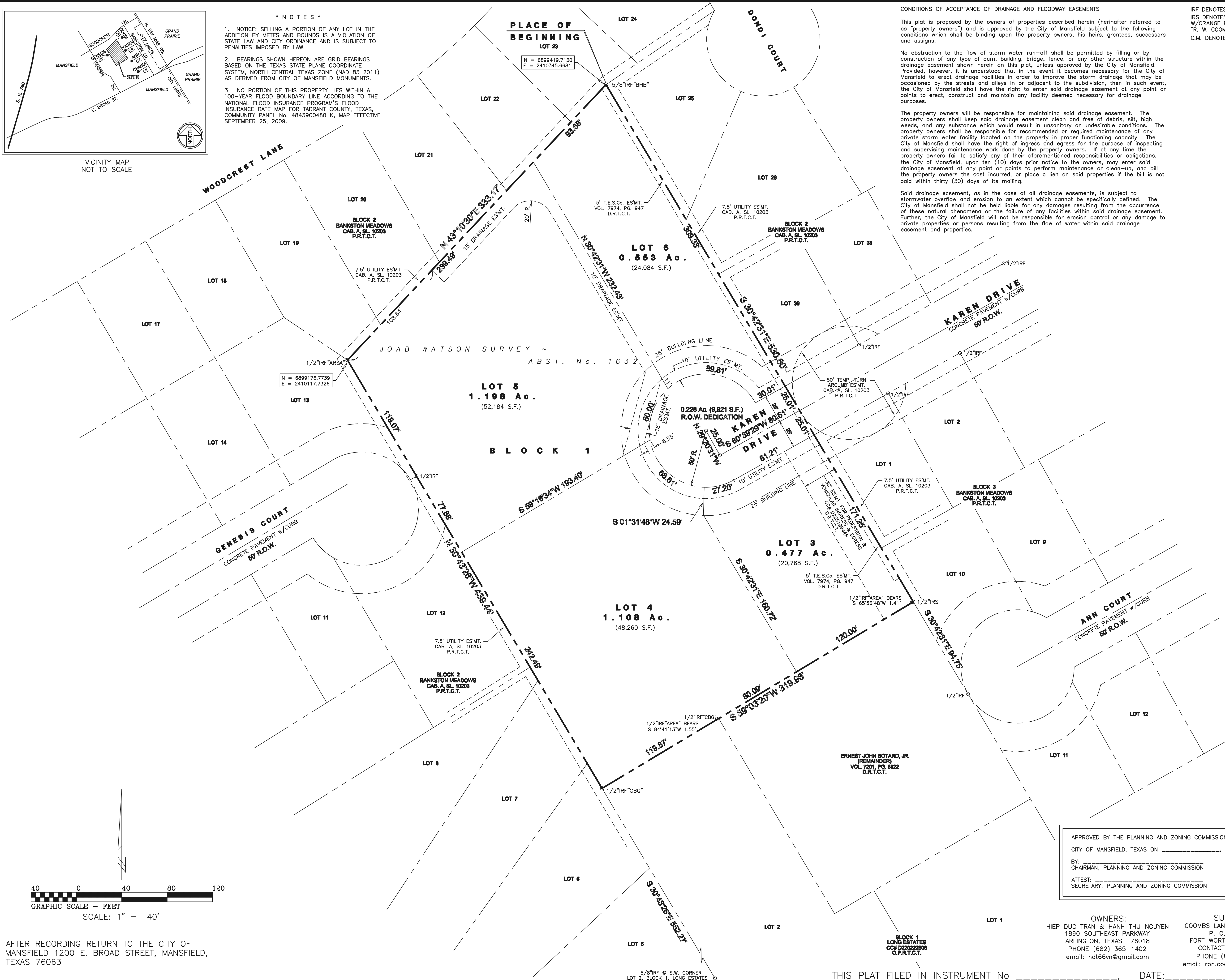
VICINITY MAP
NOT TO SCALE

* NOTES *

1. NOTICE: SELLING A PORTION OF ANY LOT IN THE ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
2. BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL TEXAS ZONE (NAD 83 2011) AS DERIVED FROM CITY OF MANSFIELD MONUMENTS.
3. NO PORTION OF THIS PROPERTY LIES WITHIN A 100-YEAR FLOOD BOUNDARY LINE ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR TARRANT COUNTY, TEXAS, COMMUNITY PANEL No. 48439C0480 K, MAP EFFECTIVE SEPTEMBER 25, 2009.

PLACE OF
BEGINNING
LOT 23

N = 6899419.7130
E = 2410345.6681



AFTER RECORDING RETURN TO THE CITY OF
MANSFIELD 1200 E. BROAD STREET, MANSFIELD,
TEXAS 76063

CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

This plat is proposed by the owners of properties described herein (hereinafter referred to as "property owners") and is approved by the City of Mansfield subject to the following conditions which shall be binding upon the property owners, his heirs, grantees, successors and assigns.

No obstruction to the flow of storm water run-off shall be permitted by filling or by construction of any type of dam, building, bridge, fence, or any other structure within the drainage easement shown herein on this plat, unless approved by the City of Mansfield. Provided, however, it is understood that in the event it becomes necessary for the City of Mansfield to erect drainage facilities in order to improve the storm drainage that may be occasioned by the streets and alleys in or adjacent to the subdivision, then in such event, the City of Mansfield shall have the right to enter said drainage easement at any point or points to erect, construct and maintain any facility deemed necessary for drainage purposes.

The property owners will be responsible for maintaining said drainage easement. The property owners shall keep said drainage easement clean and free of debris, silt, high weeds, and any substance which would result in unsanitary or undesirable conditions. The property owners shall be responsible for recommended or required maintenance of any private storm water facility located on the property in proper functioning capacity. The City of Mansfield shall have the right of ingress and egress for the purpose of inspecting and supervising maintenance work done by the property owners. If at any time the property owners fail to satisfy any of their aforementioned responsibilities or obligations, the City of Mansfield, upon ten (10) days prior notice to the owners, may enter said drainage easement at any point or points to perform maintenance or clean-up, and bill the property owners the cost incurred, or place a lien on said properties if the bill is not paid within thirty (30) days of its mailing.

Said drainage easement, as in the case of all drainage easements, is subject to stormwater overflow and erosion to an extent which cannot be specifically defined. The City of Mansfield shall not be held liable for any damages resulting from the occurrence of these natural phenomena or the failure of any facilities within said drainage easement. Further, the City of Mansfield will not be responsible for erosion control or any damage to private properties or persons resulting from the flow of water within said drainage easement and properties.

IRF DENOTES IRON ROD FOUND
IRS DENOTES IRON ROD SET
W/ORANGE PLASTIC CAP STAMPED
"R. W. COOMBS RPLS 5294"
C.M. DENOTES CONTROLLING MONUMENT



Coombs Land Surveying, Inc.
P.O. Box 6160 Fort Worth Texas 76115
(817) 920-7600

T.B.P.L.S. FIRM No. 10111800

CLS JOB No. 21-0069
OF No. 21-2412

STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, HIEP DUC TRAN and HANH THU NGUYEN, are the sole owners of all that certain tract of land located in the JOAB WATSON SURVEY, ABSTRACT No. 1632, City of Mansfield, Tarrant County, Texas, according to the deed recorded in Clerk's File No. D221153830 of the Official Public Records of Tarrant County, Texas and more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod found at the Northeast corner of said Tran and Nguyen, being the Northwest corner of Lot 25, Block 2, Bankston Meadows, an addition to the City of Mansfield, Texas, according to the plat recorded in Cabinet A, Slide 10203 of the Plat Records of Tarrant County, Texas and lying in the South boundary line of Lot 23, said Block 2, Bankston Meadows;

THENCE S 30° 42' 31" E, 530.60 feet along the East boundary line of said Tran and Nguyen Tract with the West boundary line of said Block 2 and Block 3, Bankston Meadows, to a 1/2-inch iron rod set with orange plastic cap stamped "R. W. COOMBS RPLS 5294" from which a 1/2-inch iron rod found at the Southwest corner of Lot 10, said Block 3 bears S 30° 42' 31" E, 94.75 feet and from which a 1/2-inch iron rod found with yellow plastic cap stamped "AREA SURVEYING" bears S 65° 56' 48" W, 1.41 feet;

THENCE S 59° 03' 20" W, at 200.09 feet passing a 1/2-inch iron rod found with yellow plastic cap stamped "CBG" at the most Northerly Northeast corner of Lot 2, Block 1, Long Estates, an addition to the City of Mansfield, Texas, according to the plat recorded in Clerk's File No. D220222806 of the Official Public Records of Tarrant County, Texas, and continuing in all a total distance of 319.96 feet to a 1/2-inch iron rod found with yellow plastic cap stamped "CBG" at the Northwest corner of said Lot 2, Long Estates, lying in the West boundary line of aforesaid Tran and Nguyen Tract and the East boundary line of aforesaid Block 2, Bankston Meadows and from which a 5/8-inch iron rod found with yellow plastic cap stamped "BHB" at the Southwest corner of said Lot 2, Long Estates, bears S 30° 43' 26" E, 552.27 feet;

THENCE N 30° 43' 26" W, 439.44 feet along the West boundary line of said Tran and Nguyen Tract with the East boundary line of said Block 2, Bankston Meadows to a 1/2-inch iron rod found with yellow plastic cap stamped "AREA SURVEYING" at the Northwest corner of said Tran and Nguyen Tract;

THENCE N 43° 10' 30" E, 333.17 feet along the North boundary line of said Tran and Nguyen Tract with the South boundary line of said Block 2, Bankston Meadows, to the PLACE OF BEGINNING, containing 3.563 acres (155,217 square feet) of land.

STATE OF TEXAS

COUNTY OF TARRANT

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, HIEP DUC TRAN and HANH THU NGUYEN, being the sole owners of the above described parcel, do hereby adopt the herein above described property as LOTS 3, 4, 5 AND 6, BLOCK 1, LONG ESTATES, an addition to the City of Mansfield, Tarrant County, Texas and do hereby dedicate to the public use the streets and easements as shown thereon.

I hereby set my signature for the purposes herein expressed this the _____ day of _____, 2021.

HIEP DUC TRAN

I hereby set my signature for the purposes herein expressed this the _____ day of _____, 2021.

HANH THU NGUYEN

STATE OF TEXAS

COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared HIEP DUC TRAN, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2021.

NOTARY PUBLIC

STATE OF TEXAS

STATE OF TEXAS

COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared HANH THU NGUYEN, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2021.

NOTARY PUBLIC

STATE OF TEXAS

SURVEYOR'S CERTIFICATE

THIS is to certify that I, RONALD W. COOMBS, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual survey on the ground and that all lot corners, angle points and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

RONALD W. COOMBS, R.P.L.S.
Texas Registration No. 5294

FINAL PLAT

**LOTS 3, 4, 5 AND 6, BLOCK 1
LONG ESTATES**

BEING 3.563 ACRES OF LAND LOCATED IN THE
JOAB WATSON SURVEY, ABSTRACT No. 1632

CITY OF MANSFIELD
TARRANT COUNTY, TEXAS

4 LOTS

3.336 ACRES

AUGUST 19, 2021 SD# 21-040

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE
CITY OF MANSFIELD, TEXAS ON _____, 2021
BY:
CHAIRMAN, PLANNING AND ZONING COMMISSION
ATTEST:
SECRETARY, PLANNING AND ZONING COMMISSION

OWNERS:
HIEP DUC TRAN & HANH THU NGUYEN
1890 SOUTHEAST PARKWAY
ARLINGTON, TEXAS 76018
PHONE (682) 365-1402
email: hdt66vn@gmail.com

SURVEYOR:
COOMBS LAND SURVEYING, INC.
P. O. BOX 6160
FORT WORTH, TEXAS 76115
CONTACT: RON COOMBS
PHONE (817) 920-7600
email: ron.coombs@sbcglobal.net

THIS PLAT FILED IN INSTRUMENT No _____, DATE: _____



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
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STAFF REPORT

File Number: 21-4272

Agenda Date: 9/7/2021

Version: 1

Status: Consent

In Control: Planning and Zoning Commission

File Type: Plat

Title

SD#21-034: Final Plat of Lots 1 and 2, Block 1, Regency Addition on 6.102 acres located at 76 Regency Parkway; Realsearch of Texas, LLC, surveyor; Texas E.R. Medical Billing, Inc., owner

Description/History

The purpose of this plat is to create two commercial lots; Lot 1 is 2.537 acres and Lot 2 is 3.324 acres. TMI Sports Medicine will construct a physical therapy office on Lot 1 and Lot 2 will remain vacant for a future development.

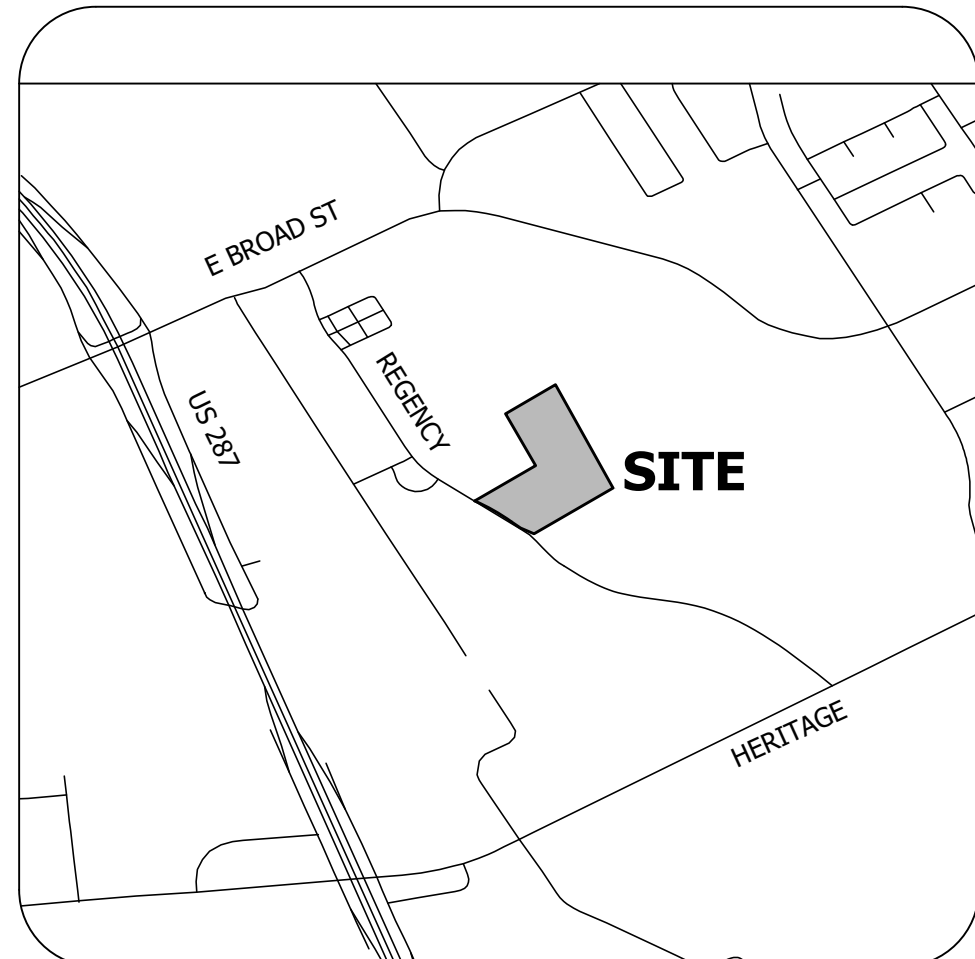
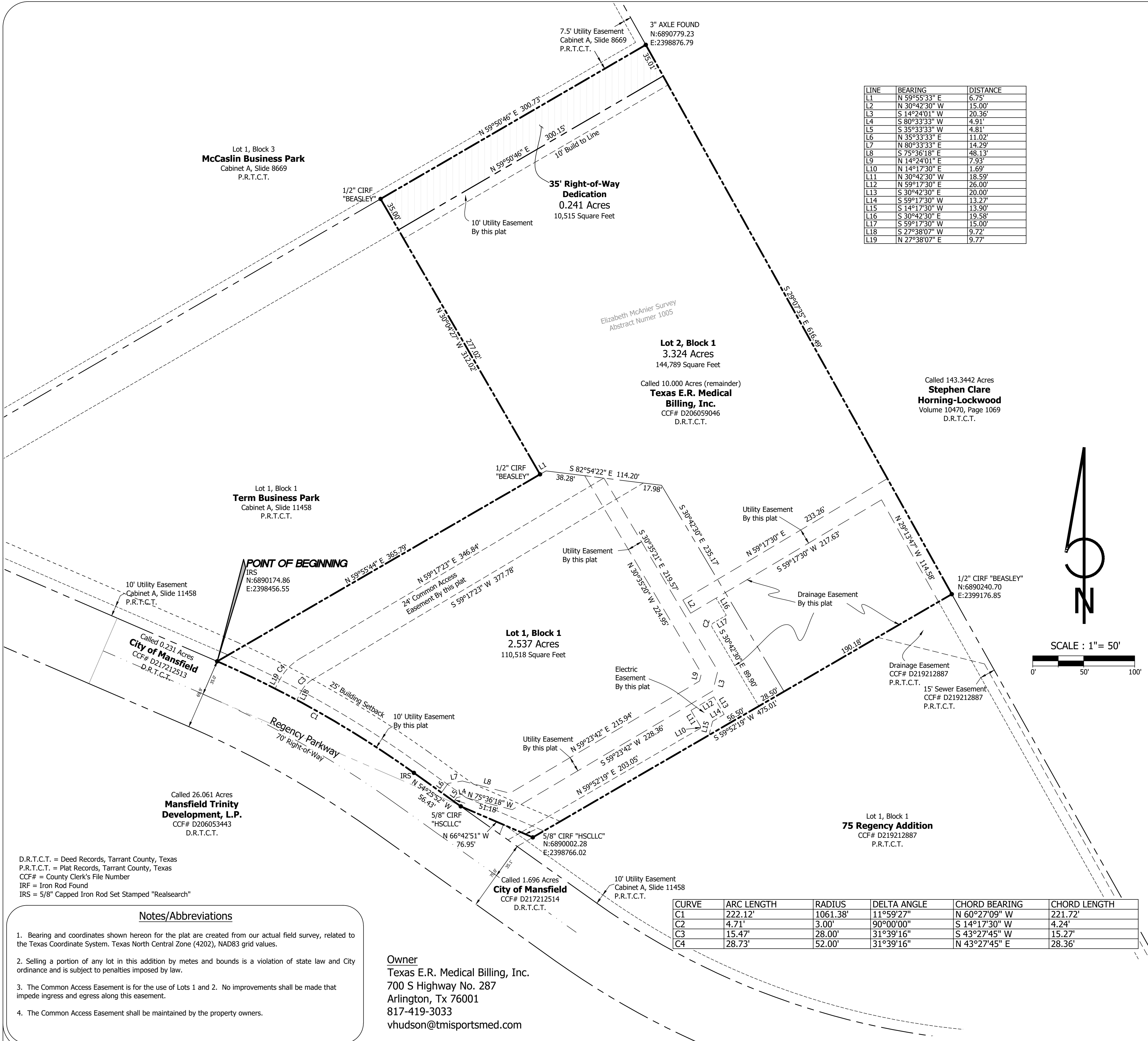
Although there are no signatures on the copy of the plat in the Commission's packet, the filing copy has been signed. The plat meets the requirements of the Subdivision Control Ordinance.

Recommendation

Staff recommends approval.

Attachments

Final Plat



Flood Statement

According to Community Panel Number 48439C0480K, dated September 25, 2009, of the Federal Emergency Management Agency, National Flood Insurance Program Map, this property lies within Zone "X" which is not a Special Flood Hazard Area. If this site is not within a Special Flood Hazard Area, this statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man made or natural causes. This statement shall not create liability on the part of the Surveyor.

Approved by the City of Mansfield

P & Z Commission Chairman _____ Date _____
Attest: _____ Date _____
P & Z Secretary

CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR AFOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

Owner's Certificate

WHEREAS Texas E.R. Medical Billing, Inc is the sole owner of a 6.102 acre tract of land situated in the Elizabeth McAnier Survey, Abstract Number 1005, City of Mansfield, Tarrant County, Texas, and being a portion of a called 10.000 acre tract of land (remaining portion) described by deed to Texas E.R. Medical Billing, Inc., recorded in County Clerk's File Number D206059046, Deed Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8" capped iron rod set stamped "Realsearch" at the southernmost corner of Lot 1, Block 1, Term Business Park, an addition to the City of Mansfield, according to the plat recorded in Cabinet A, Slide 11458, Plat Records, Tarrant County, Texas, and being on the northeast right-of-way line of Regency Parkway, a 70' right-of-way;

THENCE North 59 degrees 55 minutes 44 seconds East, along the southeast line of said Lot 1, a distance of 365.79 feet, to a 1/2" capped iron rod found stamped "BEASLEY" at the easternmost corner of said Lot 1;

THENCE North 30 degrees 04 minutes 27 seconds West, departing said southeast line and along the northeast line of said Lot 1, a distance of 312.02 feet, to a 1/2" capped iron rod found stamped "BEASLEY" at the northernmost corner of said Lot 1, being on the northwest line of said called 10.000 acre tract, same being the southeast line of Lot 1, Block 3, McCaslin Business Park, an addition to the City of Mansfield, according to the plat recorded in Cabinet A, Slide 8669, Plat Records, Tarrant County, Texas;

THENCE North 59 degrees 50 minutes 46 seconds East, departing said northeast line and along the northwest line of said called 10.000 acre tract, being common with the southeast line of said Lot 1, Block 3, a distance of 300.73 feet, to a 3" AXLE FOUND at the northernmost corner of said called 10.000 acre tract, same being the easternmost corner of said Lot 1, Block 3, and being on the southwest line of a called 143.3442 acre tract of land described by deed to Stephen Clare Horning-Lockwood, recorded in Volume 10470, page 1069, Deed Records, Tarrant County, Texas;

THENCE South 29 degrees 07 minutes 35 seconds East, departing said common line and along the northeast line of said called 10.000 acre tract, being common with the southwest line of said called 143.3442 acre tract, a distance of 616.46 feet, to a 1/2" capped iron rod found stamped "BEASLEY" at the easternmost corner of said called 10.000 acre tract, same being the northernmost corner of Lot 1, Block 1, 75 Regency Addition, an addition to the City of Mansfield, according to the plat recorded in County Clerk's File Number D219212887, Plat Records, Tarrant County, Texas;

THENCE South 59 degrees 52 minutes 19 seconds West, departing said common line and along the southeast line of said called 10.000 acre tract, being common with the northwest line of 75 Regency Addition, a distance of 475.01 feet, to 5/8" capped iron rod found stamped "HSCLLC";

THENCE North 66 degrees 42 minutes 51 seconds West, continuing along said common line, a distance of 76.95 feet, to a 5/8" capped iron rod found stamped "HSCLLC", being on the northeast right-of-way line of said Regency Parkway;

THENCE North 54 degrees 25 minutes 52 seconds West, departing said common line and along said northeast right-of-way line, a distance of 56.43 feet, to a 5/8" capped iron rod set stamped "Realsearch", being at the beginning of a curve to the left;

THENCE 222.12 feet, continuing along said northeast right-of-way line and with said curve to the left, having a radius of 1061.38 feet, through a central angle of 11 degrees 59 minutes 27 seconds, whose long chord bears North 60 degrees 27 minutes 09 seconds West, a chord length of 221.72 feet, to the POINT OF BEGINNING, and containing 6.102 acres or 265,823 square feet of land, more or less.

NOW THEREFORE KNOWN ALL MEN BY THESE PRESENTS:

That Texas E.R. Medical Billing, Inc, being the sole owner of the above described parcel, does hereby adopt the herein above described property as LOTS 1 & 2, BLOCK 1, REGENCY ADDITION, an addition to the City of Mansfield, Tarrant County, Texas and does hereby dedicate to the public use the streets and easements as shown thereon.

Texas E.R. Medical Billing, Inc
Name: _____
Title: _____

Date ____/____/____.

SWORN AND SUBSCRIBED BEFORE ME BY _____

THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC, STATE OF TEXAS

MY COMMISSION EXPIRES: _____

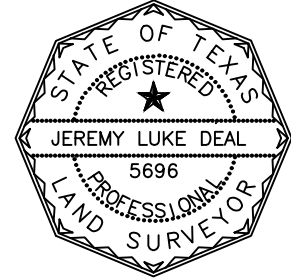
Surveyor's Certification

KNOW ALL MEN BY THESE PRESENTS:

This is to certify that I, Jeremy Deal, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Executed this the 27th day of August, in the year of our Lord 2021.

Jeremy Luke Deal
Registered Professional Land Surveyor
Texas Registration No. 5696



FINAL PLAT
LOTS 1 & 2, BLOCK 1
REGENCY ADDITION

6.102 acres out of the Elizabeth McAnier Survey,
Abstract Number 1005, City of Mansfield, Tarrant
County, Texas.

2 Lots
Date of Preparation: July 28, 2021
City Case Number: SD# 21-034

Project Number: 200115 Date: July 28, 2021

Revised Date:
Revision Notes:

Sheet 1 of 1

REALSEARCH OF TEXAS, LLC
P.O. Box 1006, Godley, Texas 76044
Ph. 682-200-6050, jdeal@realsearch.org, www.realsearch.org
Thou shalt not remove thy neighbor's landmark Deut. 19:14
TBLIS Firm Registration # 10158200 TBLIS Firm Registration # 17968

After recording please return this
plat to the City of Mansfield.
1200 E Broad Street
Mansfield, Tx 76063

Owner
Texas E.R. Medical Billing, Inc.
700 S Highway No. 287
Arlington, Tx 76001
817-419-3033
vhudson@tmisportsmed.com

Notes/Abbreviations

- Bearing and coordinates shown hereon for the plat are created from our actual field survey, related to the Texas Coordinate System. Texas North Central Zone (4202), NAD83 grid values.
- Selling a portion of any lot in this addition by metes and bounds is a violation of state law and City ordinance and is subject to penalties imposed by law.
- The Common Access Easement is for the use of Lots 1 and 2. No improvements shall be made that impede ingress and egress along this easement.
- The Common Access Easement shall be maintained by the property owners.





CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4273

Agenda Date: 9/7/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Plat

Title

SD#21-041: Public Hearing on a Final Plat of Easy Drive Business Park being a revision of Lot 1, McAnier Addition and a 2.117 acre unplatted tract situated in the Elizabeth McAnier Survey, Abstract No. 571, for a total of approximately 4.330 acres; Altar Holdings, LLC, owner; G.A. Dixon Associates, engineer; Coombs Land Surveying, Inc., surveyor

Description/History

The purpose of this plat is to create nine industrial lots. The plat includes a replat of Lot 1, McAnier Addition, being 2.213 acres and approximately 2.117 acres of unplatted property at the southwest corner of Easy Drive and S. 2nd Avenue. The property is zoned I-2, Heavy Industrial District. No right-of-way dedication is required. The lots are in conformance with the approved preliminary plat.

The lots conform to the zoning and subdivision regulations except that Lots 6, 7 and 8 do not have direct street frontage. The Subdivision Control Ordinance requires lots to have frontage on a public street. As is typical with commercial developments, these lots will be accessed by a 36-foot common access easement from both S. 2nd Avenue and Easy Drive.

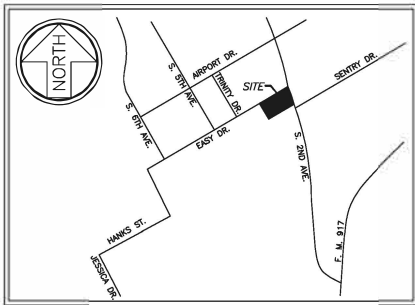
Although the digital copy of the plat in the Commission's packet does not have signatures, the filing copy has been signed.

Recommendation

Staff recommends approval

Attachments

Approved Preliminary Plat
Final Plat



VICINITY MAP
NOT TO SCALE

* LOT SUMMARY *		
LOT	ACRES	SQUARE FEET
1	0.743	32,374
2	0.532	23,181
3	0.530	23,067
4	0.528	22,987
5	0.556	24,216
6	0.325	14,137
7	0.365	15,902
8	0.307	13,372
9	0.445	19,389

* NOTES *

1. NOTICE: SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
2. BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL TEXAS ZONE DERIVED FROM CITY OF MANSFIELD MONUMENTS.
3. THE 24' AND 36' COMMON ACCESS AND UTILITY EASEMENTS ARE FOR THE USE OF LOTS 1-9. NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND EGRESS ALONG THESE EASEMENTS.
4. THE 24' AND 36' COMMON ACCESS AND UTILITY EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNERS.
5. NO PORTION OF THIS PROPERTY LIES WITHIN A 100-YEAR FLOOD BOUNDARY LINE ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR TARRANT COUNTY, TEXAS, COMMUNITY PANEL No. 48251C0100 J, MAP EFFECTIVE DECEMBER 4, 2012.

CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

This plat is proposed by the owners of properties described herein (hereinafter referred to as "property owners") and is approved by the City of Mansfield subject to the following conditions which shall be binding upon the property owners, his heirs, grantees, successors and assigns.

No obstruction to the flow of storm water run-off shall be permitted by filling or by construction of any type of dam, building, bridge, fence, or any other structure within the drainage easement shown herein on this plat, unless approved by the City of Mansfield. Provided, however, it is understood that in the event it becomes necessary for the City of Mansfield to erect drainage facilities in order to improve the storm drainage that may be occasioned by the streets and alleys in or adjacent to the subdivision, then in such event, the City of Mansfield shall have the right to enter said drainage easement at any point or points to erect, construct and maintain any facility deemed necessary for drainage purposes.

The property owners will be responsible for maintaining said drainage easement. The property owners shall keep said drainage easement clean and free of debris, silt, high weeds, and any substance which would result in unsanitary or undesirable conditions. The property owners shall be responsible for recommended or required maintenance of any private storm water facility located on the property in proper functioning capacity. The City of Mansfield shall have the right of ingress and egress for the purpose of inspecting and supervising maintenance work done by the property owners. If at any time the property owners fail to satisfy any of their aforementioned responsibilities or obligations, the City of Mansfield, upon ten (10) days prior notice to the owners, may enter said drainage easement at any point or points to perform maintenance or clean-up, and bill the property owners the cost incurred, or place a lien on said properties if the bill is not paid within thirty (30) days of its mailing.

Said drainage easement, as in the case of all drainage easements, is subject to stormwater overflow and erosion to an extent which cannot be specifically defined. The City of Mansfield shall not be held liable for any damages resulting from the occurrence of these natural phenomena or the failure of any facilities within said drainage easement. Further, the City of Mansfield will not be responsible for erosion control or any damage to private properties or persons resulting from the flow of water within said drainage easement and properties.

LOT 1, BLOCK 1
TRINITY FORGE INDUSTRIAL ADDITION
INST. No. 2021-88
P.R.J.C.T.

MANSFIELD ECONOMIC
DEVELOPMENT CORPORATION
VOL. 3840, PG. 319
D.R.J.C.T.

IRF
IRS
C.M.
VOL.
PG.
D.R.J.C.T.
P.R.J.C.T.
O.R.J.C.T.
Ac.
S.F.
ESWT.

* LEGEND *

IRON ROD FOUND
IRON ROD SET
W/ORANGE PLASTIC CAP STAMPED
"R. W. COOMBS RPLS 5294"
CONTROLLING MONUMENT
PAGE
DEED RECORDS, JOHNSON COUNTY, TEXAS
PLAT RECORDS, JOHNSON COUNTY, TEXAS
OFFICIAL RECORDS, JOHNSON COUNTY, TEXAS
ACRE
SQUARE FEET
EASEMENT



Coombs Land Surveying, Inc.
P.O. Box 6160 Fort Worth Texas 76115
(817) 920-7600
T.B.P.L.S. FIRM No. 10111800
CLS JOB No. 20-0127
GF No. NONE

STATE OF TEXAS
COUNTY OF JOHNSON

WHEREAS, ALTAR HOLDINGS, LLC, acting by and through the undersigned, its duly authorized agent, is the sole owner of a 4.330 acre tract of land located in the ELIZABETH McANIER SURVEY, ABSTRACT No. 571, City of Mansfield, Johnson County, Texas as recorded in Document No. 2020-25354 and Document No. 2020-39233 of the Official Public Records of Johnson County, Texas, including all of Lot 1, McAnier Addition, an addition to the City of Mansfield, Texas according to the plat recorded in Volume 8, Page 540 of the Plat Records of Johnson County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found at the Northeast corner of said Altar Holdings, Tract, lying in the Westerly right-of-way line of South 2nd Avenue (a 100-foot wide right-of-way) at its intersection with the Southerly right-of-way line of Easy Drive (a variable width right-of-way);

THENCE SOUTHEASTERLY, 340.10 feet along the Westerly right-of-way line of said South 2nd Avenue with a Curve to the Right, having a radius of 2864.79 feet, a central angle of 06° 48' 07" and a chord bearing S 19° 11' 59" E, 339.90 feet to a 1/2-inch iron rod found at the Southeast corner of said Altar Holdings Tract, being the Southeast corner of said Lot 1, McAnier Addition and the Northeast corner of Lot 2, Block 1, McAnier Addition, an addition to the City of Mansfield, Texas according to the plat recorded in Volume 8, Page 946 of the Plat Records of Johnson County, Texas;

THENCE S 59° 37' 13" W, along the Northerly boundary line of said Lot 2, passing the Southwest corner of said Lot 1 and continuing in all a total distance of 532.59 feet to a 1/2-inch iron rod found at the Southwest corner of aforesaid Altar Holdings Tract, being the Southeast corner of that certain tract of land described in deed to James H. Stevens, Robert E. Stevens and William J. Stevens, recorded in Volume 2996, Page 251 of the Deed Records of Johnson County, Texas;

THENCE N 30° 29' 15" W, 330.00 feet along the common boundary line between said Altar Holdings Tract and said Stevens Tract to a 1/2-inch iron rod found at the Northwest corner of said Altar Holding Tract, lying in the aforesaid Southerly right-of-way line of Easy Drive;

THENCE along the said Southerly right-of-way line of Easy Drive as follows:

N 59° 36' 44" E, 100.41 feet to a 1/2-inch iron rod found;

N 59° 13' 30" E, 498.72 feet to the PLACE OF BEGINNING, containing 4.330 acres (188,626 square feet) of land.

STATE OF TEXAS
COUNTY OF JOHNSON

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, ALTAR HOLDINGS, LLC, acting by and through the undersigned, its duly authorized agent, being the sole owner of the above described parcel, do hereby adopt the herein above described property as LOTS 1-9, BLOCK 1, EASY DRIVE BUSINESS PARK, an addition to the City of Mansfield, Johnson County, Texas and do hereby dedicate to the public use the streets and easements as shown thereon.

I hereby set my signature for the purposes herein expressed this the _____ day of _____, 2021.

ALTAR HOLDINGS, LLC

BY: DAVID L. COOK, President

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared DAVID L. COOK, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2021.

NOTARY PUBLIC
STATE OF TEXAS

SURVEYOR'S CERTIFICATE

THIS is to certify that I, RONALD W. COOMBS, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual survey on the ground and that all lot corners, angle points and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

RONALD W. COOMBS, R.P.L.S.
Texas Registration No. 5294

FINAL PLAT
LOTS 1-9, BLOCK 1
EASY DRIVE BUSINESS PARK

BEING A REVISION OF LOT 1, McANIER ADDITION
ACCORDING TO THE PLAT RECORDED IN VOLUME 8, PAGE 540, DRAWER A, P.R.J.C.T.
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS

9 LOTS
4.330 ACRES

OWNER:
ALTAR HOLDINGS, LLC
309 E. BROAD STREET
MANSFIELD, TEXAS 76063
(817) 473-3332
e-mail: david@harriscooklaw.com

ENGINEER
G. A. DIXON ASSOCIATES
4305 MOSSRIDGE COURT
ARLINGTON, TEXAS 76016
(882) 808-3156
e-mail: egad1258@gmail.com

SURVEYOR:
COOMBS LAND SURVEYING, INC.
P.O. BOX 6160
FORT WORTH, TEXAS 76115
(817) 920-7600
e-mail: ron.coombs@sbcglobal.net

SD#21-041

AUGUST 18, 2021

PLAT FILED _____, 2021
INSTRUMENT # _____
DRAWER _____ SLIDE _____
BECKY IVEY, JOHNSON COUNTY CLERK
BY _____, DEPUTY CLERK

APPROVED BY THE CITY OF MANSFIELD
APPROVED BY: _____ 2021 P & Z COMMISSION CHAIRMAN
ATTEST: _____ 2021 PLANNING AND ZONING SECRETARY

AFTER RECORDING, RETURN TO CITY OF MANSFIELD
1200 E. BROAD STREET, MANSFIELD, TX 76063



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4274

Agenda Date: 9/7/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

SUP#21-006: Public hearing and consideration of a request for a Specific Use Permit for an Auto Rental on approximately 2.754 acres being Lot 5, Block 1, Mansfield Commons located at 990 N US 287; The Commons at Walnut Creek 18, Owner; Avis Budget, proposed tenant/applicant

Description/History

Existing Use: Multi-tenant retail building

Existing Zoning: C-2, Community Business District

Surrounding Land Use & Zoning:

North - Country Club Drive; gas station, retail and restaurants, C-2

South - Retail, restaurants, and parking lot, C-2

East -Retail, restaurants, and parking lot, C-2

West - Retail, restaurants, and parking lot, C-2

Comments and Considerations

The applicant is proposing a car rental office and vehicle storage in the existing shopping center at 990 N US 287 Suite 108. This will be a full service car rental facility servicing both commercial accounts and leisure customers. The location will be a pickup/drop off location with approximately ten cars on site at a time. Vehicles will be dropped off in the parking lot awaiting customers to pick them up. At the end of the rental period, the vehicles will be dropped off in the parking lot, the interior of the vehicles will be cleaned and wait to be picked up and transported to another location.

Property

The applicant is requesting a Specific Use Permit (SUP) for an Avis Budget Car Rental office and vehicle storage. The building is a large multi-tenant building. The proposed business will occupy a suite with an area of approximately 1,225 square feet formerly occupied by Sign-a-Rama. The existing building meets the C-2 requirements for parking and landscaping. The parking spaces the applicant has specified on Exhibit B are the main parking spaces for the existing businesses.

Recommendation

The subject property is located in the C-2 Community Business District, which allows for an Auto Rental use with a Specific Use Permit. The Zoning Ordinance specifies that a

Specific Use Permit shall only be issued if all seven conditions have been met; staff does not believe that all conditions have been met.

Condition 1 specifies "That the specific use permit will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values within the immediate vicinity." Staff determines that this is a prominent shopping center in the City and that an auto rental use is not the highest and best use for this location.

Condition 4 specifies "The design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments". The business will use ten or more parking spaces for vehicles waiting to be picked up as well as parking spaces for employees. Vehicles that are being returned will be parked until the interior can be cleaned and then continue to use those spaces until they can be picked up and moved to another location. Parking at this site was established for customer use and not for the overnight storage and cleaning of vehicles. Staff determines the location of the vehicle storage will be visually unappealing and has the potential to become a nuisance to surrounding businesses as it is not separated from the existing parking for the commercial complex.

The applicant has stated in their narrative that no more than ten cars will be at this location at a time. Depending on the amount of business, staff believes they could potentially have more vehicles at any given time. It would be very difficult for Code Compliance to document and enforce the amount of cars coming and going in order to enforce this regulation.

Staff recommends denial of the proposed SUP.

Attachments:

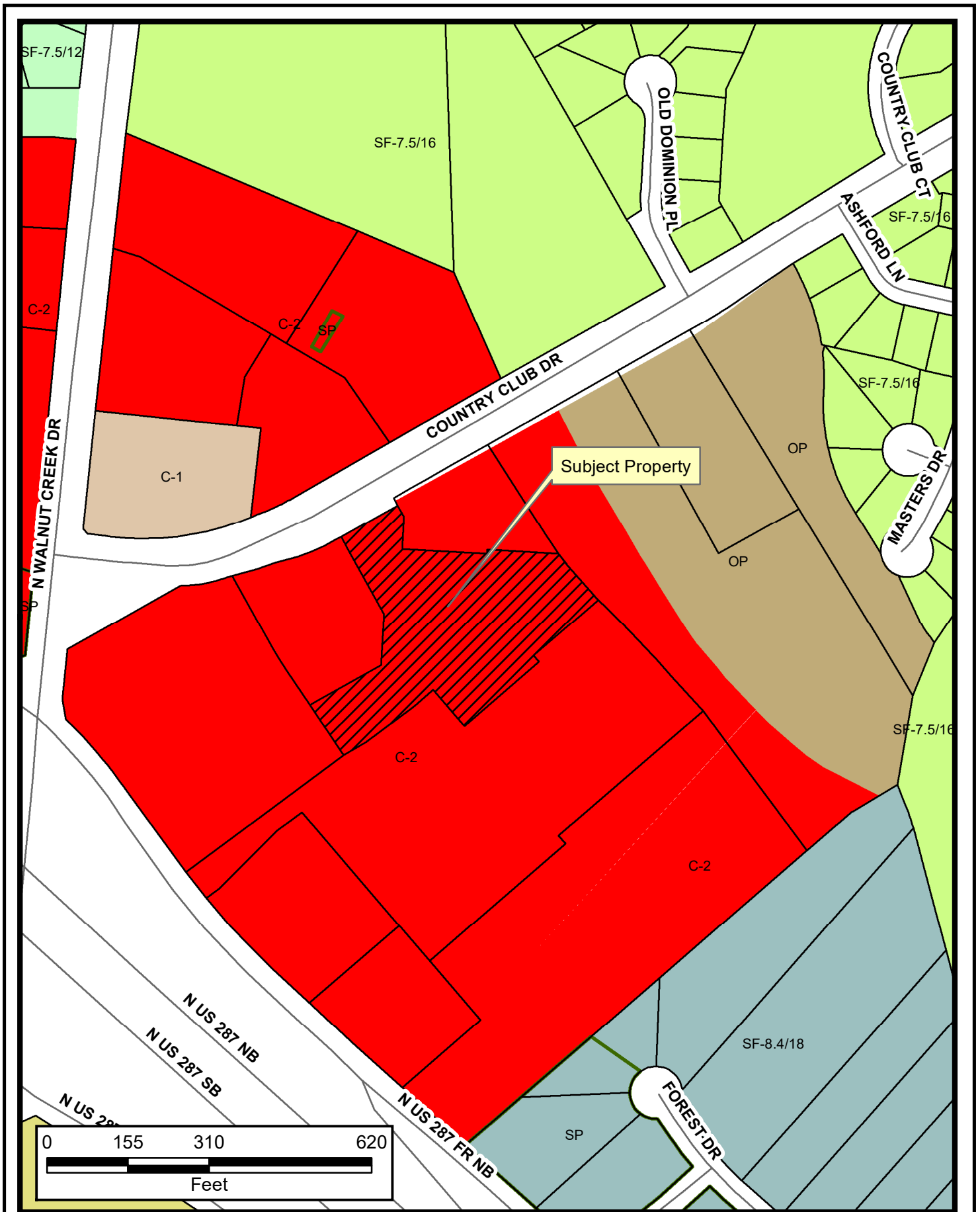
Maps and supporting information
Exhibit A - Property Description
Exhibit B - Site Plan and Narrative
Exhibit C -Elevations
Exhibit D - Sign Plan



SUP#21-006

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

8/24/2021



Property Owner Notification for SUP#21-006

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
MANSFIELD COMMONS ADDITION	LOT 1	CHAVEZ BROTHERS INC	12817 WHISPER WILLOWS DR	HASLET, TX	76052
MANSFIELD COMMONS ADDITION	LOT 4	THE COMMONS AT WALNUT CREEK 18	12411 VENTURA BLVD	STUDIO CITY, CA	91604
MANSFIELD COMMONS ADDITION	LOT 5	THE COMMONS AT WALNUT CREEK 18	12411 VENTURA BLVD	STUDIO CITY, CA	91604
MANSFIELD COMMONS ADDITION	LOT 6	JK COUNTRY CLUB LLC	1114 SEMINARY DR	FORT WORTH, TX	76115
MANSFIELD COMMONS ADDITION	LOT 7	THE COMMONS AT WALNUT CREEK 18	12411 VENTURA BLVD	STUDIO CITY, CA	91604
MANSFIELD COMMONS ADDITION	LOT 8	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
MANSFIELD NATIONAL SUBDIVISION	BLK 1	OVERTON BANK & TRUST NA	111 W HOUSTON ST FL 11	SAN ANTONIO, TX	78205
WALNUT CREEK CORNER ADDN	BLK 1	CCSC PARTNERS LLC	835 E LAMAR STE 215	ARLINGTON, TX	76011
WALNUT CREEK CORNER ADDN	BLK 1	ISLAND HARBOR HOUSE INC	5 MOTLEY AVE	STATEN ISLAND, NY	10314
WALNUT CREEK CORNER ADDN	BLK 1	EDLOFT LLC	260 S LOS ROBLES AVE STE 212	PASADENA, CA	91101-3625

SUP#21-006
Exhibit A

BEING A TRACT OF LAND LOCATED IN THE J. R. WORRALL SURVEY, ABSTRACT NO. 1736, TARRANT COUNTY, TEXAS, BEING ALL OF LOT 5, MANSFIELD COMMONS, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET A, SLIDE 6770, PLAT RECORDS, TARRANT COUNTY, TEXAS (P.R.T.C.T.), AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC" IN THE SOUTH RIGHT-OF-WAY LINE OF COUNTRY CLUB DRIVE (VARIABLE WIDTH RIGHT-OF-WAY), SAID IRON ROD BEING THE MOST NORTHERLY NORTHWEST CORNER OF SAID LOT 5 AND THE NORTHEAST CORNER OF LOT 6 OF SAID MANSFIELD COMMONS;

THENCE N 61°00'13" E, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID COUNTRY CLUB DRIVE, A DISTANCE OF 123.58 FEET TO A "X" CUT FOUND, BEING THE NORTH CORNER OF SAID LOT 5 AND IN A WEST LINE OF LOT 7 OF SAID MANSFIELD COMMONS;

THENCE DEPARTING THE SOUTH RIGHT-OF-WAY LINE OF SAID COUNTRY CLUB DRIVE AND ALONG THE WEST LINE OF SAID LOT 7 AS FOLLOWS:

- 1) S 28°59'47" E, A DISTANCE OF 30.59 FEET TO A "X" CUT FOUND;
- 2) S 03°04'29" W, A DISTANCE OF 62.32 FEET TO A "X" CUT FOUND, BEING THE SOUTHWEST CORNER OF SAID LOT 7;

THENCE ALONG THE SOUTH LINE OF SAID LOT 7 AS FOLLOWS:

- 1) S 86°55'31" E, A DISTANCE OF 162.44 FEET TO A "X" CUT FOUND;
- 2) S 03°04'29" W, A DISTANCE OF 7.50 FEET TO A "X" CUT FOUND;
- 3) S 86°55'31" E, A DISTANCE OF 149.82 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE NORTHEAST CORNER OF SAID LOT 5, THE SOUTHEAST CORNER OF SAID LOT 7, IN THE WEST LINE OF LOT 8 OF SAID MANSFIELD COMMONS, AND BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHEASTERLY, AN ARC LENGTH OF 90.31 FEET ALONG THE WEST LINE OF SAID LOT 8 AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 699.36 FEET, A DELTA ANGLE OF 07°23'54", AND A CHORD BEARING OF S 41°54'15" E, 90.24 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE EAST CORNER OF SAID LOT 5 AND THE MOST NORTHERLY NORTH CORNER OF LOT 4 OF SAID MANSFIELD COMMONS;

THENCE DEPARTING THE SOUTHWEST LINE OF SAID LOT 8 AND ALONG THE NORTHWEST LINE OF SAID LOT 4 AS FOLLOWS:

- 1) S 49°17'18" W, A DISTANCE OF 163.07 FEET TO A "X" CUT FOUND;

- 2) S 40°42'42" E, A DISTANCE OF 15.61 FEET TO A POINT;
- 3) S 49°17'18" W, A DISTANCE OF 188.12 FEET TO A "X" CUT FOUND;
- 4) N 40°42'42" W, A DISTANCE OF 91.17 FEET TO A "X" CUT FOUND;
- 5) S 49°17'18" W, A DISTANCE OF 52.40 FEET TO A "X" CUT FOUND;
- 6) S 53°39'55" W, A DISTANCE OF 111.98 FEET TO A "X" CUT FOUND;
- 7) S 59°50'34" W, A DISTANCE OF 47.78 FEET TO A "X" CUT FOUND, BEING THE MOST WESTERLY SOUTHWEST CORNER OF SAID LOT 5 AND THE EAST CORNER OF LOT 1, BLOCK 1, MANSFIELD NATIONAL SUBDIVISION, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 388-152, PAGE 57, P.R.T.C.T.;

THENCE N 33°54'16" W, ALONG THE NORTHEAST LINE OF SAID LOT 1, A DISTANCE OF 115.50 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE MOST SOUTHERLY NORTHWEST CORNER OF SAID LOT 5 AND THE SOUTH CORNER OF SAID LOT 6;

THENCE N 61°00'13" E, DEPARTING THE NORTHEAST LINE OF SAID LOT 1 AND ALONG THE SOUTHEAST LINE OF SAID LOT 6, A DISTANCE OF 155.78 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE N 03°03'30" E, ALONG THE EAST LINE OF SAID LOT 6, A DISTANCE OF 98.30 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE N 28°59'47" W, ALONG THE NORTHEAST LINE OF SAID LOT 6, A DISTANCE OF 168.36 FEET TO THE PLACE OF BEGINNING AND CONTAINING 2.726 ACRES (118,735 SQUARE FEET) OF LAND, MORE OR LESS.

FOR LEASE | THE COMMONS AT WALNUT CREEK | 980 HWY 287 N (SEC US 287 & N WALNUT CREEK DR), MANSFIELD, TX 76063

SUITE	TENANT	SF
A102	Star Nails	1,050
A104	Great Clips	1,400
A106	The UPS Store	1,400
A107	Midwestern Financial	1,700
A108	AVAILABLE	1,225
A109	Mansfield Vision	2,754
A110	Family Mattress	3,192
A112	Dr. Kim Nga Le	1,700
A115	Quest Diagnostics	1,400
A120	Super Alterations	1,050
A122	Baskin Robbins	1,464
A124	Hearth Cafe	2,030
100	China King Buffet	7,200
200	Zen Pedi	1,551
206	A++ Foot Massage	1,200
207	Yoga Project	1,643
208	Kumon Math & Reading	1,500
210	Carter Blood Care	3,633
300	Kid Create	1,200
302	Cryon 7	2,151
306	Diet Solution Center	1,454
308	AVAILABLE	2,466
Lot 3	The Salvation Army	20,840
Lot 4	Tom Thumb Store	56,646
Lot 7	Tom Thumb Fuel Center	490



Proposed Suite is
A-108

Avis Budget Car Rental, LLC
Specific Use Permit SUP#21-006
990 N Highway 287, Suite A-108
Mansfield, TX 76063
Project Narrative

Avis Budget Car Rental, LLC is the parent company of Avis Rent a Car System, LLC and Budget Rent a Car System, Inc. We operate both the Avis and Budget car rental brands throughout the United States and worldwide. We are expanding our footprint in the greater Dallas Fort Worth metropolitan area and we've been seeking a rental office location in Mansfield for several years. We will have both Avis and Budget brands at this site.

We will typically have less than 10 cars idle at any given time. Our fleet is shared throughout the greater DFW area and is shuttled in/out based on reservation demand. This will be a full-service car rental facility, servicing both commercial accounts and leisure customers from the surrounding area. We offer daily, weekly, and monthly rates, along with one-way rentals to and from any of our other rental locations within the lower 48 states. Our hours of operation will be Monday through Friday – 7:30 AM to 6:00 PM, Saturday 8:00 AM to 2:00 PM, and Sunday 10:00 AM to 1:00 PM or something very similar. This location will not offer truck rentals.

The location is minimally staffed with an independent agency operator. At this particular location, there would be a maximum of two staff members on duty at any time. Vehicles will be cleaned on site (interiors) and all washing activities will take place off-site. No vehicular maintenance will be conducted on-site.

SUP#21-006

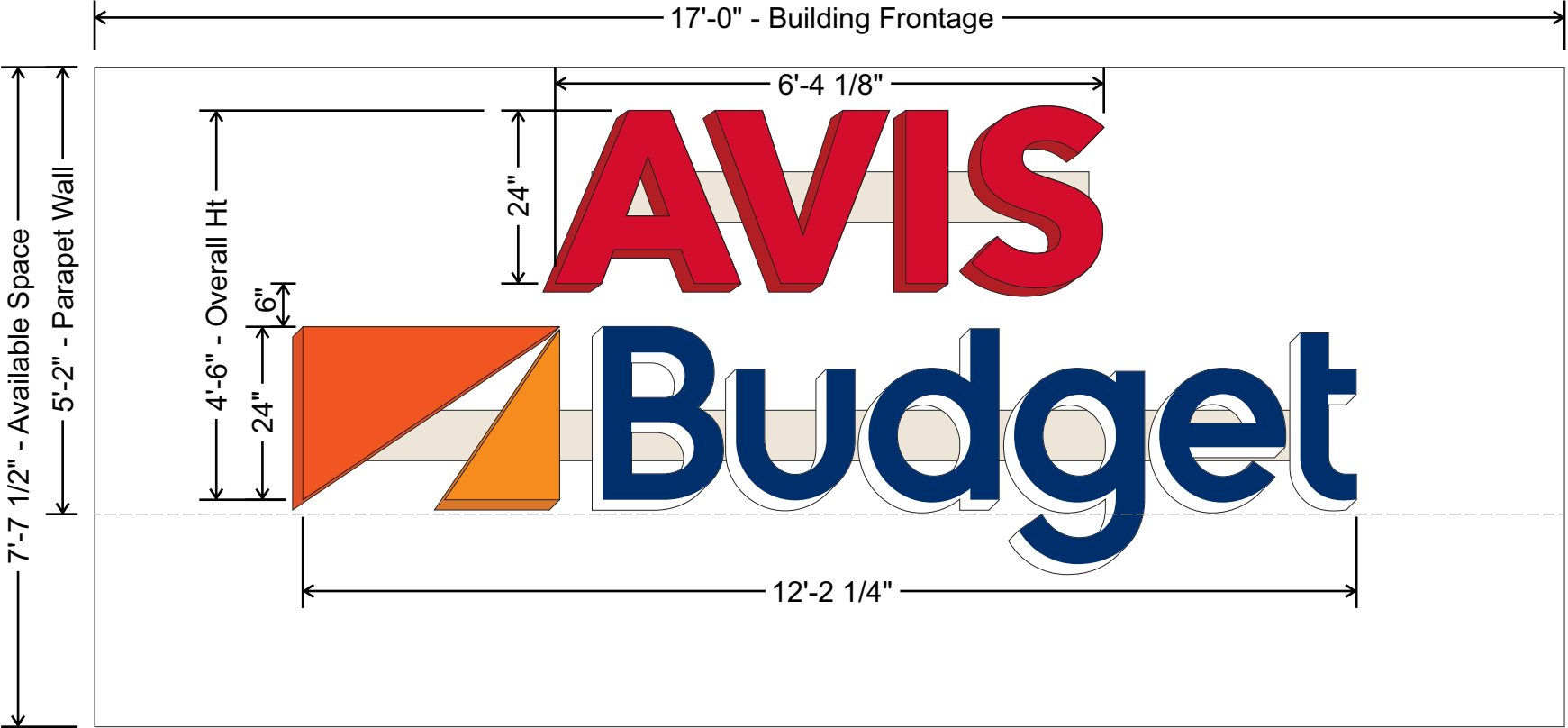
Mansfield, TX - The Commons at Walnut Creek																			
Parking Calculations																			
07/09/2021																			
				Required		Rounded	1st	Over	Rounded										
	<u>Suite</u>	<u>Tenant</u>	<u>SF</u>	<u>Ratio</u>	<u>Calculation</u>	<u>Calculation</u>	<u>3,000 SF</u>	<u>3,000 SF</u>	<u>Calculation</u>										
	A102	Star Nails	1,050	200	5.3	6													
	A104	Great Clips	1,400	200	7.0	7													
	A106	The UPS Store	1,400	250	5.6	6													
	A107	Midwestern Financial	1,700	200	8.5	9													
	A108	Vacant	1,225	250	4.9	5													
	A109	Mansfield Vision	2,754	250	11.0	11													
	A110	Family Matress	3,192	250	12.8	13												1:250 for first 3,000 SF, then 1:300 thereafter	
	A112	Dr. Kim Nga Le	1,700	150	11.3	12												Minimum of 5 spaces	
	A115	Quest Diagnostics	1,400	150	9.3	10												Minimum of 5 spaces	
	A120	Super Alterations	1,050	250	4.2	5													
	A122	Baskin Robbins	1,464	100	14.6	15												Minimum of 12 spaces	
	A124	Hearth Café	2,030	100	20.3	21												Minimum of 12 spaces	
	100	Chia King Buffet	7,200	100	72.0	72												Minimum of 12 spaces	
	200	Zen Pedi	1,551	200	7.8	8													
	206	A++ Foot Masage	1,200	200	6.0	6													
	207	Yoga Project	1,643	200	8.2	9													
	208	Kumon Math & Reading	1,500	200	7.5	8													
	210	Carter Blood Care	3,633	150	24.2	25												Minimum of 5 spaces	
	300	Kid Create	1,200	250	4.8	5													
	302	Cryon 7	2,151	250	8.6	9													
	306	Diet Solution Center	1,454	200	7.3	8													
	308	Vacant	2,466	250	9.9	10													
	LOT 3	The Salvation Army	20,840	250	83.4	72	12	59.5	60									1:250 for first 3,000 SF, then 1:300 thereafter	
	LOT 4	Tom Thumb	56,646	250	226.6	191	12	178.8	179									1:250 for first 3,000 SF, then 1:300 thereafter	
	LOT 7	Tom Thumb Fuel Center	490	250	2.0	2													
		Total	122,339			545													
			Total spaces at center			770													
			Surplus parking over requirement			225													

Exhibit C



SUP#21-006





Illuminated Channel Letter ID Sign - 54.8 SQ FT
1/2" = 1'

5"Deep fabricated channel letters, pre-finished white .063 aluminum backs with clinched .040 pre-finished coil returns

1" Dark Bronze standard trimcap with translucent 3/16" #7328 White acrylic faces
Budget Logo- Applied translucent vinyl graphics

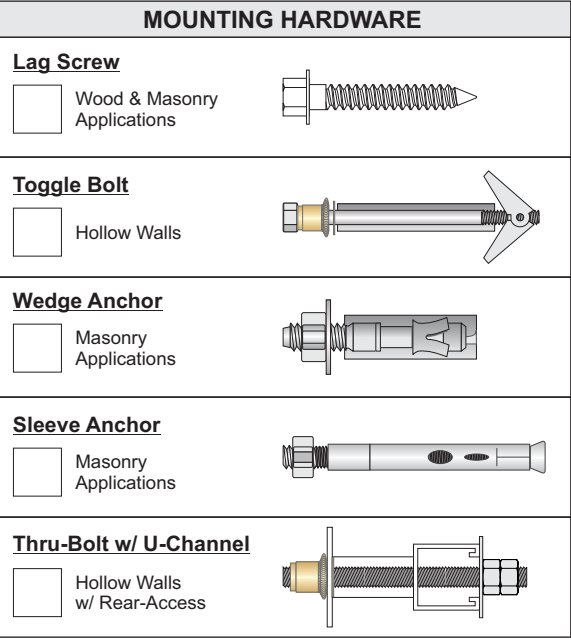
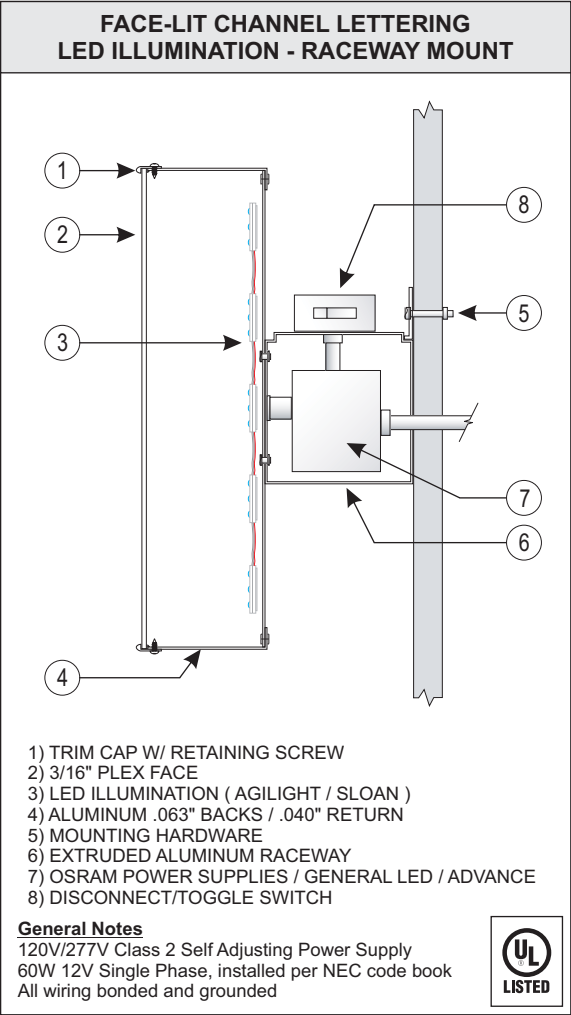
Internally illuminated with white LED lighting, Agilight Pro 160 6500k

All secondary wiring ran thru common brake-formed 7"H x 2"Deep two-part aluminum wire-way
All power supplies located behind parapet wall in exterior rated boxes

Coil/Trimcap
101 Linear Feet

Colors to Match

PMS 186	
Oracal 5700-030	
Akzo Nobel Sign20595	
Dark Orange - PMS 166C	
Arlon 2500-2119	
Akzo Nobel Sign #31129	
Orange - PMS 144C	
Arlon 2500-84	
Blue - PMS 294C	
Akzo Nobel Sign60941	
Arlon 2500-3238	
Letter Coil Returns	
Std White	
Wireway	
SW 7013 Ivory Lace	



Client
Avis Budget Group

Customer Approval

Project Name & Location
Multi-Brand Retail Location
990 N.US 287, Ste 108, Mansfield TX

Job Number
7040276

Date
01.27.21

Drawn By
rm

SWS WO CODE
☐ F ☐ E
☐ V ☐ R
☐ C ☐ O
☐ P

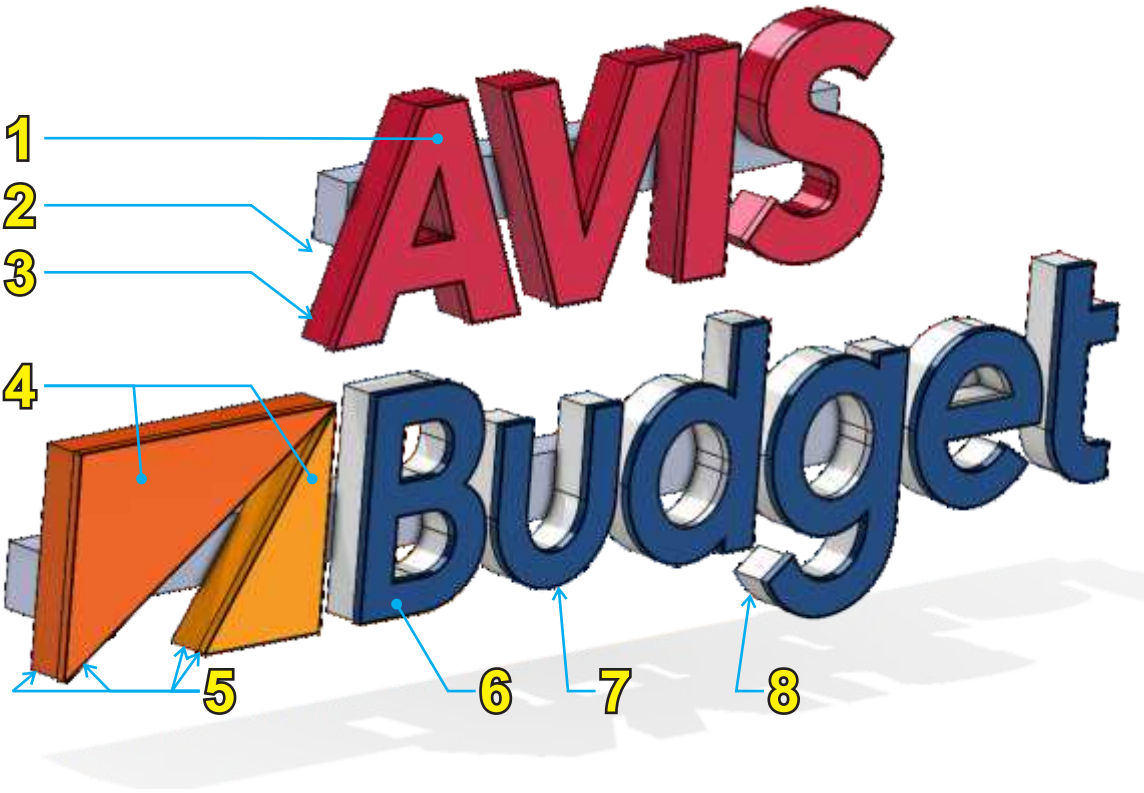
Revisions

03.04.21
08.19.21

SUP#21-006

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SOUTH WATER SIGNS





- AVIS Letters**
- 1 #7328 White Acrylic / Red Translucent Vinyl
 - 2 Standard Red Trimcap - Jewelite True Red (or equal)
 - 3 Painted Red Coil Returns - Gloss
- Budget Logo**
- 4 White Acrylic / Orange Translucent vinyls
 - 5 Coil/Trimcap - Painted Respective Orange colors - Semi-gloss
- Budget Letters**
- 6 White Acrylic / Blue Translucent Vinyl
 - 7 Painted Blue Trimcap
 - 8 Std White Coil Returns - Semi-gloss



Client
Avis Budget Group

Customer Approval

Project Name & Location
Multi-Brand Retail Location
990 N.US 287, Ste 108, Mansfield TX

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rm

SWS WO CODE

<input type="checkbox"/> F	<input type="checkbox"/> E
<input type="checkbox"/> V	<input type="checkbox"/> R
<input type="checkbox"/> C	<input type="checkbox"/> O
<input type="checkbox"/> P	

Revisions

03.04.21
08.19.21

SUP#21-006


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SOUTH WATER SIGNS

MEMBER
I S A
INTERNATIONAL SIGN ASSOCIATION

UL
LISTED

16"

AVIS



19 5/16"

Store Hours

Mon - Fri

0:00am - 0:00pm

Saturday

0:00am - 0:00pm

Sunday


0:00am - 0:00pm

24 Hour Customer Service - Please Call

800 000 0000

We Feature TOBACCO-FREE Stores

and SMOKE-FREE Vehicles

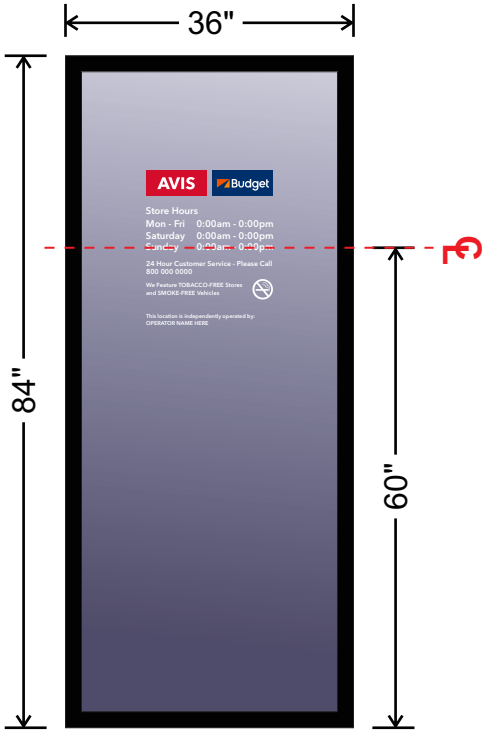


This location is independently operated by:

OPERATOR NAME HERE

7/8"H Cap Ht

All Elements White Vinyl
Shown black for clarity



Door Placement
Scale: 1/2" = 1'-0"

AVIS/Budget Hours Vinyl Graphics

3" = 1'

First surface applied cut vinyl graphics in respective colors

Exact placement TBD in field based on field conditions

Qty 1 Set

Color Name

Arlon 2500-3238
Over 2100-02 White



Arlon 2100-83



Arlon 2500-84
Over 2100-02 White



Arlon 2500-4217



Oracal 951-010



Client
Avis Budget Group

Customer Approval

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Multi-Brand Retail Location
990 N.US 287, Ste 108, Mansfield TX

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Date
01.27.21

Drawn By
rm

SWS WO CODE
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Typical Panel Dimensions -
CS - 53.75" x 15.50"
VO - 51.75" x 13.25"



Multi-Tenant Pylon

NTS

No sign required, all spaces occupied



Client
Avis Budget Group

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990 N.US 287, Ste 108, Mansfield TX

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01.27.21

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rm

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CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4275

Agenda Date: 9/7/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

SUP#21-005: Public hearing for a request for a Specific Use Permit for a gasoline service station on approximately 1.168 acres known as Lot 1, Block 1 of Bridges Addition and Lot 1, Block 1 of English Park Addition, located at 1901 & 1911 FM 157; Cody Moore of CEI Engineering, Inc. (engineer) and Devan Pharis of Estacado Interests, LLC (developer) on behalf of Khawaja Haque of Hawk's Pantry Inc. and Anis G. & Nadia Khalil (owners)

Description/History

Existing Use: Gas station and vacant land

Existing Zoning: C-2 Community Business District (freeway overlay district)

Surrounding Land Use & Zoning:

North - Restaurant, C-2

South - US 287

East - FM 157; restaurant w/ drive-through service and former gas station, C-2 (across the street)

West - Restaurant w/ drive-through service, C-2

Thoroughfare Plan Specification:

N. US 287 - freeway

FM 157 - principal arterial (six-lane divided)

Comments and Considerations

The subject property consists of a total of 1.168 acres. The largest parcel (1901 FM 157) is currently improved with a Chevron gas station, which includes a central convenience store building partially covered by a fuel pump canopy, as well as a car wash building and trash enclosure. A smaller triangular parcel (1911 FM 157) is currently vacant and will be made part of the proposed redevelopment. The applicant is requesting a Specific Use Permit to redevelop the site to accommodate a new Murphy Express gas station.

Site Plan

All existing structures will be demolished to accommodate the redevelopment of the property. When redeveloped, the site will include a 2,824 sq. ft. convenience store building, 4,368 sq. ft. fuel pump canopy with 14 fueling stations, trash enclosure, and 15-space parking lot. The new convenience store building will be located on the west side of the property, roughly in the location of the existing car wash, while the new fuel pump canopy will be located on the east side of the property roughly in the same location

as the existing canopy. The north side of the convenience store building will include ice chests, propane tanks, and other merchandise that are traditionally stored outside; no other outside storage of materials or display of merchandise will be allowed except in this area. The trash enclosure will be located at the northwest corner of the property and the applicant notes that the trash enclosure and all equipment will be screened in accordance with the City's Code of Ordinances. Near the trash enclosure, a tire pumping station will be provided.

Access and Circulation

Full access to the site will remain from the northbound US 287 frontage road, as well as from FM 157 via a shared access drive on the north side of the property that also serves other commercial properties to the north and west. An additional direct access point into the site from FM 157 will be converted to a right-in-only access point; if TXDOT approval is not granted for this reconfiguration, then it will be removed. The 15 parking spaces to be provided will be located near the convenience store building and meet the Zoning Ordinance requirement of 1 space per 200 sq. ft. established for gas stations; the calculations are based on the floor area of the convenience store building. Sidewalks will be provided around the convenience store building to provide access to the building from the parking spaces, as well as access to the trash enclosure.

Elevations

Elevations have been provided for the proposed convenience store building, fuel pump canopy, and trash enclosure. The building will be predominantly brick, with a stone base with water table; the building will be 85% masonry. To provide articulation, a projecting tower feature will enhance the main entrance to the building; this tower feature will include a metal fascia system, recessed entrance, and faux windows along the top of the tower. In addition, windows and faux windows will be provided along all sides of the building and the windows will include open-style decorative metal awnings. The top of the building will be accented by a decorative metal cornice. The canopy will include a metal fascia system, as well as brick columns with stone bases. The trash enclosure will be brick with a stone base and water table and will include opaque metal gates.

Landscaping and Screening

Landscaping on the site will be improved with canopy trees along FM 157 and US 287 in the required 20' landscape setback and at the northwest and southwest corners of the property. Due to site constraints, the 10' landscape buffer that would typically be required along the west property line will be reduced to around 5' near the convenience store building, but enhanced with dense shrubs; a 1.5'-tall block retaining wall will also be provided at this location due to the grade difference. Three existing trees along the west side of the property will be preserved. Ornamental trees will accent the parking areas while dense shrubs will screen the drive aisles from US 287 and FM 157. Shrubs will also screen the trash enclosure area and enhance the parking lot islands.

Signage

The plans specify that all signage will comply with the regulations applicable to C-2 zoning. As such, the existing legal nonconforming pole signs will be removed and new monument signs that comply with the City's current signage regulations will be constructed along US 287 and FM 157. The signs will include masonry bases to match

the building. In addition, a wall sign and logo sign will be provided on the east side of the building. Branding colors will be provided on all sides of the fuel pump canopy, with business signage provided on the east side of the canopy, and pricing signage on the east and south sides of the canopy.

Recommendation

The subject property is located in the C-2 Community Business District, which allows for a gasoline service station with a Specific Use Permit. The proposed redevelopment of the property to accommodate a new gas station will allow for the improvement of the site, with a more modern convenience store building and fuel pump canopy, with enhanced architecture and landscaping, slight modifications to improve access and circulation, additional parking, removal of the car wash, and new signage that is in compliance with current regulations. Staff recommends approval with the following conditions:

1. As required by Chapter 155.092 (M) of the City's Code of Ordinances, the developer shall provide a central feature or community space in the form of a patio/seating area or plaza with benches on the north side of the convenience store, to be approved by the Director of Planning.
2. The fuel pump canopy be modified to a more neutral color tone to match the building except where business signage and pricing is provided, as shown.

Attachments

Maps and Supporting Information

Exhibit A - Property Description

Exhibit B - Site Plan

Exhibit C - Building Elevations

Exhibit D - Landscape Plan

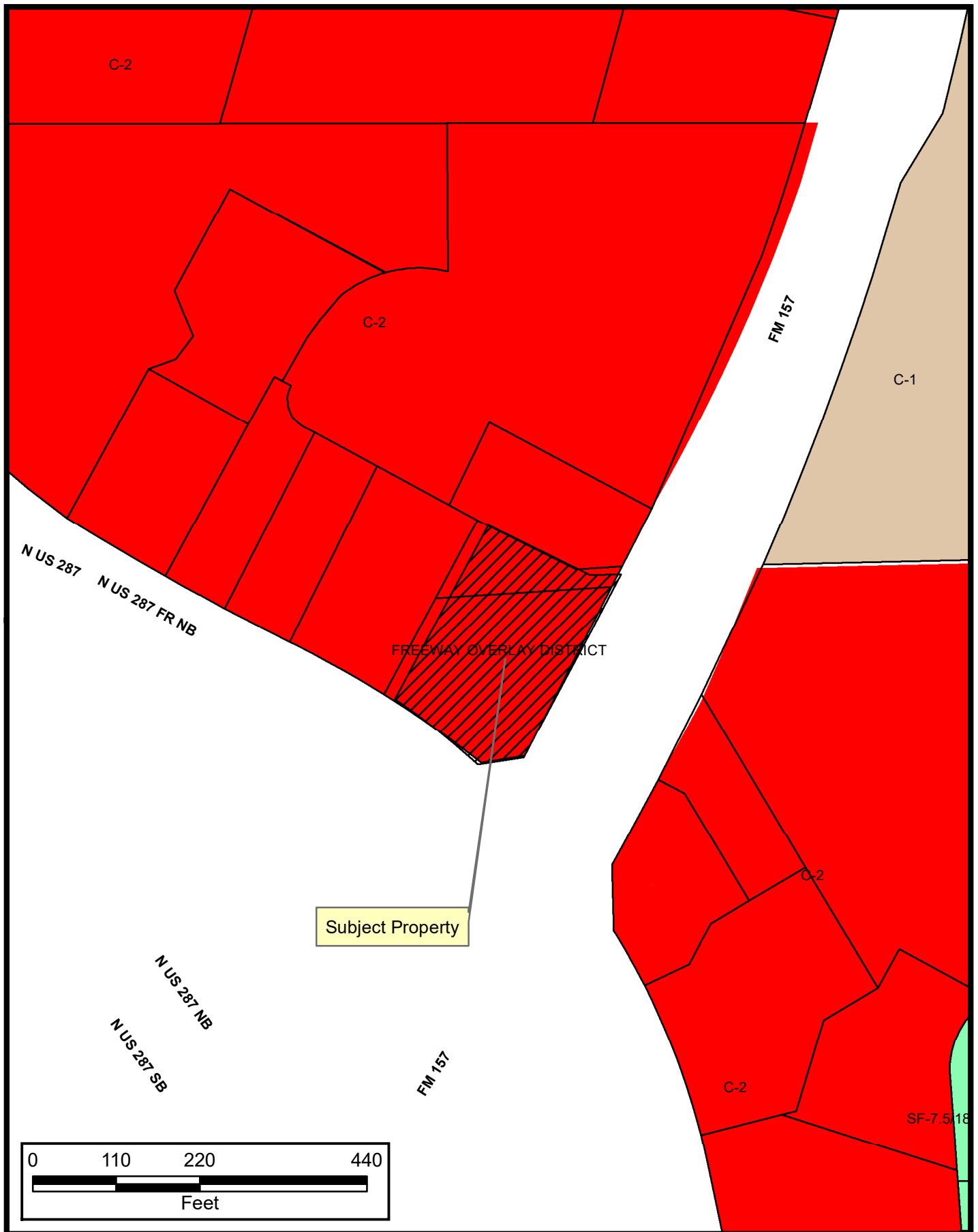
Exhibit E - Sign Plan



SUP#21-005

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

8/26/2021



Property Owner Notification for SUP#21-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BRIDGES ADDITION	BLK 1	HAWK'S PANTRY INC	2688 PINNACLE DR	BURLESON, TX	76028-8330
CALVARY CHURCH OF THE NAZARENE	BLK 1	SECOND STREET CAPITAL SOLUTIONS LLC	209 W 2ND ST	FORT WORTH, TX	76102
ENGLISH PARK	BLK 1	KHALIL, ANIS G & NADIA	14648 WATERVIEW CIR	ADDISON, TX	75001-7922
ENGLISH PARK	BLK 1	BLACKBURN LLC	1129 CAMDEN CIR	MOUNT JULIET, TN	37122-8561
ENGLISH PARK	BLK 1	ANTONIOU REALTY OF TEXAS LLC	PO BOX 1446	ELLCOTT CITY, MD	21041-1446
ENGLISH PARK	BLK 2	WAFFLE HOUSE INC	PO BOX 6450	NORCROSS, GA	30091
MANSFIELD HOSPITAL	BLK 1	KND REAL ESTATE 49 LLC ATTN: LEGAL DEPT	680 S FOURTH AVE	LOUISVILLE, KY	40202-2413
MANSFIELD HOSPITAL	BLK 1	PHOENIX REAL ESTATE HOLDINGS	1915 WESTRIDGE DR	IRVING, TX	75038
MANSFIELD HOSPITAL	BLK 1	AGILE INVESTMENTS ONE LLC	2924 AVONDALE CT	THE COLONY, TX	75056
WEST, SAMUEL SURVEY	A 1648	JAYSPRING REALTY II LP	817 GREENVIEW DR	GRAND PRAIRIE, TX	75050

PROPOSED MURPHY OIL PROJECT
50,862 SQUARE FEET
LOT 1, BLOCK 1 BRIDGES ADDITION
AND
LOT 1, BLOCK 1, ENGLISH PARK ADDITION
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

PROPERTY DESCRIPTION

BEING all of Lot 1, in Block 1 of BRIDGES ADDITION, an addition in Tarrant County, Texas, according to the map or plat recorded in Volume 388-210, Page 67 of the Map Records of Tarrant County, Texas and all of Lot 1, in Block 1, of ENGLISH PARK ADDITION, an addition in Tarrant County, Texas, according to the map or plat recorded in Cabinet A, Slide 116 of the Plat Records of Tarrant County, Texas being described by metes and bounds as follows (bearings are Grid based on State Plane Coordinate System, Texas North Central Zone (4202) NAD '83):

BEGINNING at a 1/2-inch rebar with cap stamped "RPLS 5142" found for the southwest corner of said Lot 1 of BRIDGES ADDITION;

THENCE North 28°07'40" East along the westerly boundary of said Lot 1, BRIDGES ADDITION and the westerly boundary of said Lot 1 of ENGLISH PARK ADDITION, at 153.34 feet passing through a 1/2-inch rebar with an illegible cap found at the northwest corner of said Lot 1, BRIDGES ADDITION, at 181.86 feet passing through a 3/8-inch rebar with yellow cap found at the northerly line of Lot 2, Block 1, BRIDGES ADDITION, at a total distance of 230.43 feet to a 1/2-inch rebar with cap stamped "COMBS RPLS 5294" found for the most northerly corner of said Lot 1 of ENGLISH PARK ADDITION;

THENCE South 63°51'26" East along the northeasterly line of said Lot 1 of ENGLISH PARK ADDITION 135.30 feet to an angle point;

THENCE South 62°45'31" East, 14.10 feet to an ell corner;

THENCE North 88°57'51" East, 41.00 feet to a 5/8-inch rebar found for the northeast corner of said Lot 1 of ENGLISH PARK ADDITION, said point is located on the northwesterly right-of-way line of F.M. Road 157;

THENCE South 28°05'37" West along said northwesterly right-of-way line, at 19.43 feet passing through a 1/2-inch rebar with orange cap found for the northeasterly corner of Lot 2, Block 1, of BRIDGES ADDITION, at 28.60 feet passing through the northeast corner of said Lot 1 of BRIDGES ADDITION, at a total distance of 372.96 feet a 1/2-inch rebar with cap stamped "RPLS 5142" found for the most easterly southeast corner of said Lot 1 of BRIDGES ADDITION;


THENCE South 81°08'59" West, 60.88 feet to the most westerly southeast corner of said Lot 1 of BRIDGES ADDITION, from which a TXDOT Concrete Monument base bears North 48°27'45" East, 0.62 feet;

THENCE along the northeasterly right-of-way line of U.S. Highway 287 with a curve to the left having a radius of 984.93 feet, for an arc length of 138.92 feet and having a chord bearing and distance of North 51°44'27" West, 138.81 feet to the POINT OF BEGINNING and containing 1.168 acres or 50,862 square feet, more or less.

SURVEYOR'S CERTIFICATE

This is to certify that I, James G. Temple, a Registered Professional Land Surveyor of the State of Texas, have prepared this description from an actual survey on the ground, and that this description correctly describes that survey made by me or under my direction and supervision.

Date of Description: **July 13, 2021**


Date: 2021.07.14 07:00:21-05'00'

James G. Temple, RPLS# 6296
CEI Engineering Associates, Inc
TBPLS Firm #10031500
3108 SW Regency Parkway
Bentonville, AR 72712



EXHIBIT PREPARED BY



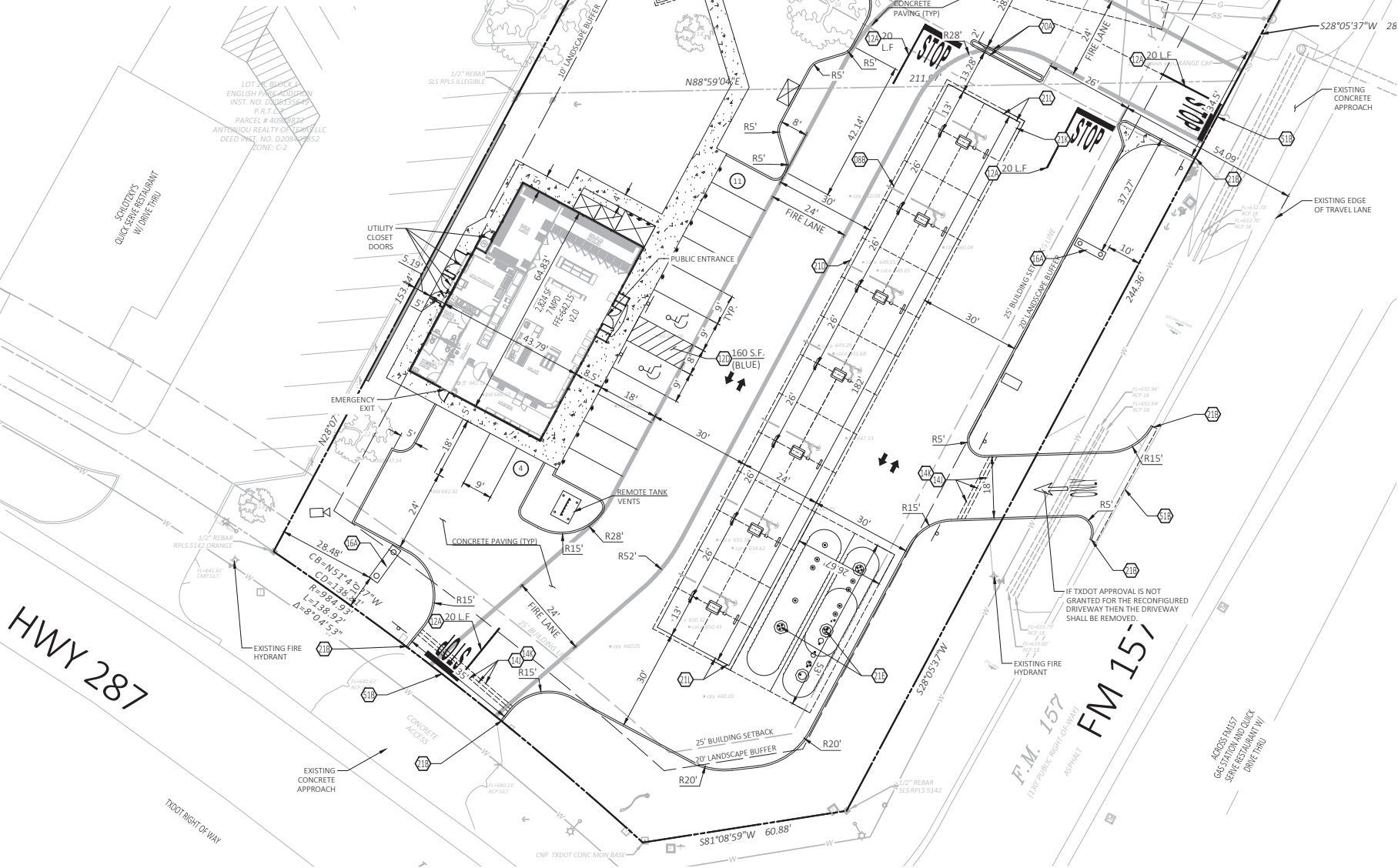
Contact: Radoslav (Rado) Nedkov
610.329.5772
rnedkov@ceieng.com

Page 2 of 2

DRAWING LOCATION - P:\3\2000\32178\0\DRAWINGS\DESIGN\WORKING\32178-SP.DWG - SAVED BY - CMCOORE

SITE PLAN DATA TABLE	
PROJECT NAME:	MURPHY OIL USA EXPRESS
ZONING:	C2 (FREEWAY OVERLAY)
PROPOSED USE:	CONVENIENCE STORE/GAS STATION
LOT AREA:	±1.168 ACRES (50,862 ± SF)
BUILDING AREA:	2,824 SF
BUILDING HEIGHT:	18'-6"
LOT COVERAGE:	5.52%
F.A.R.:	.05:1
PARKING REQUIRED:	1/200 = 15 SPACES
PARKING PROVIDED:	15 SPACES

ADJACENT PROPERTIES TABLE	
NORTH:	ZONING: C2 (FREEWAY OVERLAY) OWNER: WAFFLE HOUSE INC. LEGAL DESCRIPTION: LOT 1, ENGLISH PARK ADDITION
EAST:	ZONING: C2 (FREEWAY OVERLAY) OWNER: PHOENIX REAL ESTATE HOLDINGS LEGAL DESCRIPTION: MANSFIELD HOSPITAL LOT 1, 2RB1, AND 2RB2, BLOCK 1
WEST:	ZONING: C2 (FREEWAY OVERLAY) OWNER: ANTONIOU REALTY OF TEXAS LLC. LEGAL DESCRIPTION: LOT 2R, BLOCK 1 ENGLISH PARK ADDITION, PARCEL #40988872



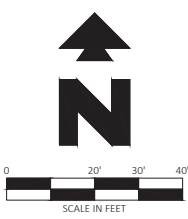
SITE BENCHMARK

SITE BENCHMARK

Benchmark #1: A "X" cut in concrete located on the top of a drainage headwall that lies at the corner of U.S. 287 Frontage Rd. and F.M. 157. Elev=637.80' NAVD88

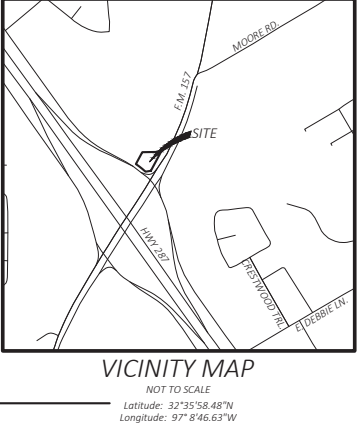
Benchmark #2: A 5/8" rebar with cap stamped "CEI CONTROL POINT" located approximately 34.5' southeast of a fire hydrant, along the U.S. 287 Frontage Rd. Elev=643.23' NAVD88

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



811

Know what's below.
Call before you dig.



EXISTING LEGEND	
	Boundary Line
	Adjoining Boundary Line
	Easement Line
	Setback Line
	Break Line
	Underground Fiber Optic Line
	Overhead Electric Line
	Sanitary Sewer Line
	Storm Drainage Pipe
	Water Line
	Gas Line
	Wood Fence Line
	Benchmark (BM)
	Found Monument (As Noted)
	Found Concrete Monument
	Found Chiseled "X"
	Gas Meter
	Electric Meter
	Electric Riser
	Electric Vault
	Utility Pole
	Light on Utility Pole
	Ground Light
	Light Pole Overhanging
	Guy Wire / Anchor
	Air / Vacuum Machine
	Water Meter
	Water Valve
	Fire Hydrant
	Drainage Manhole (DMH)
	Grate Inlet (GI)
	Sewer Manhole (SMH)
	Sewer Clean Out
	Telephone Riser
	Fiber Optic Vault
	Warning Fiber Optic Line Sign
	Single Pole Pylon Sign
	Double Pole Pylon Sign
	Handicap Parking (ADA)
	Bollard / Guard Post
	Monitoring Well
	Fuel Storage Cap
	Traffic Signal Vault
	Traffic Sign (Type of Sign)
	Traffic Light (4 Lamps)
	Flag
	Record Bearing & Distance per Plat Bk. XXXX, Pg. XXXX

PROPOSED LEGEND	
	PROPERTY LINE/RIGHT OF WAY LINE
	CONCRETE CURB AND GUTTER. SEE DETAIL 01A
	FIRE LANE
	BUILDING CONTROL POINT
	LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)

- CITY OF MANSFIELD NOTES
- ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS SPECIFIED IN CHAPTER 155.090 OF THE CODE OF ORDINANCES.
 - THE TRASH ENCLOSURE AND ALL EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS SPECIFIED IN CHAPTER 155.093 OF THE CODE OF ORDINANCES.
 - ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.
 - THERE WILL BE NO OUTSIDE STORAGE OF MATERIALS OR MERCHANDISE ON THE PROPERTY EXCEPT IN ENCLOSURES AS SPECIFIED ON THIS PLAN.
 - THERE WILL BE NO OUTSIDE STORAGE OF VEHICLES ON THE PROPERTY.
 - ALL LIGHTING WILL BE DESIGNED TO BE SHIELDED DOWNWARD AND NOT TRESPASS ONTO OTHER PROPERTIES OR CAUSE GLARE.

- SITE NOTES
- 08B OVERHEAD CANOPY - (TYP.-PER ARCH. PLANS).
 - 12A 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
 - 12D 4 INCH WIDE PAINTED YELLOW STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
 - 14J GC TO INSTALL (1) 4" PVC SLEEVE FOR IRRIGATION LINE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
 - 14K GC TO INSTALL (2) 4" PVC SLEEVE FOR FUTURE USE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
 - 16A MURPHY MONUMENT SIGN PER APPROVED ELEVATION. SEE UTILITY PLAN FOR INSTALLATION OF CONDUITS.
 - 21A TAPER CURB TO MATCH EXISTING CURB.
 - 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
 - 21D EDGE OF CONCRETE SLAB (PER ARCH. PLAN).
 - 21E UNDERGROUND STORAGE TANKS (1) 25,000 GAL.-REGULAR, (1) 8,000 GAL.-PREMIUM, (1) 10,000 GAL.-DIESEL, (1) 8,000 GAL-E-O.
 - 21K MURPHY USA ID SIGN PER APPROVED ELEVATION.
 - 21L PRICE SIGN PER APPROVED ELEVATION.
 - 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL
 - 70A TRANSITION FROM TYPE G CURB (MOUNTABLE) TO TYPE A CURB AND GUTTER OVER 2 FEET.

ZONING: C2 (FREEWAY OVERLAY DISTRICT)

BUILDING SETBACKS:

FRONT (STREETS):	REQUIRED	PROVIDED
SIDE:	25' 00"	25' 00"
REAR: (L/SCAPE BUFFER)	10'	10'

CONTRACTOR SHALL BE RESPONSIBLE FOR AND HIRE A TEXAS REGISTERED LAND SURVEYOR TO ESTABLISH PROPERTY CORNERS, CANOPY, ETC. AS REQUIRED FOR CONSTRUCTION LAYOUT.

CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGNS ARE AT LEAST 2' FROM THE BACK OF THE CURB TO PREVENT THE VEHICLES STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN.

CONTRACTOR TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA. (RE: DETAIL 2F)

SEE SHEET C-4.2 FOR BUILDING ROOF AND CANOPY DRAINAGE

SUP#21-005 EXHIBIT B

PARKING INFORMATION MURPHY OIL						
DESCRIPTION	BUILDING AREA (S.F)	REQUIRED:				
		RATIO	SPACES			
MURPHY OIL	2,824	1/200 S.F	REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
STALL DIMENSIONS:			13	1	1	15
9' X 18'		PROVIDED:				
		RATIO				
		1/200 S.F	REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
			13	1	1	15
NO. OF FUEL ISLANDS: 7			NO. OF VEHICLE FUELING POINTS: 14			

PRE-CONSTRUCTION		
IMPERVIOUS SITE RATIO (ISR)		
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	38,259	75%
GREEN SPACE	12,603	25%
GROSS SITE	50,862	100%

POST-CONSTRUCTION		
IMPERVIOUS SITE RATIO (ISR)		
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	36,916	73%
GREEN SPACE	13,946	27%
GROSS SITE	50,862	100%



CEI ENGINEERING ASSOCIATES, INC.
3108 SW REGENCY PKWY
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-0844

MURPHY OIL U.S.A. INC.

422 N WASHINGTON AVE.

P.O. BOX 7000

EL DORADO, AR 71730-7000

MURPHY USA

DEVELOPER:
ESTACADO INTERESTS
DEVAN PHARIS
940-550-8068
DEVAN@ESTACADOINTERESTS.COM
2800 GUILDER DR.
PLANO, TX 75074

ENGINEER:
TOM BURRY
TBURRY@CEIENG.COM

MURPHY USA
MURPHY EXPRESS
1901 FM RD. 157
MANSFIELD, TX



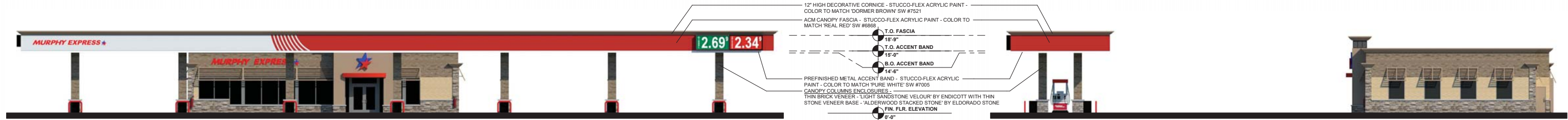
F-7524

PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	RAD
DESIGNER	CWM
CEI PROJECT NUMBER	32178
DATE	8/23/2021
REVISION	REV-2

SITE PLAN for SUP

SHEET TITLE:
SHEET NUMBER

C1

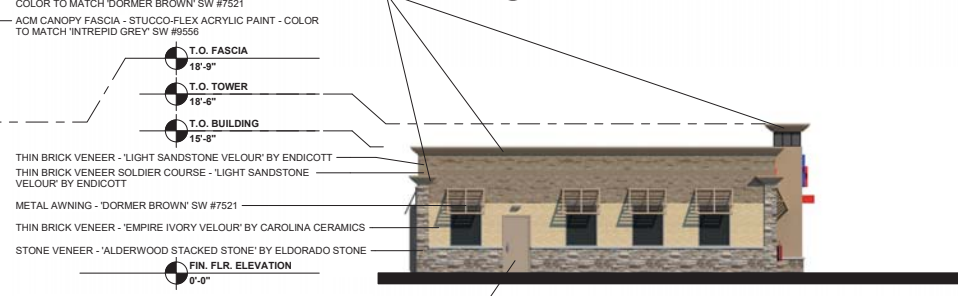


1 ELEVATION - FRONT (EAST)

2 ELEVATION - RIGHT (NORTH)



3 ELEVATION - REAR (WEST)



4 ELEVATION - LEFT (SOUTH)



5 ELEVATION - FRONT BUILDING ONLY (EAST)

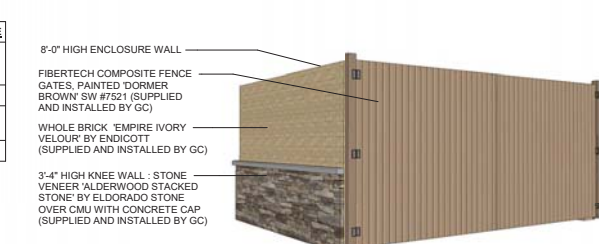
FRONT ELEVATION		
BUILDING MATERIALS	AREA (SQ. FT.)	PERCENTAGE
THIN BRICK VENEER (LIGHT SANDSTONE VELOUR & EMPIRE IVORY VELOUR)	340.16	48.39%
ACM / METAL CORNICE	213.76	30.41%
THIN STONE (ALDERWOOD STACKED STONE)	148.98	21.20%
TOTAL WALL AREA	702.90	

RIGHT ELEVATION		
BUILDING MATERIALS	AREA (SQ. FT.)	PERCENTAGE
THIN BRICK VENEER (LIGHT SANDSTONE VELOUR & EMPIRE IVORY VELOUR)	362.26	65.03%
ACM / METAL CORNICE	51.26	8.72%
THIN STONE (ALDERWOOD STACKED STONE)	154.27	26.25%
TOTAL WALL AREA	567.79	

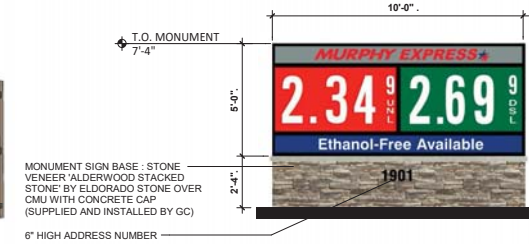
REAR ELEVATION		
BUILDING MATERIALS	AREA (SQ. FT.)	PERCENTAGE
THIN BRICK VENEER (LIGHT SANDSTONE VELOUR & EMPIRE IVORY VELOUR)	567.70	70.31%
ACM / METAL CORNICE	68.35	8.46%
THIN STONE (ALDERWOOD STACKED STONE)	171.42	21.23%
TOTAL WALL AREA	807.47	

LEFT ELEVATION		
BUILDING MATERIALS	AREA (SQ. FT.)	PERCENTAGE
THIN BRICK VENEER (LIGHT SANDSTONE VELOUR & EMPIRE IVORY VELOUR)	378.30	65.18%
ACM / METAL CORNICE	51.26	8.83%
THIN STONE (ALDERWOOD STACKED STONE)	150.80	25.99%
TOTAL WALL AREA	580.36	

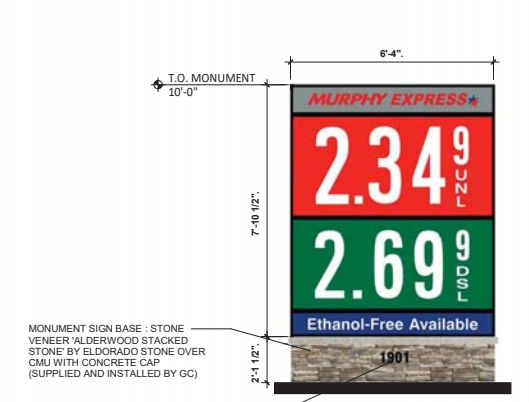
BUILDING AS A WHOLE (ALL ELEVATIONS)		
BUILDING MATERIALS	AREA (SQ. FT.)	PERCENTAGE
THIN BRICK VENEER (LIGHT SANDSTONE VELOUR & EMPIRE IVORY VELOUR)	1668.42	62.29%
ACM / METAL CORNICE	384.63	14.36%
THIN STONE (ALDERWOOD STACKED STONE)	625.47	23.35%
TOTAL WALL AREA	2678.52	



6 TRASH ENCLOSURE

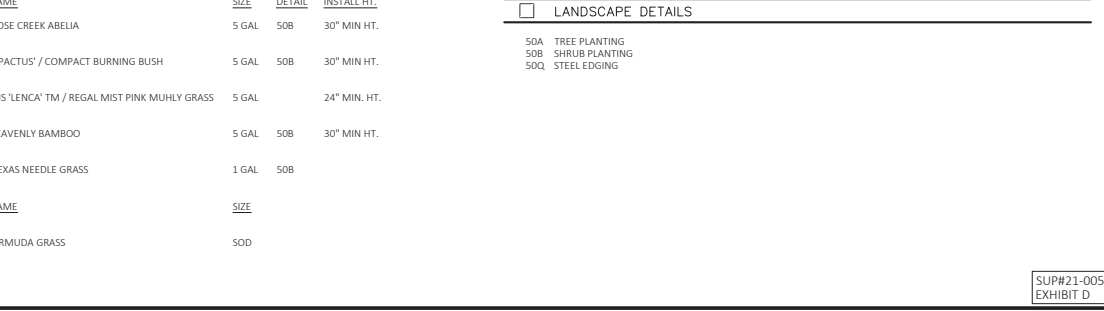
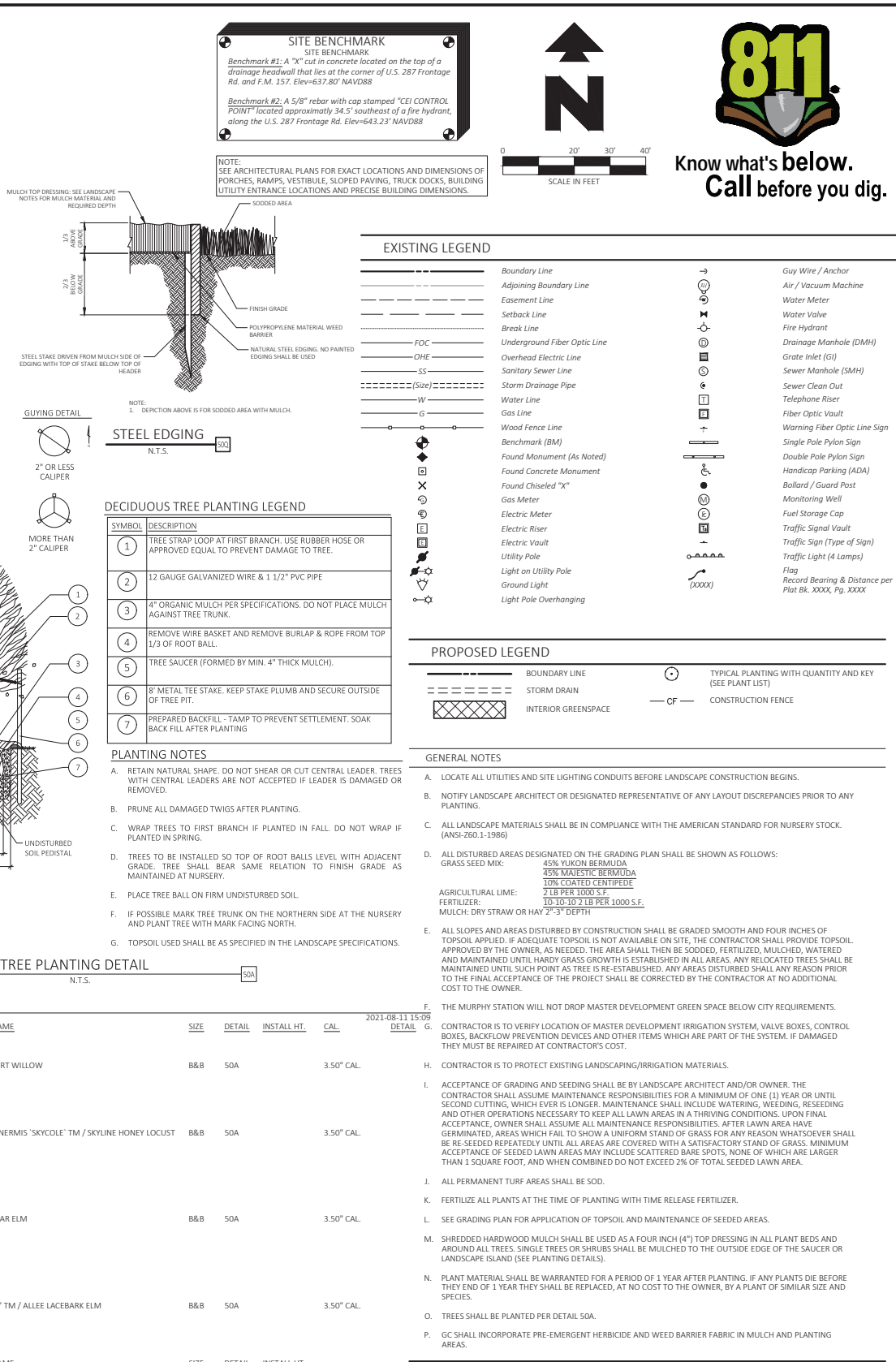
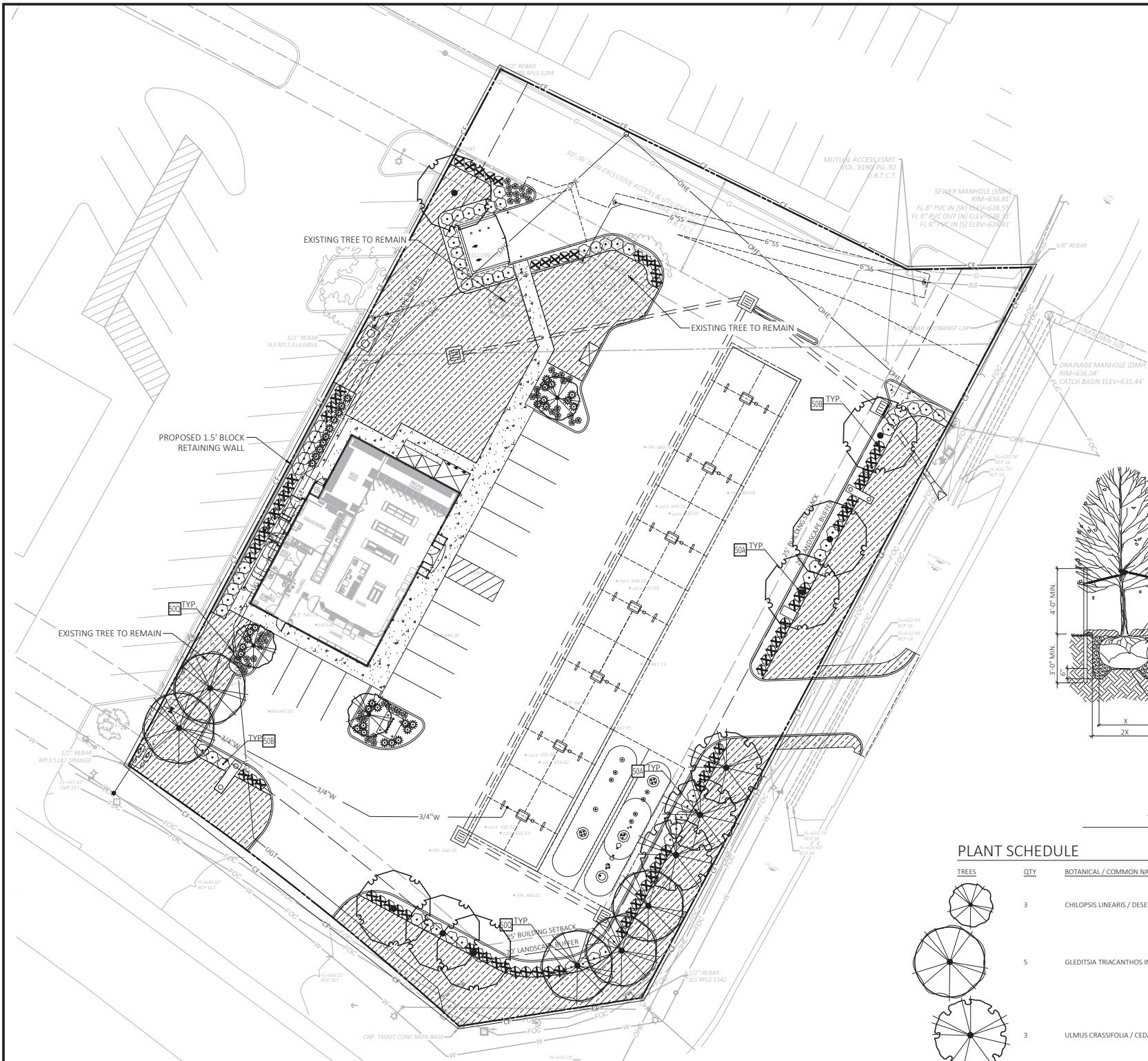


7 MONUMENT SIGN 02 - HWY 287



8 MONUMENT SIGN 01 - HWY 157

SIGN	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY EXPRESS BLDG. CHANNEL 'STAR' LOGO	1		GRAPHIC AREA	16.80	16.80
MURPHY EXPRESS BLDG. CHANNEL LETTER LOGO SIGN	1		GRAPHIC AREA	29.70	29.70
MURPHY EXPRESS CANOPY LOGO SIGN	1		GRAPHIC AREA	24.00	24.00
MEDIUM CANOPY PRICE SIGN	2	43.13"	97.00"	29.05	58.10
SMALL CANOPY PRICE SIGN	2	34.13"	74.00"	17.54	35.08
TOTAL SIGNAGE :				163.88 S.F.	
MONUMENT SIGN 01 - HWY 157:					
LOGO / UNL / DSL / ETHANOL-FREE AVAILABLE	1	60.00"	120.00"	50.00	50.00
MONUMENT SIGN 02 - HWY 287:					
LOGO / UNL / DSL / ETHANOL-FREE AVAILABLE	1	94.50"	76.00"	49.88	49.88
TOTAL SIGNAGE :				99.88 S.F.	



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MURPHY OIL U.S.A. INC.
4222 N WASHINGTON AVE.
P.O. BOX 7000
EL DORADO, AR 71730-7000

DEVELOPER:
ESTACADO INTERESTS
DEVAN PHARIS
940-550-8068
DEVAN@ESTACADOINTERESTS.COM
2800 GUILDER DR.
PLANO, TX 75074

LANDSCAPE ARCHITECT:
CHIP ASHLEY
CEI ENGINEERING AND ASSOCIATES
3108 SW REGENCY PKWY
BENTONVILLE, AR 72712
CASHLEY@CEIENG.COM
479-273-9472

MURPHY USA
MURPHY EXPRESS
1901 FM RD. 157
MANSFIELD, TX



BR347

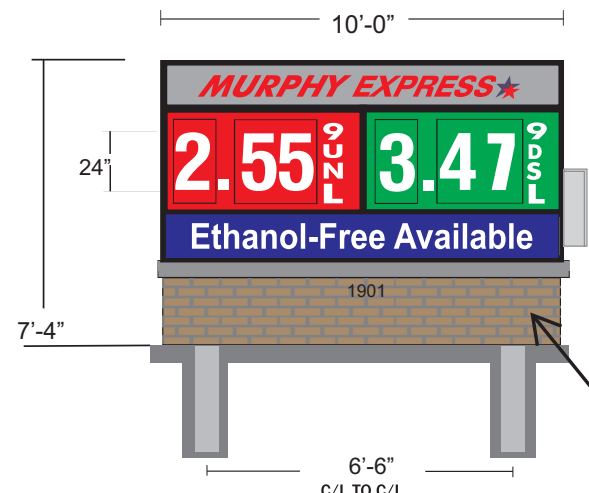
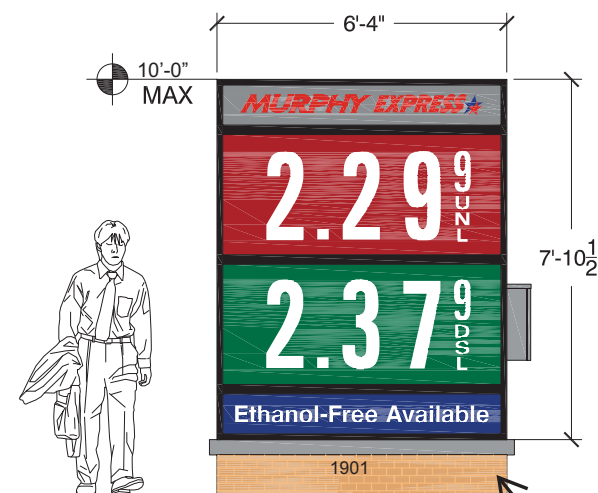
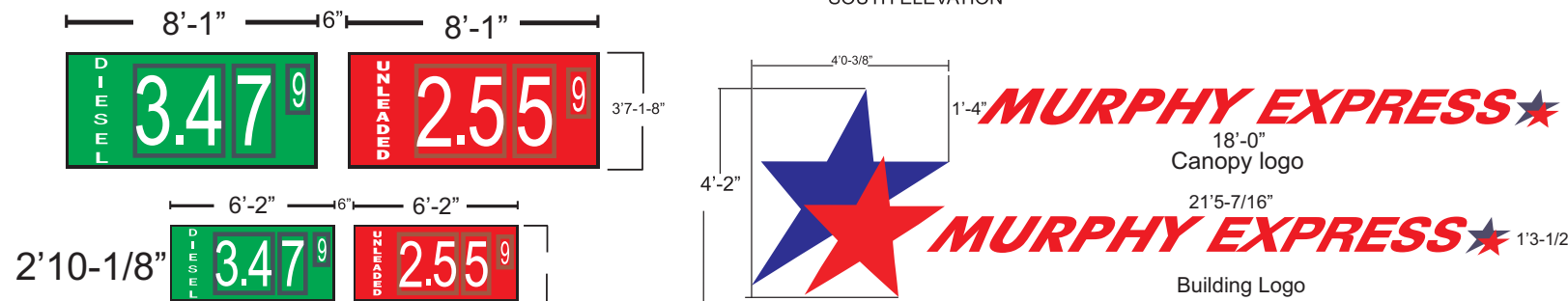
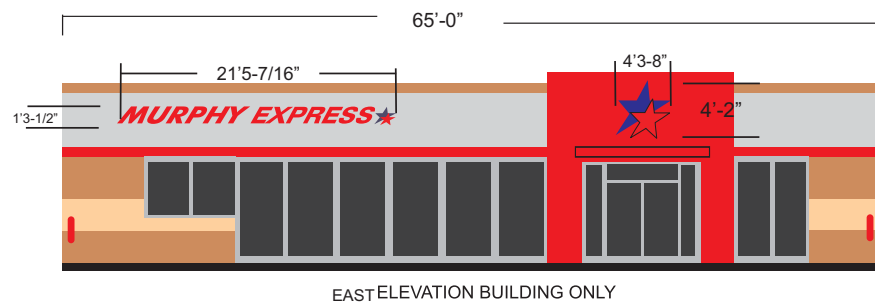
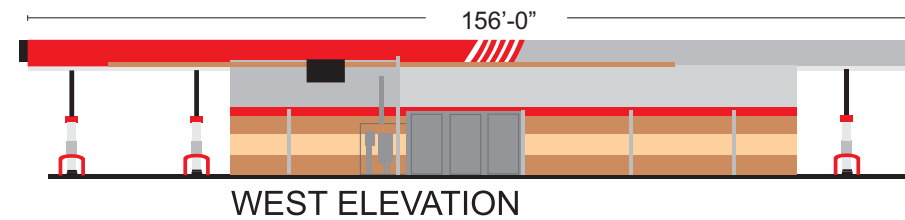
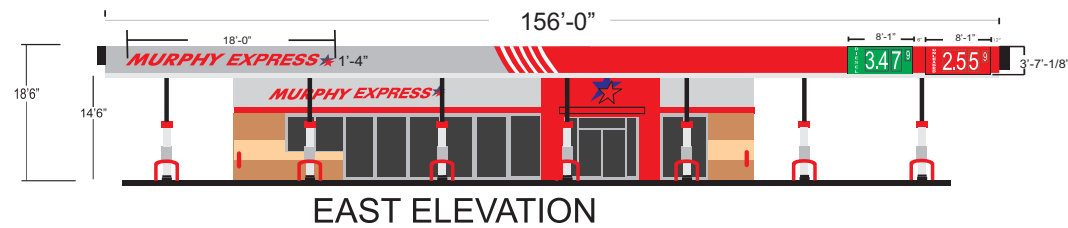
PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	RAD
DESIGNER	CWM
CEI PROJECT NUMBER	32178
DATE	8/23/2021
REVISION	REV-2

LANDSCAPE PLAN for
SUP

SHEET TITLE
SHEET NUMBER

L1

SUP#21-005



BUILDING	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY EXPRESS STAR LOGO	1	GRAPHIC AREA		16.80	16.80
MURPHY EXPRESS BLDG. LOGO	1	GRAPHIC AREA		27.71	27.71
CANOPY					
MURPHY EXPRESS CANOPY LOGO SIGN	1	GRAPHIC AREA		24.00	24.00
MEDIUM CANOPY PRICE SIGN	2	3'-7-1-8"	8'-1"	29.05	58.10
SMALL CANOPY PRICE SIGNS	2	2'-10-1/8"	6'-2"	17.54	35.08
Monument #1 HWY 287					
UNL/DSL/Ethanol	1	5'-0"	10'-0"	50.00	50.00
Monument #1 HWY 157					
UNL/DSL/Ethanol	1	8'-0-1/2"	6'-2-1/2"	49.93	49.93
				Total:	261.62

Monument #1 HWY 157

Monument #1 HWY 287
2'-1-1/2" STONE VENEER
'ALDERWOOD STACKED STONE

2'-4" STONE VENEER 'ALDERWOOD
STACKED STONE

**National Signs
&
Service**

799 Greenbriar Rd.
Fate, TX. 75132

972-772-4901
Fax 972-772-5037

Sign Installation Group, Inc.

CLIENT:

MURPHY USA

ADDRESS:

NEC Hwy 287 & Hwy 157
Mansfield, Texas

DATE:

5/20/2021

DESIGNER:

SPW

PROJECT MANAGER:

ELECTRONIC FILE NAME:

21082

APPROVAL DATE:

PAGE #

REV1

CLIENT SIGNATURE:



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4276

Agenda Date: 9/7/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Title

SUP#20-006: Public hearing for a request for a Specific Use Permit for a gasoline service station on approximately 1.483 acres known as Lot 1, Block 2, Newport Addition, located at 2919 N. Main St.; Cody Brooks of Bannister Engineering, LLC (engineer), Jack Romigh of Knight Group Architects (architect), and Mark Feuling of Turnkey Construction and Development Group (developer) on behalf of Akram H. Chowdhury (owner)

Description/History

Future Land Use designation: Sub-Area 1

Existing Use: Vacant land

Existing Zoning: C-2 Community Business District

Surrounding Land Use & Zoning:

North - Vacant land, C-2

South - Turner Warnell Rd.; discount store, C-2 (across the street)

East - N. Main St. (Business U.S. 287); gas station, City of Arlington (across the street)

West - Gertie Barrett Rd.; church, PR (across the street)

Thoroughfare Plan Specification:

N. Main St. (Business U.S. 287) - major arterial (four-lane divided)

Turner Warnell Rd. - minor collector (three-lane undivided)

Gertie Barrett Rd. - minor collector (three-lane undivided)

Comments and Considerations

The subject property consists of 1.483 acres of vacant land, located on the north side of Turner Warnell Road, the west side of North Main Street (Business U.S. 287), and the east side of Gertie Barrett Road. The applicant is requesting a Specific Use Permit to develop a gasoline service station, which will also include an attached convenience store, office, and retail building.

Site Plan

The site will be developed in two phases. Phase 1, situated on the eastern portion of the property, will include a two-story building with a 3,150 sq. ft. convenience store on the first floor and a 1,100 sq. ft. office on the second floor. A fuel pump canopy with 12 fueling stations will be attached to the building. The trash enclosure will be located on the north side of the building; the trash enclosure and all equipment will be screened in accordance with the City's Code of Ordinances. In addition, it is noted that there will be no outside

storage of materials or vehicles on the property.

Phase 2, situated on the western portion of the site, will include a one-story building with 7,344 sq. ft. of retail space. This building will be connected to the convenience store/office building in Phase 1.

Including both phases, the site will include a total of 52 parking spaces, sidewalks along the perimeter of the building, and outdoor seating areas.

Access and Circulation

On-site full access will be provided from Turner Warnell Road. Additional off-site full access points will be provided from Gertie Barrett Road and North Main Street (Business U.S. 287) through the property to the north. The off-site access to Gertie Barrett will temporarily use asphalt paving until such time that the property to the north develops. Two-way access will be provided on the west, south, and east sides of the building, with the east access point traveling under a covering that connects the building to the fuel pump canopy; 15' vertical clearance is provided. Due to site constraints, one-way access will be provided around the south and east sides of the fuel pump canopy.

The 52 total parking spaces to be provided meets the Zoning Ordinance requirements for the different mix of uses (1 space per 200 sq. ft. for service station uses, 1 space per 100 sq. ft. for eating places, 1 space per 300 sq. ft. for office uses, and 1 space per 250 sq. ft. for the first 3,000 sq. ft. of retail uses, and 1 space per 300 sq. ft. for the additional retail area beyond 3,000 sq. ft.). 26 parking spaces will be provided with Phase 1 to accommodate the mix of uses and the size of the spaces in that phase. 26 parking spaces will be provided in Phase 2 to accommodate the retail uses anticipated.

Sidewalks will be provided around the convenience store building to provide access to the building from the parking spaces, as well as access to the trash enclosure. Sidewalks are not proposed along the surrounding roadways.

Floor Plans and Elevations

Floor plans, elevations, and perspectives have been provided for the proposed development. For Phase 1, the floor plans and interior perspectives show a convenience store with accessory kitchen and eating area and a small office on the second floor. The provided elevations and exterior perspectives show that the building will be predominantly brick with a stone base with water table, as well as areas of stucco along the upper portions of the building. Phase 1 will be 82.3% masonry and Phase 2 will be 80.7% masonry. The building will be accented by windows and metal awnings; the second-story office over the convenience store will also include some smaller windows. A parapet cap and metal trim will accent the top portions of the building. The fuel pump canopy will be metal with brick & stone columns. A low stone wall to match the building will accent the patio area on the west side of the building and the trash enclosure will also be constructed of stone and will include metal gates.

Landscaping and Screening

Landscaping proposed for the site includes canopy trees in the required 20' landscape setback along Gertie Barrett Road, Turner Warnell Road, and North Main Street

(Business US 287); the canopy trees along North Main and a portion of Turner Warnell will be placed in a detention/flood storage basin in front of a 1.5' - 2' tall retaining wall. Canopy trees will also be provided in the landscape buffer along the north property line. Trees will be provided in the parking lot islands and all parking areas and drive aisles will be screened from street frontages by dense evergreen shrubs. Foundation plantings will accent the west and east sides of the building, as well as the outdoor seating areas. Shrubs will accent the monument sign and screen the north side of the trash enclosure.

Signage

The plans specify that all signage will comply with the regulations applicable to C-2 zoning. A Sign Plan has been provided, showing the monument signage and wall signage planned for the development. A monument sign that adheres to the standard requirements will be provided at the entrance off Turner Warnell Road; the monument sign will also include an electronic message center sign that is less than 50% of the sign area. Wall signs will be provided on the front of each business, with the corner retail business to be allowed an additional wall sign on the side elevation facing Gertie Barrett Road as allowed by the City's signage regulations. The convenience store/office building will include signage on south, west, and east sides (with the sign on the west side to be removed when the Phase 2 retail building is developed), while the fuel pump canopy will include signage on all four sides.

Land Use Plan

In the City's Land Use Plan, this property is located in Sub-Area 1. Recommendations for this area note that any commercial development should be limited in size and scope, may have to make road improvements, and should be focused at the intersections of arterials/collectors. Furthermore, it recommends rehabilitating and revitalizing North Main Street as a primary entrance into the City. In the Commercial Land Use Goals & Strategies, one identified strategy is to ensure that standards related to the development of non-residential uses along major corridors are the highest possible so that a positive visual perception of Mansfield is projected to citizens and visitors.

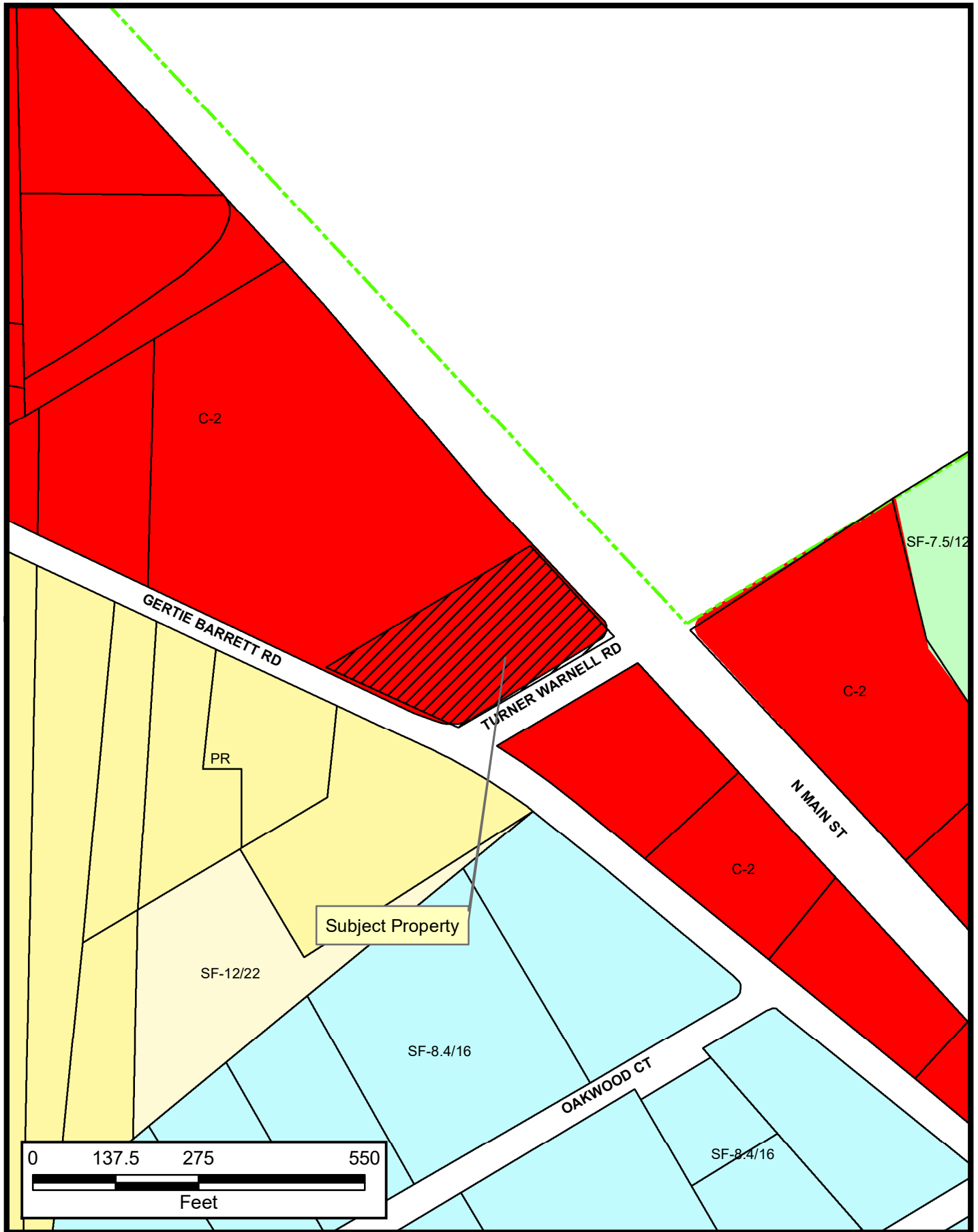
Recommendation

The subject property is located in the C-2 Community Business District, which allows for a gasoline service station with a Specific Use Permit. Staff notes that the applicant worked cooperatively with staff to address the site planning, landscaping, and engineering-related items. The architecture, however, does not set a high standard for the rehabilitation and revitalization of a key entrance to the City in accordance with the Land Use Plan recommendations. In addition, the signage on the fuel pump canopy is excessive and staff is concerned about the lack of transparency with regard to the proposed tenants in Phase 1. The Zoning Ordinance specifies that a Specific Use Permit shall only be issued if all seven conditions have been met; staff does not believe that condition 1 is met. Condition 1 specifies "That the specific use permit will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values within the immediate vicinity." Staff believes that a higher standard of architecture with this development would better ensure the improvement of property values at this key gateway to the City. Staff recommends denial as currently presented.

Attachments

Maps and Supporting Information
Exhibit A - Property Description
Exhibit B - Site Plan
Exhibit C - Floor Plans & Elevations
Exhibit D - Landscape Plan
Exhibit E - Sign Plan





Property Owner Notification for SUP#20-006

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
MABRA ACRES ADDITION	LOT 1	MILAN, OMAR M & MICHELLE DAWN	160 OAKWOOD CT	MANSFIELD, TX	76063
MEP & PRR CO SURVEY	A 1828	CHOWDURY, AKRAM H	3100 HAZELWOOD CT	BEDFORD, TX	76021
MEP & PRR CO SURVEY	A 1828	PREUSSER, WILLIAM & CAROL	3029 GERTIE BARRETT RD	MANSFIELD, TX	76063-8599
MEP & PRR CO SURVEY	A 1828	BISBEE BAPTIST CHURCH OF MANSFIELD	3001 GERTIE BARRETT RD	MANSFIELD, TX	76063-8599
MEP & PRR CO SURVEY	A 1828	BISBEE BAPTIST CHRUCH OF MANSFIELD	3001 GERTIE BARRETT RD	MANSFIELD, TX	76063-8599
MEP & PRR CO SURVEY	A 1828	CHOWDURY, AKRAM H	3100 HAZELWOOD CT	BEDFORD, TX	76021
MEP & PRR CO SURVEY	A 1828	BISBEE BAPTIST CHURCH OF MANSFIELD	3001 GERTIE BARRETT RD	MANSFIELD, TX	76063-8599
R & C BUSINESS CENTER ADDN	BLK 1	SUMMERS, CRAIG	171 BUSHNELL RD	BOZEMAN, MT	59718
ROLLING ACRES ADDITION-MANSFLD	BLK	B & B FAMILY LP	2925 E DIVISION ST	ARLINGTON, TX	76011-6710

LEGAL LAND DESCRIPTION:

(PROPOSED LOT 1, BLOCK 2, NEWPORT ADDITION)

BEING 1.578 acres (68,720 square feet) of land in the El Paso & Pacific Railroad Company Survey, Abstract Number 1828, City of Mansfield, Tarrant County, Texas; said 1.578 acres (68,720 square feet) of land being a portion of that certain tract of land described in Special Warranty Deed with Vendor's Lien to Akram H. Chowdury (hereinafter referred to as Chowdury tract), as recorded in Instrument Number D217282120, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.); said 1.578 acres (68,720 square feet) being more particularly described, by metes and bounds, as follows:

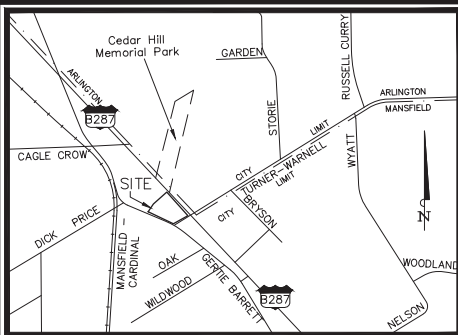
BEGINNING at a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Easterly corner of said Chowdury tract, same being on the existing Southwesterly right-of-way line of U. S. Highway Number 287 (Business) (100' right-of-way), as recorded in Volume 1117, Page 505, Deed Records, tarrant County, Texas (D.R.T.C.T.);

THENCE South 59 degrees 45 minutes 28 seconds West with the common line between said Chowdury tract and the existing Northwesterly right-of-way line of Turner-Warnell Road, also known as County Road Number 2033 (variable width right-of-way, no record found), a distance of 298.61 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Southerly corner of said Tally tract, same being the existing Northeasterly right-of-way line of said Gertie Barrett Road (variable width right-of-way, no record found);

THENCE North 65 degrees 23 minutes 40 seconds West, departing the existing Northwesterly right-of-way line of said Turner-Warnell Road, with the common line between said Chowdury tract and the Existing Northeasterly right-of-way line of said Gertie Barrett Road, a distance of 240.73 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Southerly corner of the remainder of that certain tract of land described in a Warranty Deed to Jim Tally (hereinafter referred to as Tally tract), as recorded in Instrument Number D215198846, O.P.R.T.C.T.;

THENCE North 59 degrees 21 minutes 06 seconds East, departing the existing Northeasterly right-of-way line of said Gertie Barrett Road, with the common line between said Chowdury tract and said Tally tract, pass ata distance of 153.82 feet, a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Southerly corner of that certain tract of land described in a deed to WE-Cedar Hill Memorial Park, Inc. (hereinafter referred to as WE-Cedar Hill Memorial Park tract), as recorded in Instrument Number D218018144, O.P.R.T.C.T. and continue with said course and the common line between said Chowdury tract and said WE-Cedar Hill Memorial Park tract for a total distance of 393.50 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Northerly corner of said Chowdury tract, same being the Easterly corner of said Tally tract, same also being the existing Southwesterly right-of-way line of said U. S. Highway Number 287 (Business);

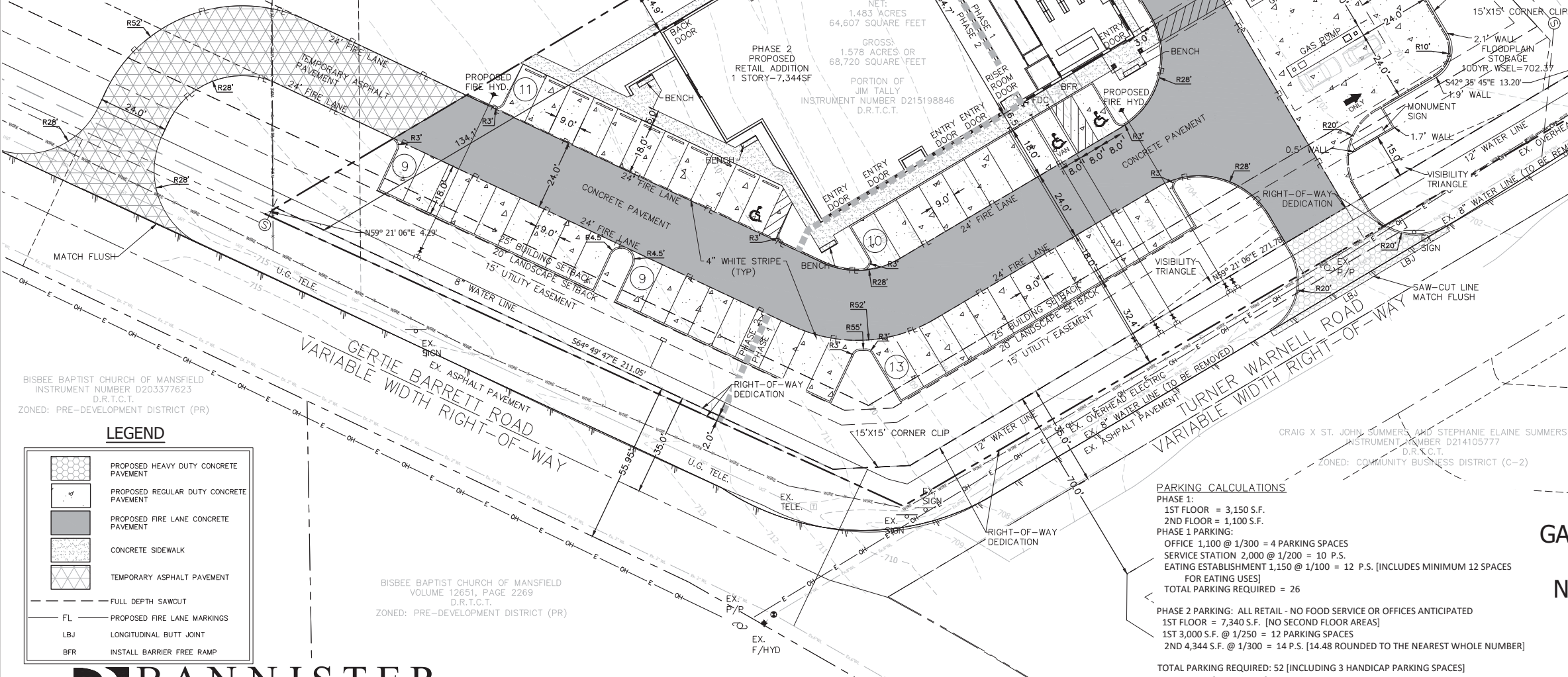
THENCE South 42 degrees 35 minutes 45 seconds East, with the common line between said Chowdury tract and the existing Southwesterly right-of-way line of said U. S. Highway Number 287 (Business), a distance of 204.34 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 1.578 acres (68,720 square feet) of land, 0.100 acre (4,317 square feet) to be dedicated in a future right-of-way, leaving a net calculated are of 1.478 acres (64,403 square feet).



VICINITY MAP
NOT TO SCALE
MANSFIELD, TEXAS

- NOTES:
1. ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.
 2. ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF THE ZONING ORDINANCE.
 3. THE TRASH ENCLOSURE WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF THE ZONING ORDINANCE.
 4. THERE WILL BE NO OUTSIDE STORAGE OF MATERIALS OR VEHICLES ON THE PROPERTY.
 5. ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.

30' PEREGRINE PIPELINE COMPANY, L.P.
INSTRUMENT NUMBER D208248644
D.R.T.C.T.



BISBEE BAPTIST CHURCH OF MANSFIELD
INSTRUMENT NUMBER D203377623
D.R.T.C.T.
ZONED: PRE-DEVELOPMENT DISTRICT (PR)

LEGEND

	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED REGULAR DUTY CONCRETE PAVEMENT
	PROPOSED FIRE LANE CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	TEMPORARY ASPHALT PAVEMENT
	FULL DEPTH SAWCUT
	PROPOSED FIRE LANE MARKINGS
	LONGITUDINAL BUTT JOINT
	INSTALL BARRIER FREE RAMP

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

CONTACT: CODY R. BROOKS, P.E.

BISBEE BAPTIST CHURCH OF MANSFIELD
VOLUME 12651, PAGE 2269
D.R.T.C.T.
ZONED: PRE-DEVELOPMENT DISTRICT (PR)

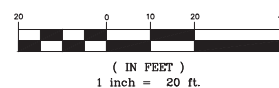
PARKING CALCULATIONS
PHASE 1:
1ST FLOOR = 3,150 S.F.
2ND FLOOR = 1,100 S.F.
PHASE 1 PARKING:
OFFICE 1,100 @ 1/300 = 4 PARKING SPACES
SERVICE STATION 2,000 @ 1/200 = 10 P.S.
EATING ESTABLISHMENT 1,150 @ 1/100 = 12 P.S. [INCLUDES MINIMUM 12 SPACES FOR EATING USES]
TOTAL PARKING REQUIRED = 26
PHASE 2 PARKING: ALL RETAIL - NO FOOD SERVICE OR OFFICES ANTICIPATED
1ST FLOOR = 7,340 S.F. [NO SECOND FLOOR AREAS]
1ST 3,000 S.F. @ 1/250 = 12 PARKING SPACES
2ND 4,344 S.F. @ 1/300 = 14 P.S. [14.48 ROUNDED TO THE NEAREST WHOLE NUMBER]
TOTAL PARKING REQUIRED: 52 [INCLUDING 3 HANDICAP PARKING SPACES]

ENGINEER/SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: CODY R. BROOKS, P.E.
PHONE: 817-842-2094
cody@bannistereng.com

OWNER:
AKRAM H. CHOWDHURY
3100 HAZELWOOD COURT
BEDFORD, TEXAS 76021
PHONE: 817-779-0757
EMAIL: achow001@gmail.com

NOBLE BUSINESS, INC.,
D/B/A J'S FOOD & NEW
STORE #1
VOLUME 13612, PAGE 162
D.R.T.C.T.
ZONED: COMMERCIAL (CC)

GRAPHIC SCALE

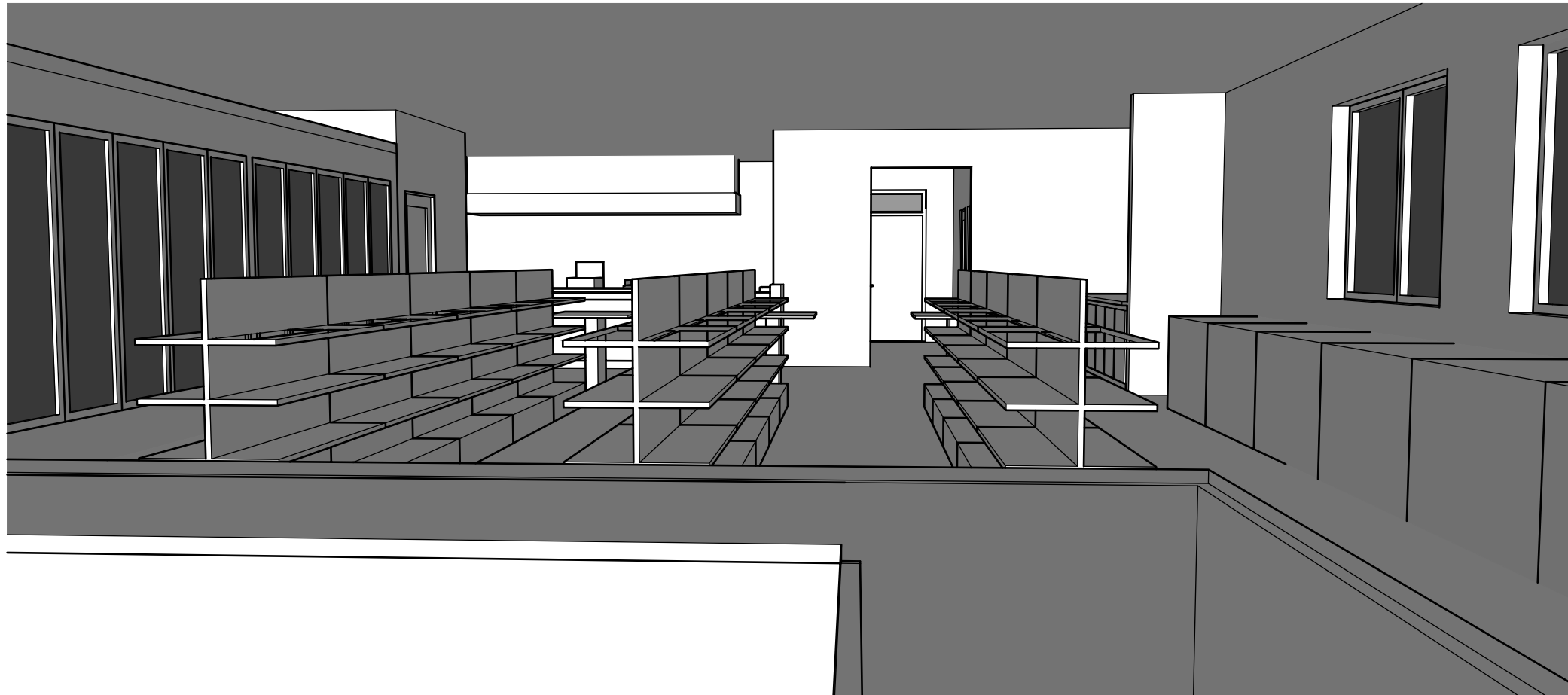


SITE SUMMARY TABLE	
GENERAL SITE DATA	
ZONING	C-2 COMMUNITY BUSINESS DISTRICT
LAND USE	CONVENIENCE STORE/GAS STATION W/RETAIL
LOT AREA	64,607 S.F. (1.483 ACRES)
TOTAL BUILDING AREA (SQUARE FEET)	±11,594 S.F.
FLOOR TO AREA RATIO	1 : 0.179
BUILDING HEIGHT (STORIES)	CONVENIENCE STORE: 21'-6" - 2 STORY RETAIL: 18' - 1 STORY
REQUIRED PARKING	52 SPACES
PROVIDED PARKING	52 SPACES
ACCESSIBLE / VAN ACCESSIBLE REQUIRED	2
ACCESSIBLE / VAN ACCESSIBLE PROVIDED	3

SITE PLAN FOR S.U.P.
GAS STATION WITH CONVENIENCE
STORE
N.W. OF CORNER OF BUS. 287 &
TURNER WARNELL
MANSFIELD, TEXAS
LOT 1, BLOCK 2
NEWPORT ADDITION
1.483 ACRES

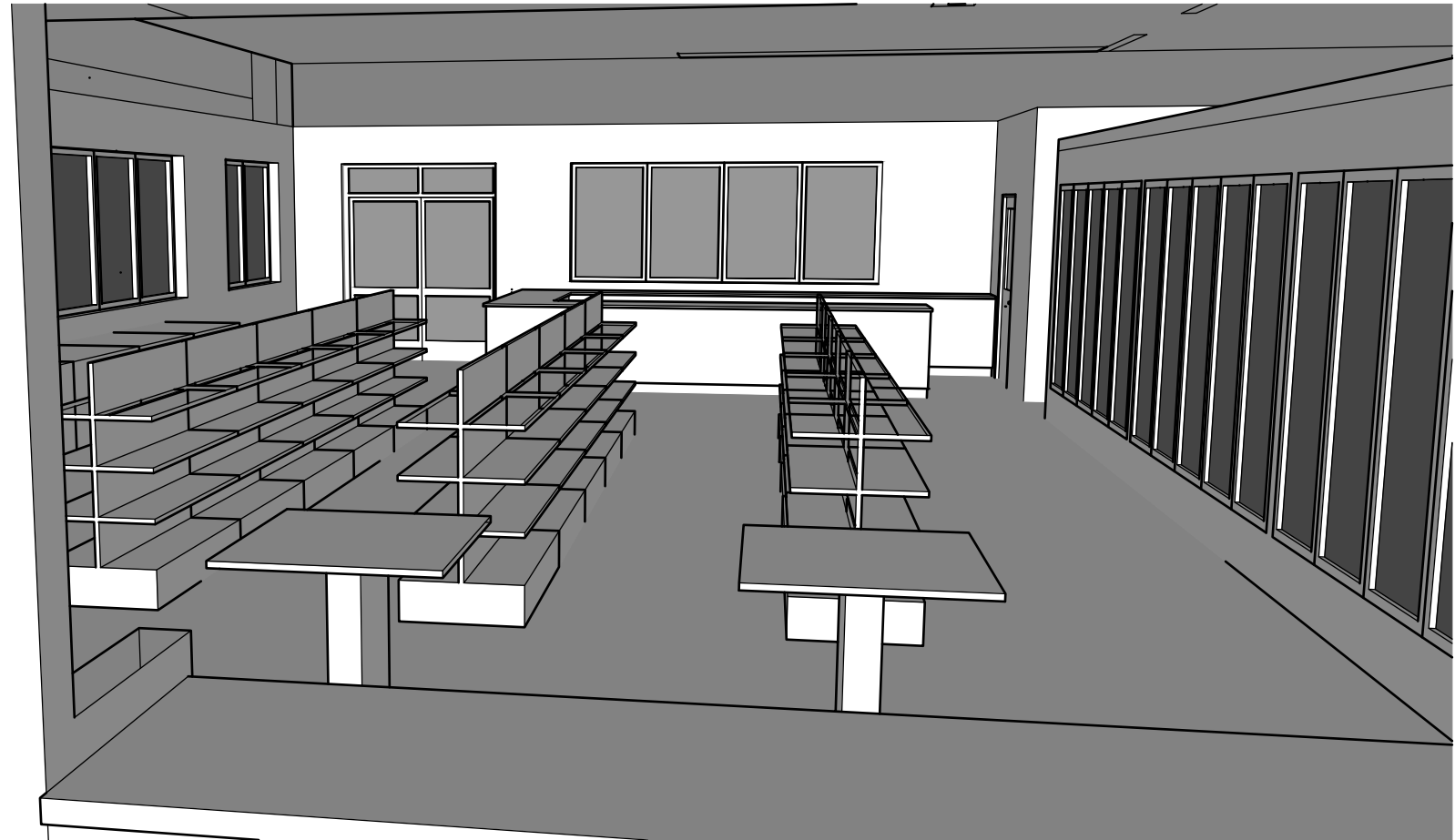
Date Prepared: 06-29-2021

SUP#20-006
EXHIBIT B



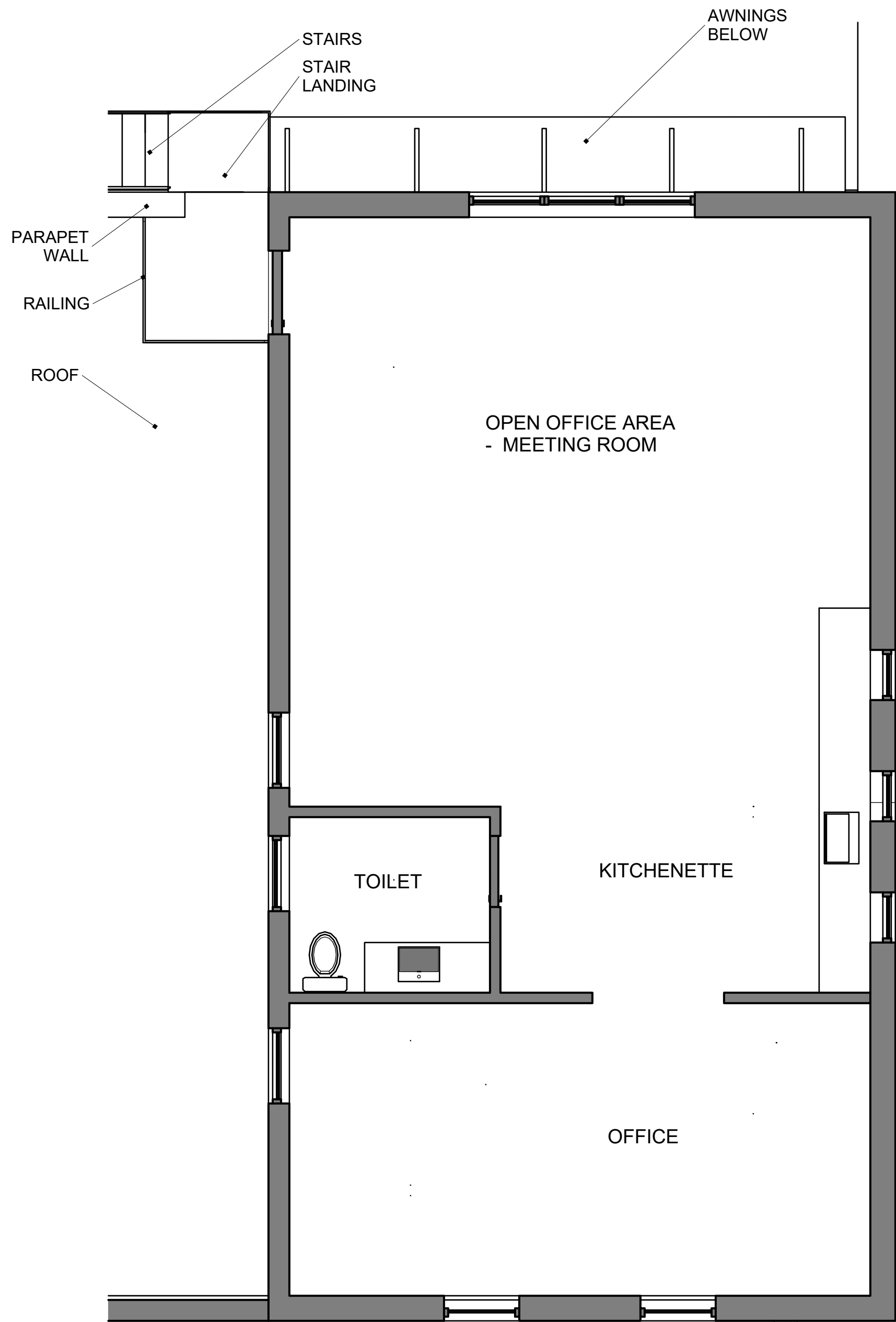
INTERIOR PERSPECTIVE VIEW; FROM CHECK-OUT COUNTER

SCALE: NO SCALE



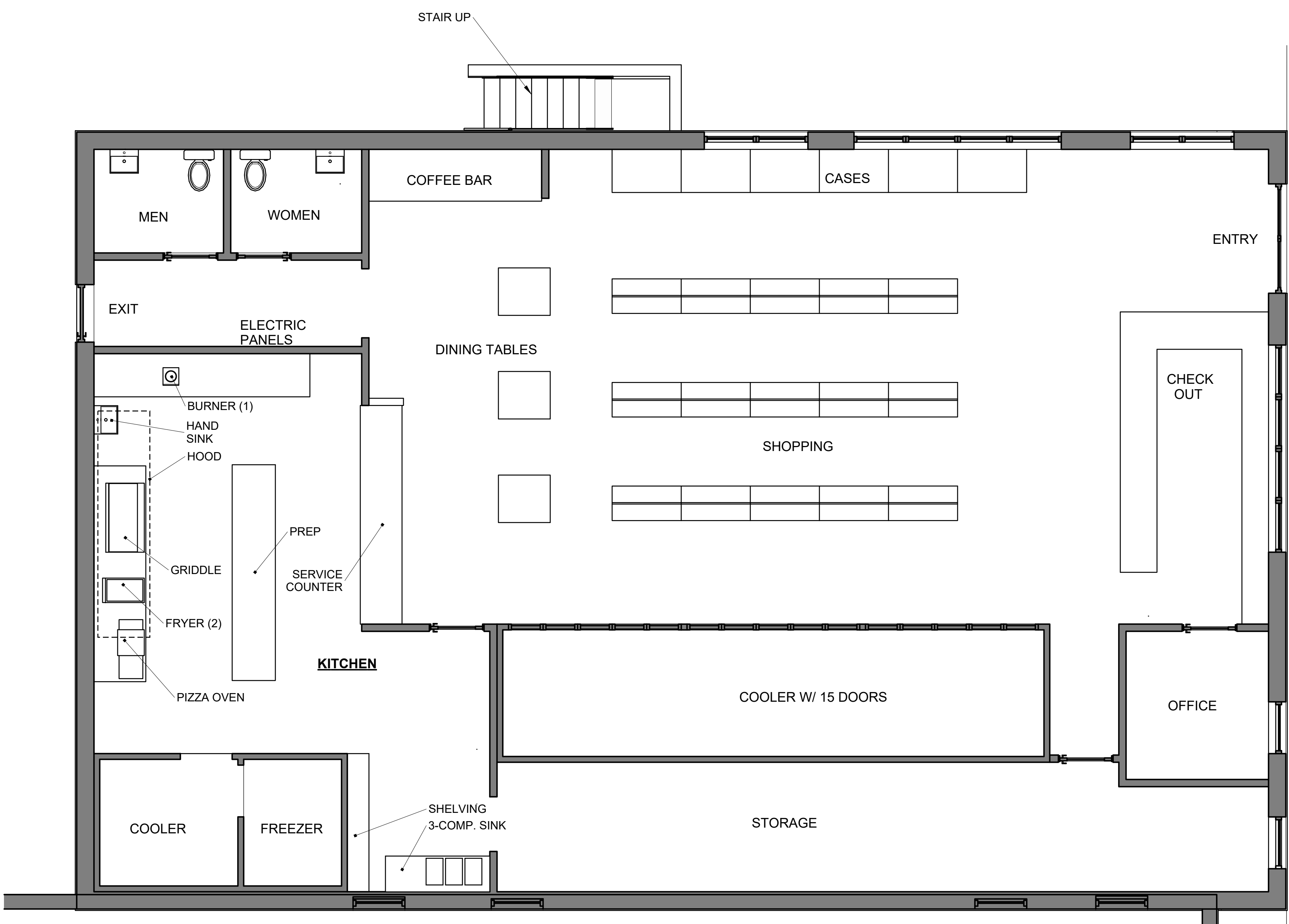
INTERIOR PERSPECTIVE VIEW; FROM KITCHEN COUNTER

SCALE: NO SCALE



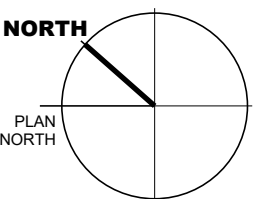
SECOND FLOOR PLAN

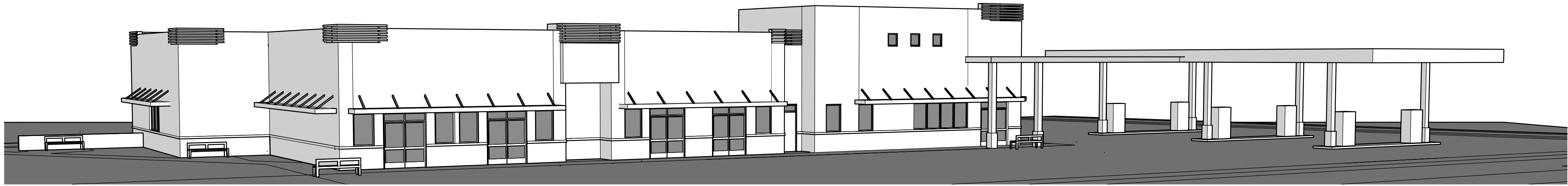
SCALE: 1/4" = 1'-0"



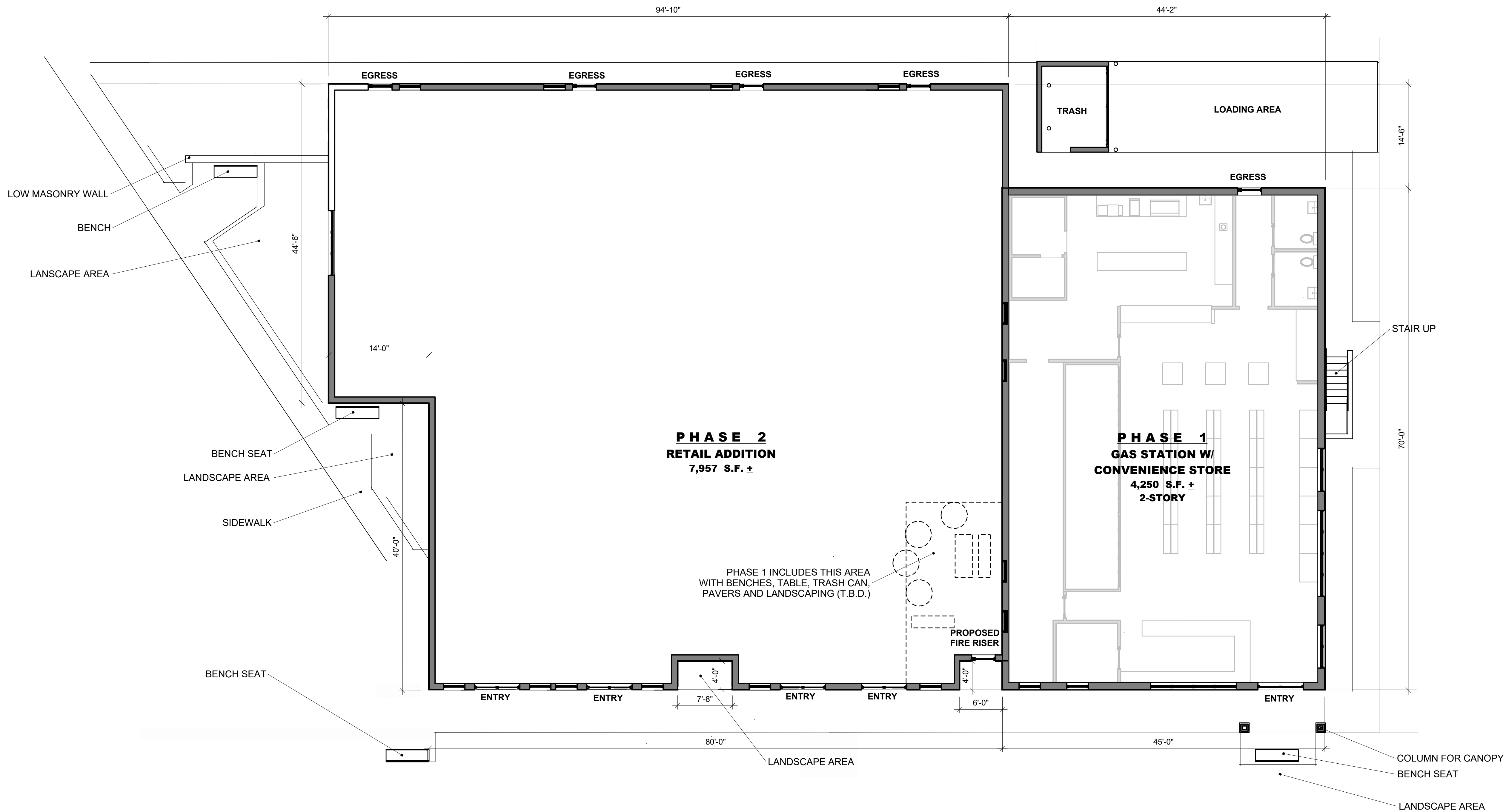
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"





PERSPECTIVE VIEW FROM TURNER WARNELL ROAD



OVERALL FIRST FLOOR PLAN

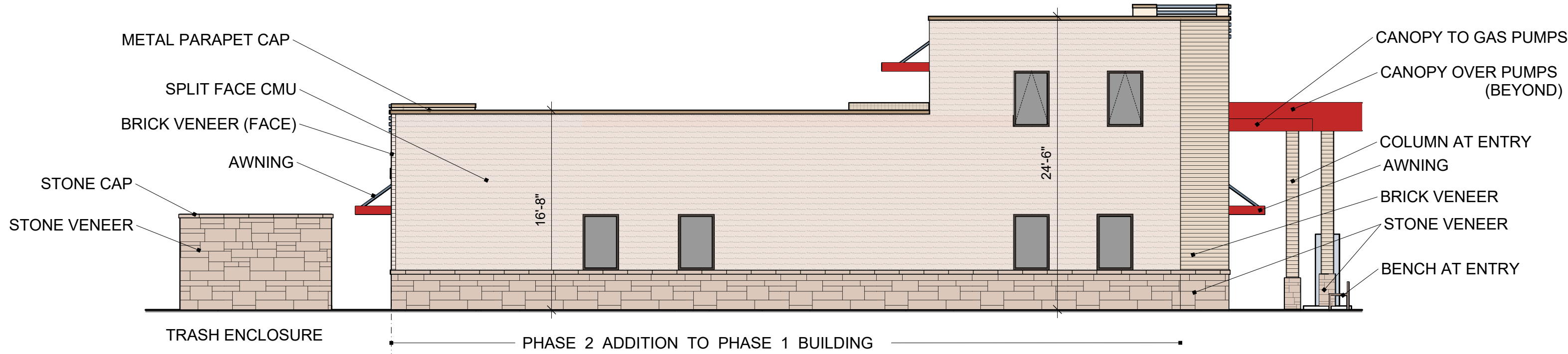
SCALE: 1/4" = 1'-0"

MASONRY CALCULATIONS	MATERIALS	AREAS PHASE 1	AREAS PHASE 2: TOTAL BUILDING
	TOTAL WALL *	4,330.2 SQUARE FEET	8,255.7 SQUARE FEET
	BRICK & STONE	3,563.9 SQUARE FEET	6,661.6 SQUARE FEET
	STUCCO	766.3 SQUARE FEET	1,594.1 SQUARE FEET
	PERCENTAGE MASONRY	82.30 %	80.7 %
	ACCENT METALS **	110.1 SQUARE FEET = 2.5%	197.2 SQUARE FEET = 2.2%
* TOTAL EXTERIOR WALL EXCLUDING WINDOWS & DOORS			
** METALS, INCLUDES STAIRS & DECORATIVE TRIM - ATTACHED TO WALLS			

ARCHITECTURAL ATTRIBUTES & FEATURES

ALL FOUR SIDES: STONE, WATER TABLE, & BRICK
FEATURES INCLUDE:

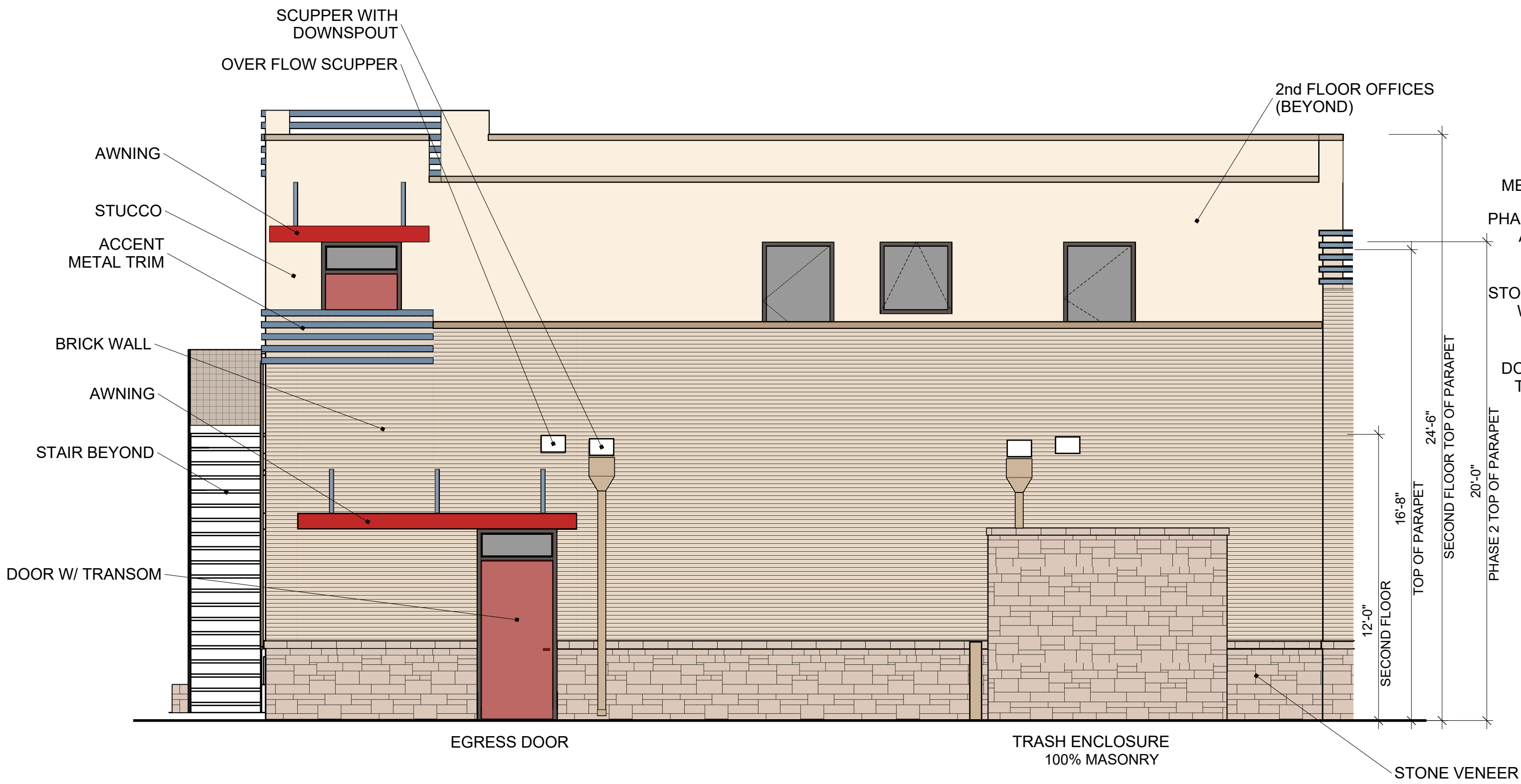
- 4' DEEP RECESSES
- 2' OR MORE CHANGES IN PARAPET HEIGHT
- AWNINGS OVER WINDOWS AND DOORS
- METAL ACCENTS (DETAILS) AT CORNERS
- HORIZONTALLY REPEATING ELEMENTS
- COVERED WALKWAY TO FUELING CANOPY
- BENCHES AT FOUR CORNERS



WEST SIDE ELEVATION: PHASE 1

SCALE: 1/8" = 1'-0"

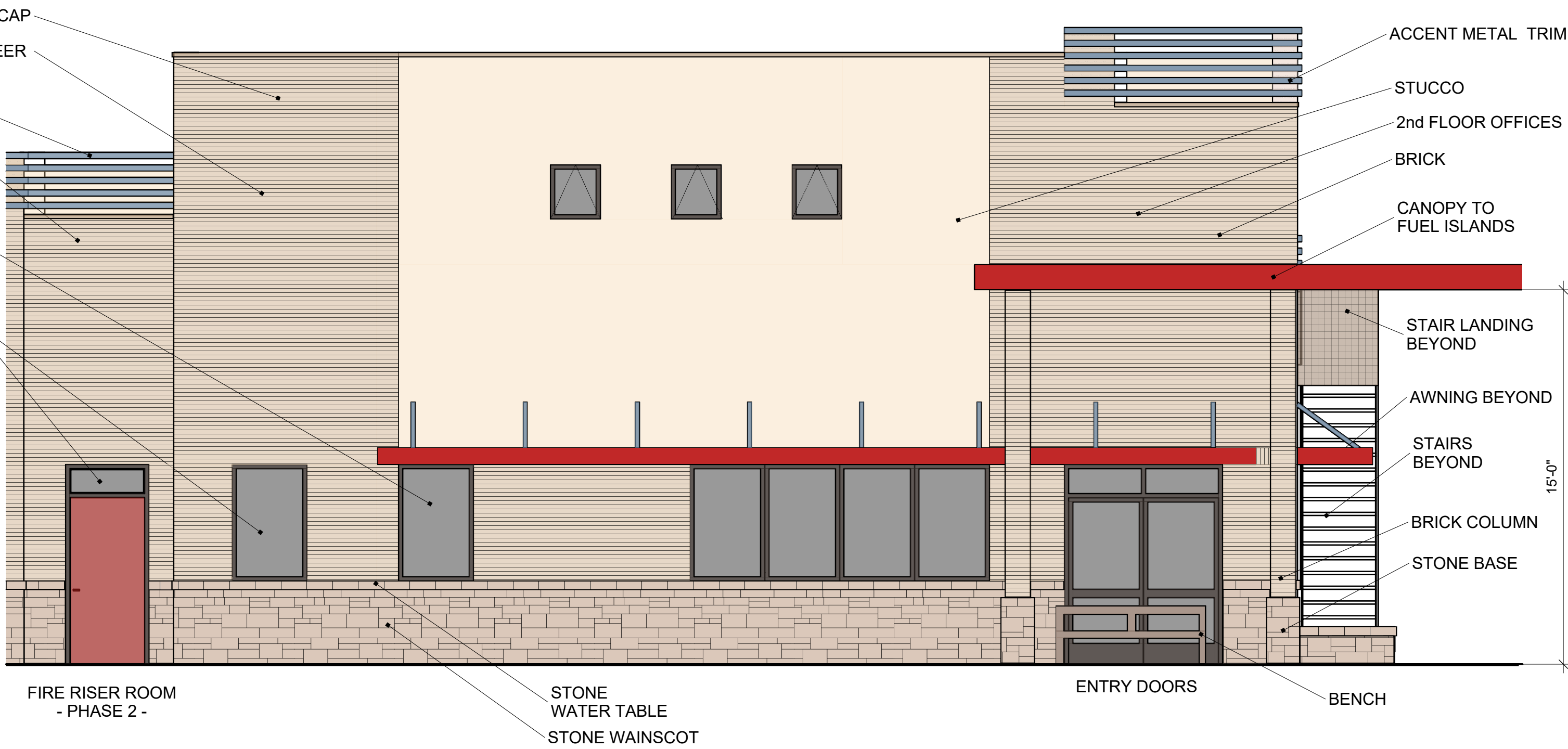
WALL MATERIALS: BRICK, CMU & STONE = 1,362.5 SQUARE FEET
PERCENTAGE MASONRY = 100% (EXCLUDING METAL TRIMS)



NORTH ELEVATION: REAR

SCALE: 1/8" = 1'-0"

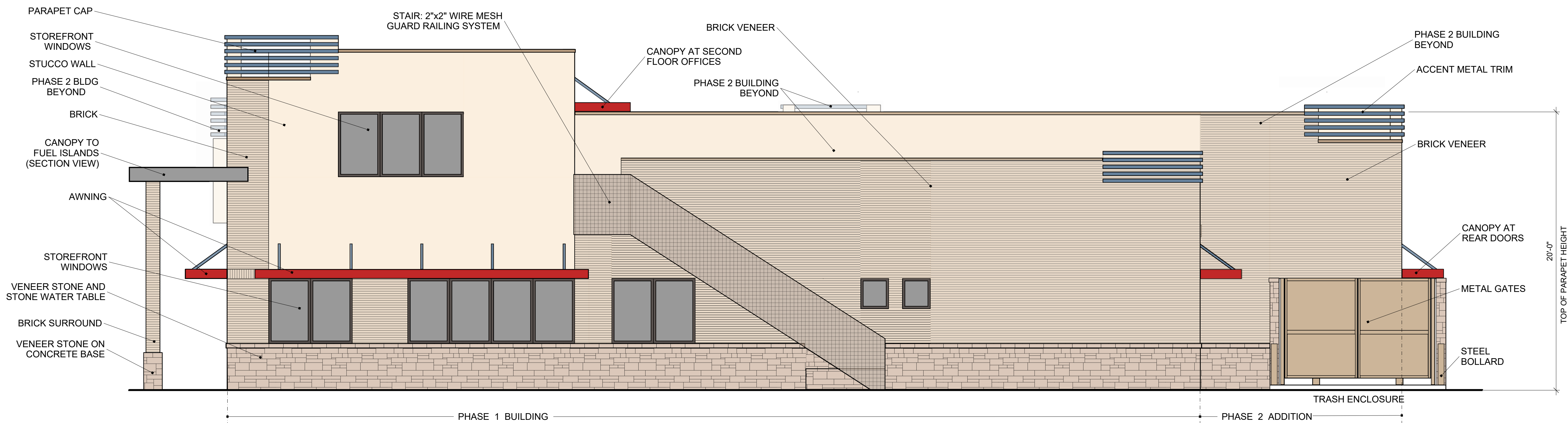
WALL MATERIALS: MASONRY (BRICK & STONE) = 720.7 SQUARE FEET
STUCCO (MASONRY LIKE) = 221.9 SQUARE FEET (VISIBLE ABOVE PARAPET)
PERCENTAGE MASONRY = 76.5% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)



SOUTH FRONT ELEVATION: TURNER WARNELL SIDE

SCALE: 1/4" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 617.4 SQUARE FEET
STUCCO (MASONRY LIKE) = 278.3 SQUARE FEET
PERCENTAGE MASONRY = 67.8% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)

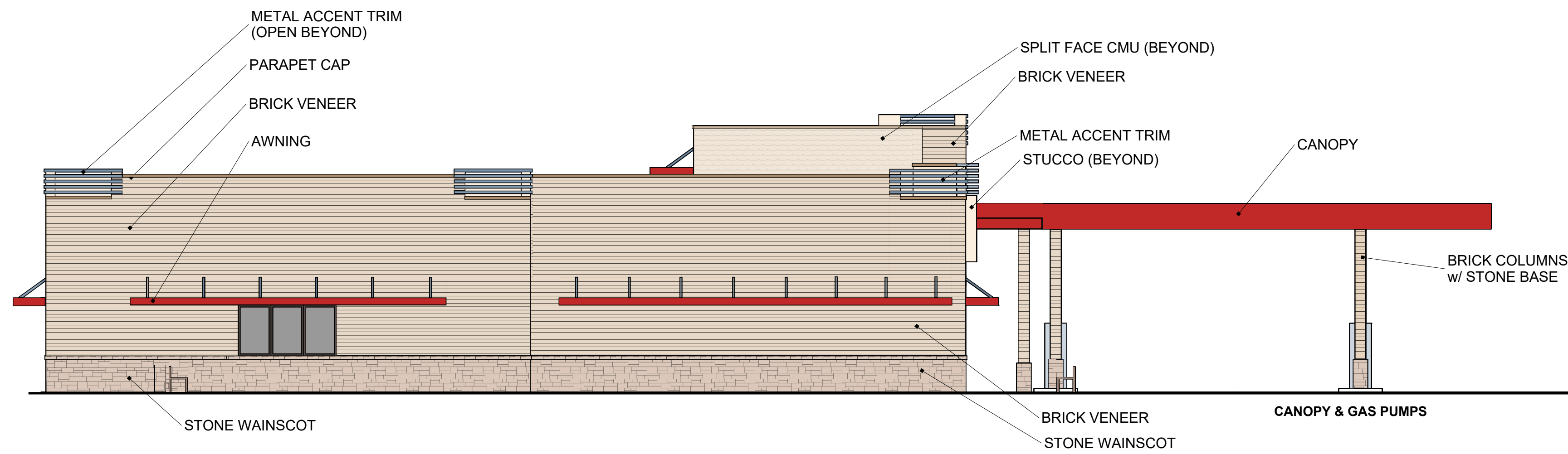


EAST ELEVATION: HWY 287 SIDE

SCALE: 1/4" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 863.3 SQUARE FEET
STUCCO (MASONRY LIKE) = 266.0 SQUARE FEET (VISIBLE ABOVE PARAPET)
PERCENTAGE MASONRY = 76.4% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)

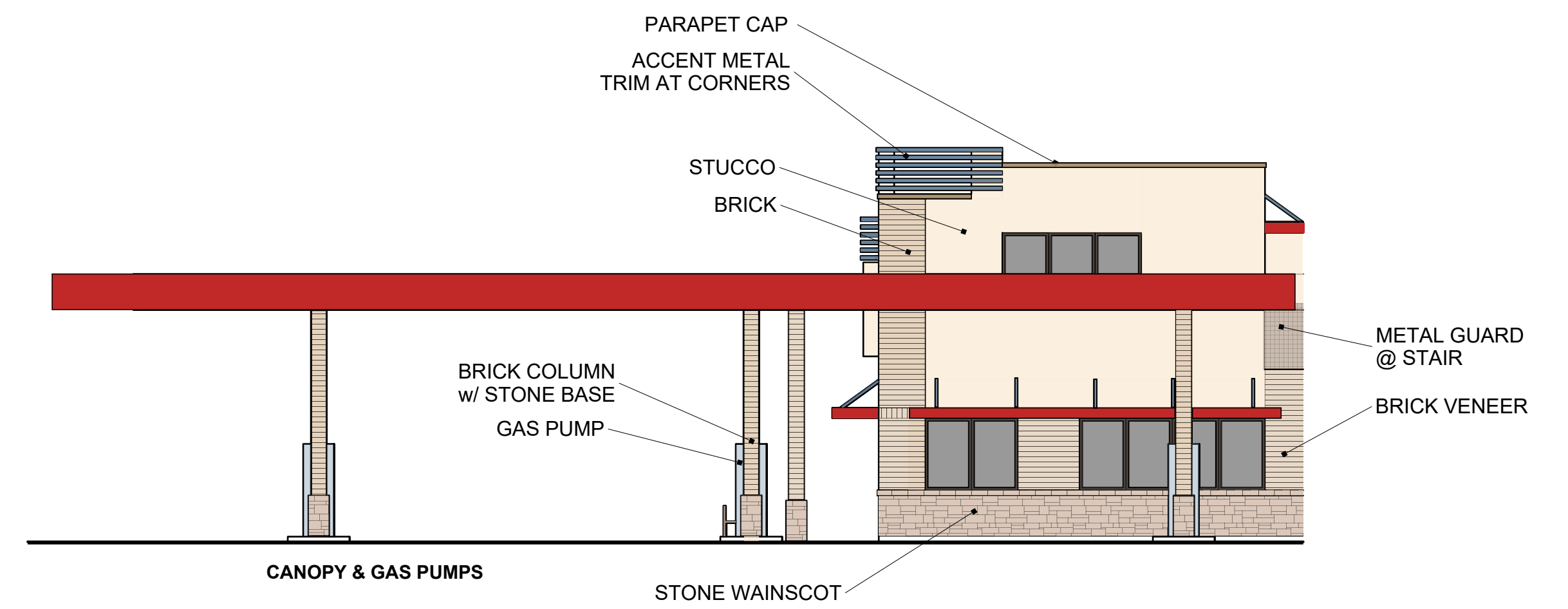
PHASE 2: WALL MATERIALS: MASONRY (BRICK & STONE) = 1,152.4 SQUARE FEET
STUCCO (MASONRY LIKE) = 416.0 SQUARE FEET (VISIBLE ABOVE PARAPET)
PERCENTAGE MASONRY = 73.5% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)



WEST ELEVATION: ELEVATION (GERTIE BARRETT ROAD SIDE)

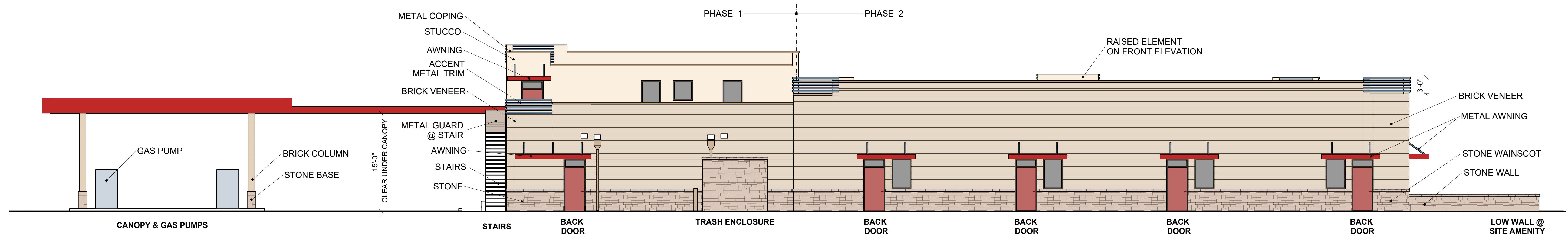
SCALE: 1/8" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 1,625.9 SQUARE FEET
STUCCO (MASONRY LIKE) = 33.0 SQUARE FEET (VISIBLE OVER PARAPET)
PERCENTAGE MASONRY = 98% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)



EAST ELEVATION: FUEL ISLAND CANOPY FROM Hwy 287

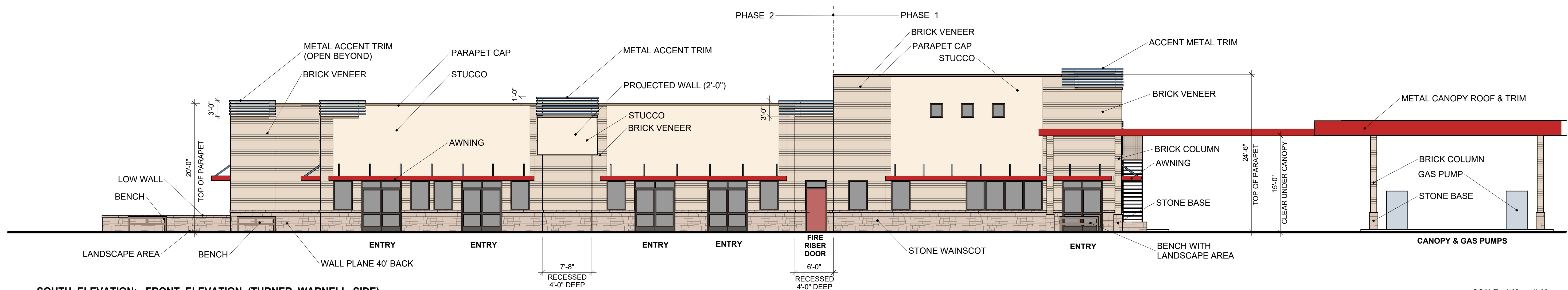
SCALE: 1/8" = 1'-0"



NORTH ELEVATION: REAR ELEVATION

SCALE: 1/8" = 1'-0"
















WALL MATERIALS: MASONRY (BRICK & STONE) = 2,495.2 SQUARE FEET
STUCCO (MASONRY LIKE) = 221.9 SQUARE FEET
PERCENTAGE MASONRY = 91.7% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)

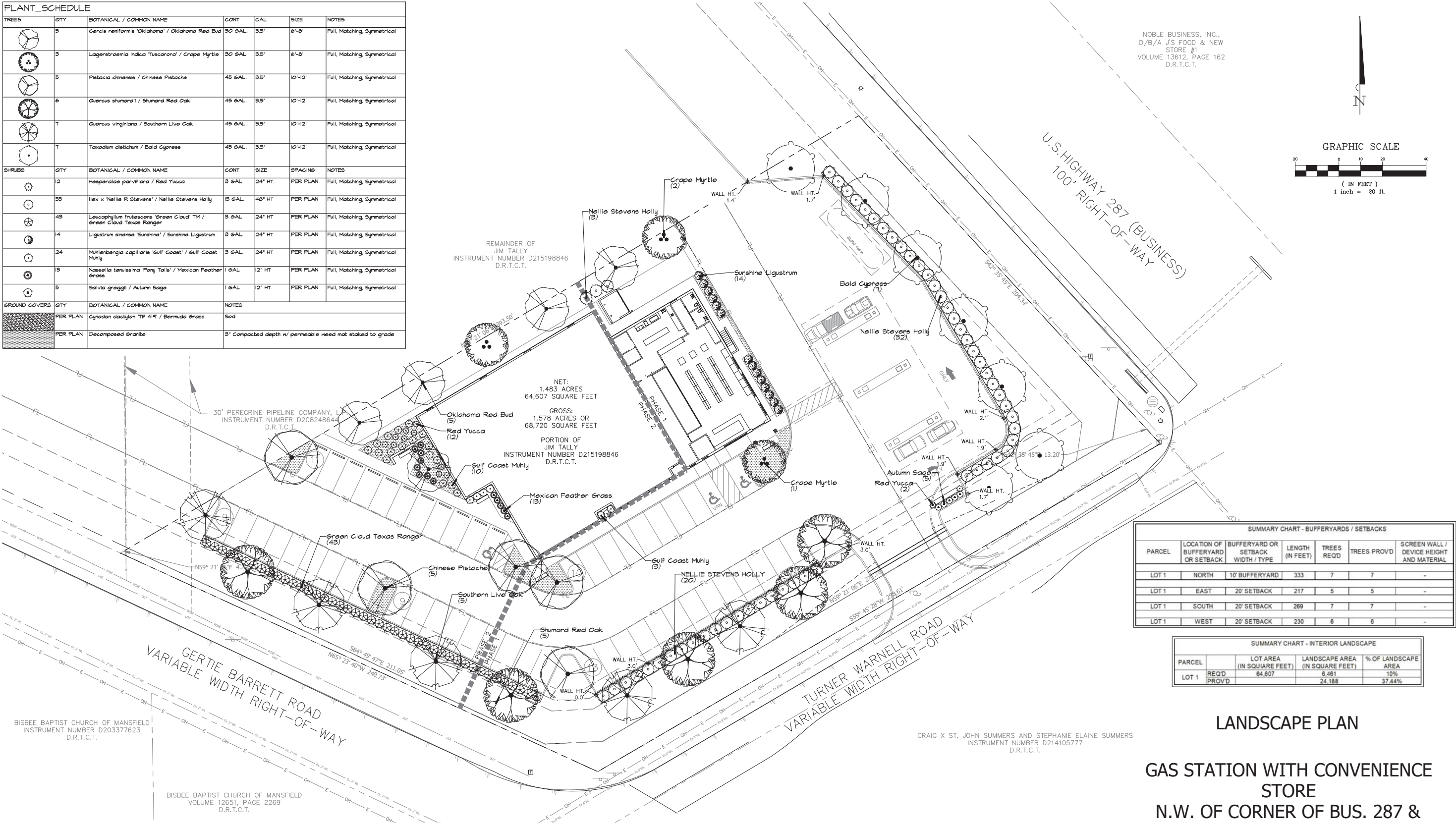


SOUTH ELEVATION: FRONT ELEVATION (TURNER WARNELL SIDE)

SCALE: 1/8" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 1,428.6 SQUARE FEET
STUCCO (MASONRY LIKE) = 882.7 SQUARE FEET
PERCENTAGE MASONRY = 62.9% (EXCLUDING WINDOWS, DOORS, AWNINGS & METAL TRIMS)

PLANT_SCHEDULE						
TREES	QTY	BOTANICAL / COMMON NAME	CONT	GAL	SIZE	NOTES
	5	Cercis reniformis 'Oklahoma' / Oklahoma Red Bud	30 GAL.	3.5"	6'-8'	Full, Matching, Symmetrical
	3	Lagerstroemia indica 'Tuscarora' / Crape Myrtle	30 GAL.	3.5"	6'-8'	Full, Matching, Symmetrical
	5	Pistacia chinensis / Chinese Pistache	45 GAL.	3.5"	10'-12'	Full, Matching, Symmetrical
	6	Quercus shumardii / Shumard Red Oak	45 GAL.	3.5"	10'-12'	Full, Matching, Symmetrical
	7	Quercus virginiana / Southern Live Oak	45 GAL.	3.5"	10'-12'	Full, Matching, Symmetrical
	7	Taxodium distichum / Bald Cypress	45 GAL.	3.5"	10'-12'	Full, Matching, Symmetrical
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	12	Hesperaloe parviflora / Red Yucca	3 GAL.	24" HT.	PER PLAN	Full, Matching, Symmetrical
	35	Ilex x 'Nellie R Stevens' / Nellie Stevens Holly	15 GAL.	48" HT	PER PLAN	Full, Matching, Symmetrical
	43	Leucophyllum frutescens 'Green Cloud' TM / Green Cloud Texas Ranger	3 GAL.	24" HT	PER PLAN	Full, Matching, Symmetrical
	14	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	3 GAL.	24" HT	PER PLAN	Full, Matching, Symmetrical
	24	Muhlenbergia capillaris 'Gulf Coast' / Gulf Coast Muhly	3 GAL.	24" HT	PER PLAN	Full, Matching, Symmetrical
	13	Nassella tenuissima 'Pony Tails' / Mexican Feather Grass	1 GAL.	12" HT	PER PLAN	Full, Matching, Symmetrical
	5	Salvia greggii / Autumn Sage	1 GAL.	12" HT	PER PLAN	Full, Matching, Symmetrical
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	NOTES			
	PER PLAN	Cynodon dactylon 'Tif 419' / Bermuda Grass	Seed			
	PER PLAN	Decomposed Granite	3" Compacted depth w/ permeable weed mat staked to grade			



LANDSCAPE PLAN

GAS STATION WITH CONVENIENCE
STORE
N.W. OF CORNER OF BUS. 287 &
TURNER WARNELL
MANSFIELD, TEXAS
LOT 1, BLOCK 2
NEWPORT ADDITION
1.483 ACRES

SUP#20-006
Date Prepared: 03-31-2021
EXHIBIT-D

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

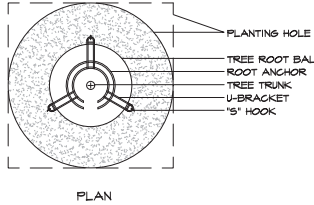
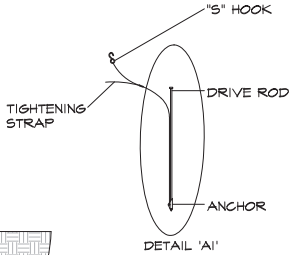
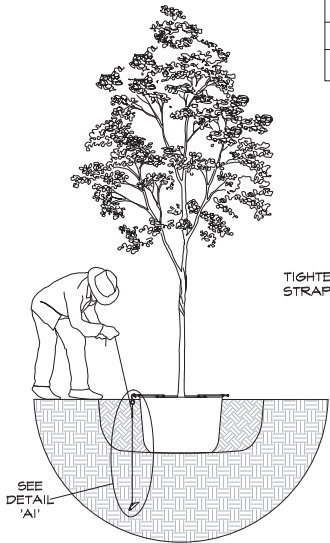
CONTACT: CODY R. BROOKS, P.E.



GENERAL NOTES :

1. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
2. Contractor shall advise the Owner and Landscape Architect of any condition found on site which prohibits installation as shown on these plans.
3. If a discrepancy between drawings and plant schedule is found, the drawings shall take precedent over the plant schedule.
4. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock.'
5. Contractor shall stake out tree locations and bed configuration for approval by Owner prior to installation.
6. Substitutions shall not be made without prior written authorization from the Owner or Landscape Architect.
7. All disturbed areas not indicated as planting beds shall be sodded or seeded by Contractor to provide an established turf area.
8. Contractor shall remove reasonable amount of stones, dead roots, detritus and other undesirable material from existing soil.
9. If rocks are encountered, remove to a depth of 3" and add 3" of friable fertile topsoil to all sodded areas. Contractor to ensure that site is graded according to the Engineer's grading plan.
10. Lawn areas shall have 3" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
11. Soil preparation for planting beds shall be as follows:
 - 3A of organic compost
 - 20 pounds of organic fertilizer / 1,000 sf of bed area
 - Till bed to a depth of 6" to 8"
 - Check soil acidity. Soil acidity should range from 5.0 to 7.0 pH. Regulate if necessary.
12. All plant beds shall be top dressed with a minimum 3" of Native Hardwood Mulch.
13. Tree planting pits shall be cleared of undesirable material and backfilled with prepared top soil. Place 1" of compost and 3" of shredded hardwood mulch on top of root ball.
14. The Contractor will be held liable for any damage caused to trees due to improper staking methods, including absence of staking throughout the warranty period.
15. Trees shall be planted at least 2.5 feet from any right-of-way line, curb, walk or fire hydrant, and outside all utility easements.
16. Trees shall be planted at least 8 feet from any public utility line where possible. In the event this is not possible, Contractor shall install a root barrier, per the detail(s) noted on this sheet.
17. Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
18. Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. All plant material shall be maintained in a healthy condition in accordance with the season. Dead, damaged or destroyed plant material shall be replaced in kind within thirty days. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
19. Landscape areas shall be kept free of trash, litter and weeds.
20. An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets is prohibited.
22. Installing contractor to maintain landscaping for 30 days from owner occupancy to establish plants and grass, mowing and trimming to be included.
23. All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved with a minimum of 70% coverage. This is to include all areas to the back of curb around the property.
24. Any hardwood mulched beds on site shall have permeable weed mat installed prior to plant material and mulch being installed.
25. All bedding areas with ground cover (Asian Jasmine, Wintercreeper, etc.) shall be top dressed with hardwood mulch until ground cover has covered area completely.
26. Any switch gear devices, electrical transformers, telephone pedestals, and hvac units located on the property are to be screened. If these devices have been altered from the most recent plans, the contractor is to verify placement of these utilities and contact Landscape Architect for plant material specifications and placement.
27. Landscape contractor shall not place topsoil or mulch above brick ledge of the building and shall not block weep holes on the building.
28. If the grades on site at the time the landscape contractor is set to begin work does not allow the brick ledge and weep holes to remain uncovered, it is the landscape contractor's responsibility to notify the owner or general contractor immediately.

ROOT ANCHOR ITEM#	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
15-B6	10 / 15 Gallon or 17" root ball	12 - 18" Minimum Depth	3 - V6B Anchors
30-B6	20 / 39 Gallon or 22" root ball	18 - 24" Minimum Depth	3 - V6B Anchors
45/65-B6	45 / 65 Gallon or 27-30" root ball	24 - 30" Minimum Depth	3 - V6B Anchors
100-B6	95 / 100 Gallon or 36" root ball	30 - 36" Minimum Depth	3 - V6B Anchors
150-B6	150 Gallon or 42" root ball	48" Minimum Depth	3 - V6B Anchors
200-B6	200 Gallon or 48" root ball	48" Minimum Depth	3 - V8B Anchors
300-B6	300 Gallon or 58" root ball	48" Minimum Depth	3 - V8B Anchors
CUSTOM-B6	Root Balls larger than 60"	TBD	



STEP 1:

- Set tree in planting pit.
- Place anchor with ring side down against top of root ball.
- Center root anchor's inner ring(s) around trunk of tree.
- Align drive rod as close as possible to outside edge of u-bracket.

STEP 2:

- Drive anchor straight down into undisturbed subbase soil.
- See chart for recommended depths per tree size.

STEP 3:

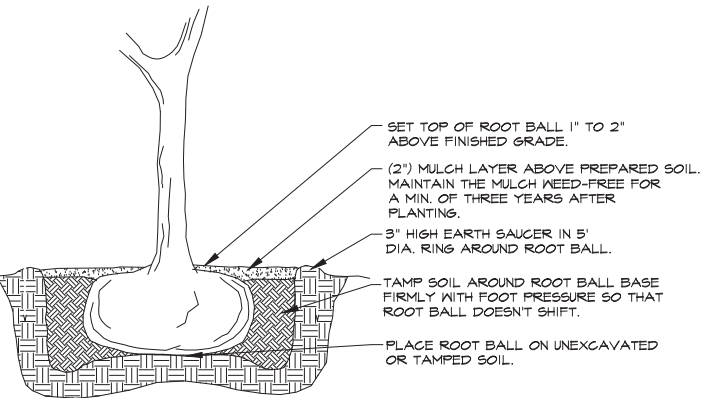
- Remove drive rod.
- Repeat steps 1 & 2 for all three (3) anchor locations.
- Pull back on strap approximately 3" for the v-6B anchor, or 6" to 7" for the v-8B anchor to set anchor into a horizontal or locked position. A fulcrum may be required to assist in setting the anchor.
- Place "S" hook over the end of the u-bracket.
- Pull strap up vertically until root anchor rings bite into the top of the root ball and u-brackets are setting flush on top of the root ball.
- Tie excess strap off to the u-bracket allowing enough remaining strap to adjust tree, if necessary.

A TREE STAKING DETAIL (TREE STAKE SOLUTIONS)

NOT TO SCALE

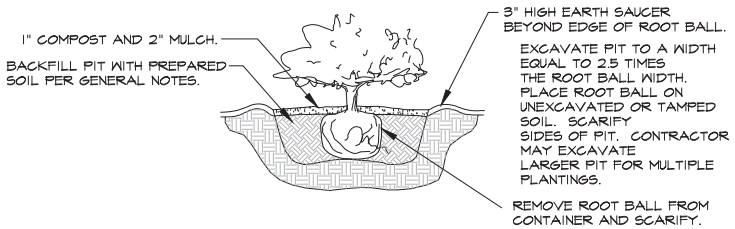
NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSEVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.
4. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.



B TREE PLANTING DETAIL

NOT TO SCALE



C SHRUB PLANTING DETAIL

NOT TO SCALE

LANDSCAPE PLAN

GAS STATION WITH CONVENIENCE
STORE
N.W. OF CORNER OF BUS. 287 &
TURNER WARNELL
MANSFIELD, TEXAS
LOT 1, BLOCK 2
NEWPORT ADDITION
1.483 ACRES

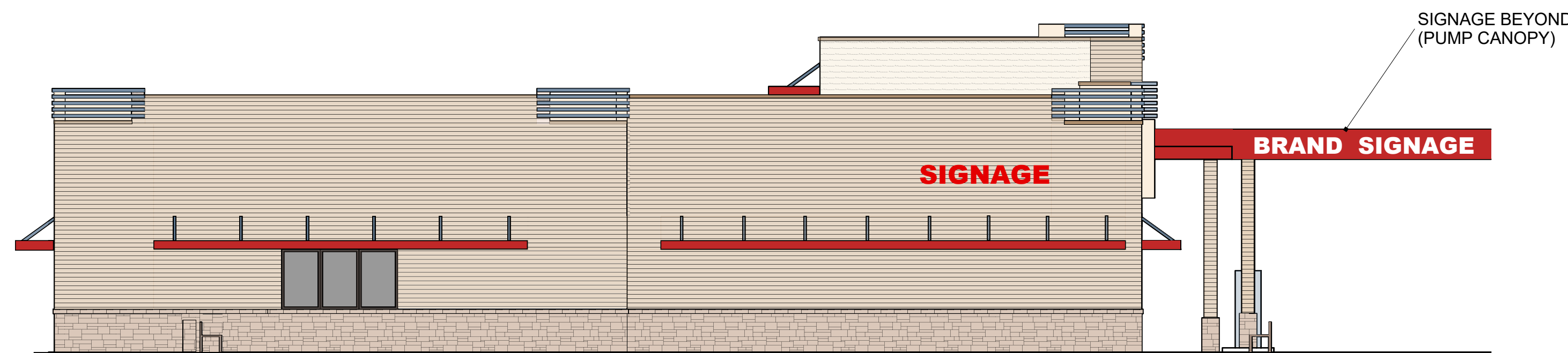


SUP#20-006
Date Prepared: 03-31-2021
EXHIBIT-D



240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

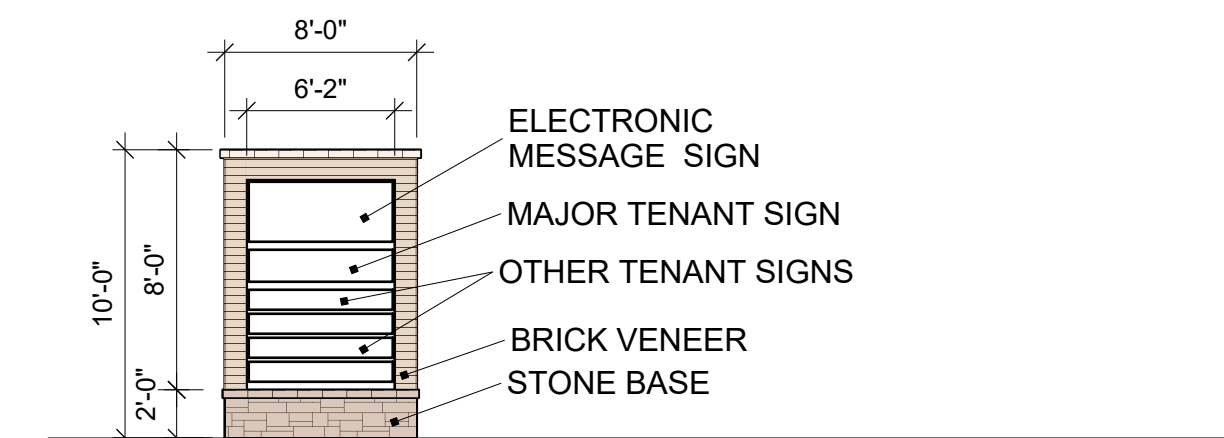
CONTACT: CODY R. BROOKS, P.E.



LIMITED SIGNAGE ON THIS ELEVATION

ELEVATION: WEST ELEVATION (GERTIE BARRETT ROAD SIDE)

SCALE: 1/8" = 1'-0"

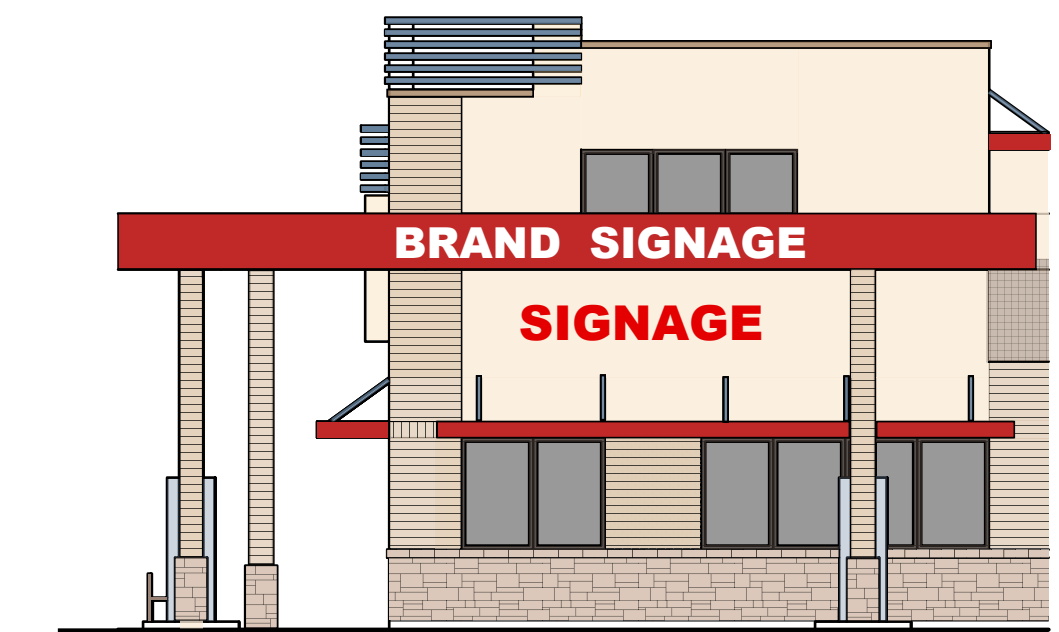


TOTAL SIGN AREA = 49.33 SQUARE FEET

ELEVATION: MONUMENT SIGN

SCALE: 1/8" = 1'-0"

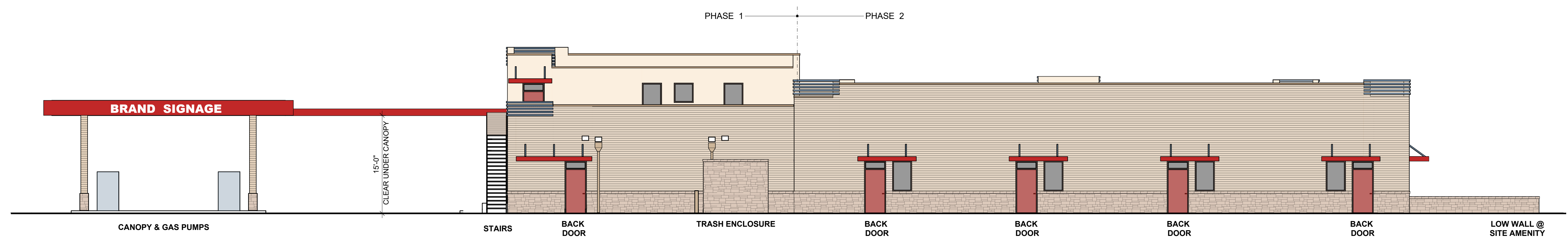
MONUMENT SIGN FACES HWY 287



WALL SIGN BY TENANT

ELEVATION: FROM Hwy 287

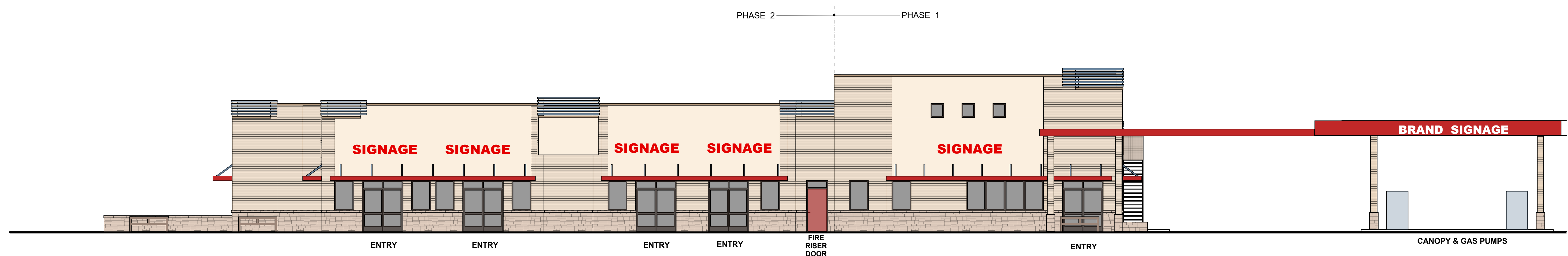
SCALE: 1/8" = 1'-0"



NO SIGNAGE ON THIS ELEVATION - EXCEPT ADDRESSES & STORE NAMES ON BACK DOORS

ELEVATION: NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WALL SIGNS BY TENANTS

ELEVATION: SOUTH ELEVATION (TURNER WARNELL SIDE)

SCALE: 1/8" = 1'-0"



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4277

Agenda Date: 9/7/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

ZC#21-010: Public hearing for a change of zoning from PR, Pre-Development District to PD, Planned Development District for single-family residential uses on approximately 55.899 acres out of the A. Bedford Survey, Abstract No. 60, Johnson County, TX, located at 2695 Howell Dr.; Sam Satterwhite of Engineering Concepts & Design, L.P. (engineer) and Terrance Jobe of Alluvium Development (developer) on behalf of William Troy and Brenda Sells Revocable Trust (owner)

Description/History

Future Land Use designation: Sub-Area 4

Existing Use: Vacant land

Existing Zoning: PR, Pre-Development District

Surrounding Land Use & Zoning:

North - Vacant land (PR) and single-family residential (under construction) (PD)

South - Bedford Rd.; vacant land (Mansfield ETJ) across the street

East - Single-family residential (under construction), PD

West - Howell Dr.; vacant land and single-family residential (Mansfield ETJ) across the street

Thoroughfare Plan Specification:

Future realigned FM 157/Lone Star Pkwy. - principal arterial (six-lane divided)

Bedford Rd. - minor collector (three-lane undivided)

Howell Dr. - minor collector (three-lane undivided)

Comments and Considerations

The subject property consists of 55.899 acres of vacant land. The applicant is requesting to rezone the property from PR Pre-Development District to PD Planned Development District for single-family residential uses.

Development Plan and Regulations

The applicant plans to develop a single-family residential development called Birdsong West with 193 residential lots and 8 open space lots. The development will serve as an extension of the larger Birdsong development to the east and will largely include the same lot types and development standards, with the notable exception being that the lots in Birdsong West will have a 10' greater minimum lot depth. Birdsong West will be divided into two phases. Phase 1 (the eastern portion of the development) will including 106 residential lots, the enhanced entryway, a large open space lot with recreational

amenities, and open space features along future FM 157. Phase 2 (the western portion of the development) will include 87 residential lots, the secondary entryway, a detention area, and open space features along Bedford Road and Howell Drive. The development will include three lot types, which will be intermingled and distributed throughout the site as shown on the Development Plan, with different lot types within each block. The composition of lot types within the development will be 34% Type 1, 40% Type 2, and 26% Type 3. Details showing typical lot dimensions and setbacks for each lot type have been provided. The development will have a gross density of 3.45 dwelling units per acre and will have the following minimum standards:

	Type 1	Type 2	Type 3
Minimum Lot Area:	6,000 sq. ft.	7,200 sq. ft.	8,400 sq. ft.
Minimum Lot Width:	50'	60'	70'
Minimum Lot Depth:	120'	120'	120'
Minimum Front Yard:	25'	25'	25'
Minimum Rear Yard:	15'	15'	15'
Min. Interior Side Yard:	5'	5'	5'
Min. Exterior Side Yard:	15'	15'	15'
Minimum Floor Area:	1,800 sq. ft.	2,200 sq. ft.	2,400 sq. ft.
Maximum Lot Coverage:	55%	55%	55%
Maximum Height:	35'	35'	35'

*SF-4.5 shall have a minimum 15' front yard setback, but no greater than 20'.

**A 20' setback is required for lots that back up to the side property line of another lot and a 15' setback is required for lots that back up to the rear of another lot.

***Up to one third of the SF-4.5 lots shall be allowed to have a reduced minimum floor area of 1,600 sq. ft.

Notes:

1. Location of Lot Type shall be in accordance with the Development Plan.
2. Lots on a cul-de-sac, bulb, or elbow may be up to 10' narrower as long as the lot area exceeds the minimum lot area.
3. Lots on a cul-de-sac, bulb, or elbow may be up to 10' shallower as long as the lot area exceeds the minimum lot area.
4. Corner lots shall be at least 10' wider than the specified minimum lot width for each Lot Type specified above.
5. Outdoor living areas shall have a minimum rear setback of 10' whether or not the area is covered by a roof which is integrated into the house.
6. The minimum front yard setback may be reduced to 20' for homes with J-swing garages.
7. The minimum dwelling area on at least 30% of homes on Type 1 lots shall be 2,000 sq. ft.

Architectural and Community Design Standards

The architecture and community design standards will adhere to the City's Code of Ordinances, except as noted in the architectural and community design standards for this proposed development. These provisions include the allowance of side-entry garages

and garages served by an interior drive to count towards the J-swing requirement and to not require J-swing garages on Type 1 lots. In addition, garages facing a public street shall not be closer than the primary façade of the home and shall include a composite material designed to look like wood. All homes shall be at least 80% masonry materials and all roofs shall include three-dimensional architectural shingles. In addition, as an enhancement above and beyond the original Birdsong development, at least 20% of homes shall include front porches and shall meet the minimum requirements specified in the development regulations.

Each single-family lot will include two (2) 3"-caliper canopy trees, one of which may be located in the back yard.

Access and Circulation

The development will be served by two main access points. The primary enhanced entryway will be off Bedford Road/future Lone Star Road (FM 157) and will be provided with Phase 1. A secondary entryway from Howell Drive will be provided with Phase 2. Two access points to the north and west will provide cross-access to the original Birdsong development; these access points will be constructed with Phase 1. In addition, right-of-way will be dedicated along future FM 157/Lone Star, Bedford Road, and Howell Drive to accommodate future expansion and improvements. When FM 157 is realigned, it is anticipated that the remaining portion of Bedford Road between the main entrance to the development and Howell Drive will be abandoned, with Howell Drive extending south to the newly-aligned FM 157.

Enhanced Entryway Plan

An Enhanced Entryway Plan has been provided, showing the enhanced entryway features planned for the entrances into the development. The primary entrance will be provided off Bedford Road/FM 157 and will include a divided boulevard section, enhanced pavers, decorative lights, entry signage, and enhanced landscaping. The secondary entrance off Howell Drive will include a smaller entry sign with stone columns, flush with the masonry screening wall, as well as some enhanced landscaping in front of the sign.

Open Space, Screening, and Amenities

An Open Space, Trail, and Screening Plan has been provided for the development and minimum standards for each element have also been outlined in the Development Standards. Along future FM 157, Bedford Road, and Howell Drive, the developer will provide a 6'-tall masonry screening wall to screen the residential lots from the roads. Where open space lots are adjacent to the road, ornamental metal or split-rail fencing shall be provided. In addition, at the main entry points, the lots siding the entryways will be screened by a 6'-tall wood fence with masonry columns. In front of the masonry screening walls along future FM 157, Bedford Road, and Howell Drive, a 20' landscape buffer and a minimum 6'-wide meandering trail will be provided. The applicant has indicated that the gas pipeline operator has provided verbal consent for the trail configuration across their easement. However, the pipeline operator does not consent to landscaping in their easement. As such, only the portions of the landscape buffer north of the secondary entryway on Howell and the portion of the buffer east of the primary entryway on Bedford/future FM 157 will include landscaping. Landscaping will consist of a mix of

canopy trees and ornamental trees, with canopy trees comprising at least 33% of the plantings. In addition, in lieu of landscaping not being provided in the portion of the buffers located in the pipeline easements, the detention area at the southwest corner of the development will be enhanced with landscaping along the perimeter, particularly facing Bedford and Howell. Existing trees along the north boundary of the development and along a portion of Howell Drive are planned to be preserved. To provide amenities for the neighborhood residents, the 4.38-acre open space lot at the northeast corner of the development will include a playground and pavilion area.

Building Elevations

The applicant has provided conceptual elevations for the proposed homes, which show a traditional masonry construction (with a mix of brick and stone), abundant articulation, and pitched roofs. Some of the homes include porches and J-swing garages to illustrate how those requirements will be accommodated. The style of architecture is fairly common to Mansfield. A note has been provided indicating that the images are representative products to illustrate general architectural design intent.

Recommendation

The proposed development will provide for the expansion of the Birdsong single-family residential development, generally following the same standards for the original development, with some improvements, including greater lot depth, minimum percentage of homes with front porches, and other architectural and community design elements that generally meet or exceed the City's minimum requirements. The different lot types will be distributed throughout the community and intermingled within blocks to create a true community with a diversity of products. In addition, the enhanced entryway features, screening, preservation of trees, landscape buffers, trails, playground, and pavilion area will add value to the development and provide for the necessary landscaping, screening, and amenities for neighborhood residents.

Staff recommends approval with the following conditions:

1. At the time of platting, the applicant shall provide documentation from the gas pipeline operator indicating general acceptance of the street crossings and meandering trails as shown.
2. If the developer is seeking credit for any proposed park land dedication or park facilities or trail improvements associated with this development, they will need to be reviewed by the Senior Park Planner and Director of Parks & Recreation and approved by the Mansfield Park Facilities Development Corporation. All proposed facilities receiving credit will need to be constructed to City Park standards.

Attachments:

Maps and Supporting Information

Exhibit A - Property Description

Exhibit B - Development Standards

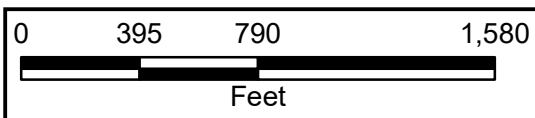
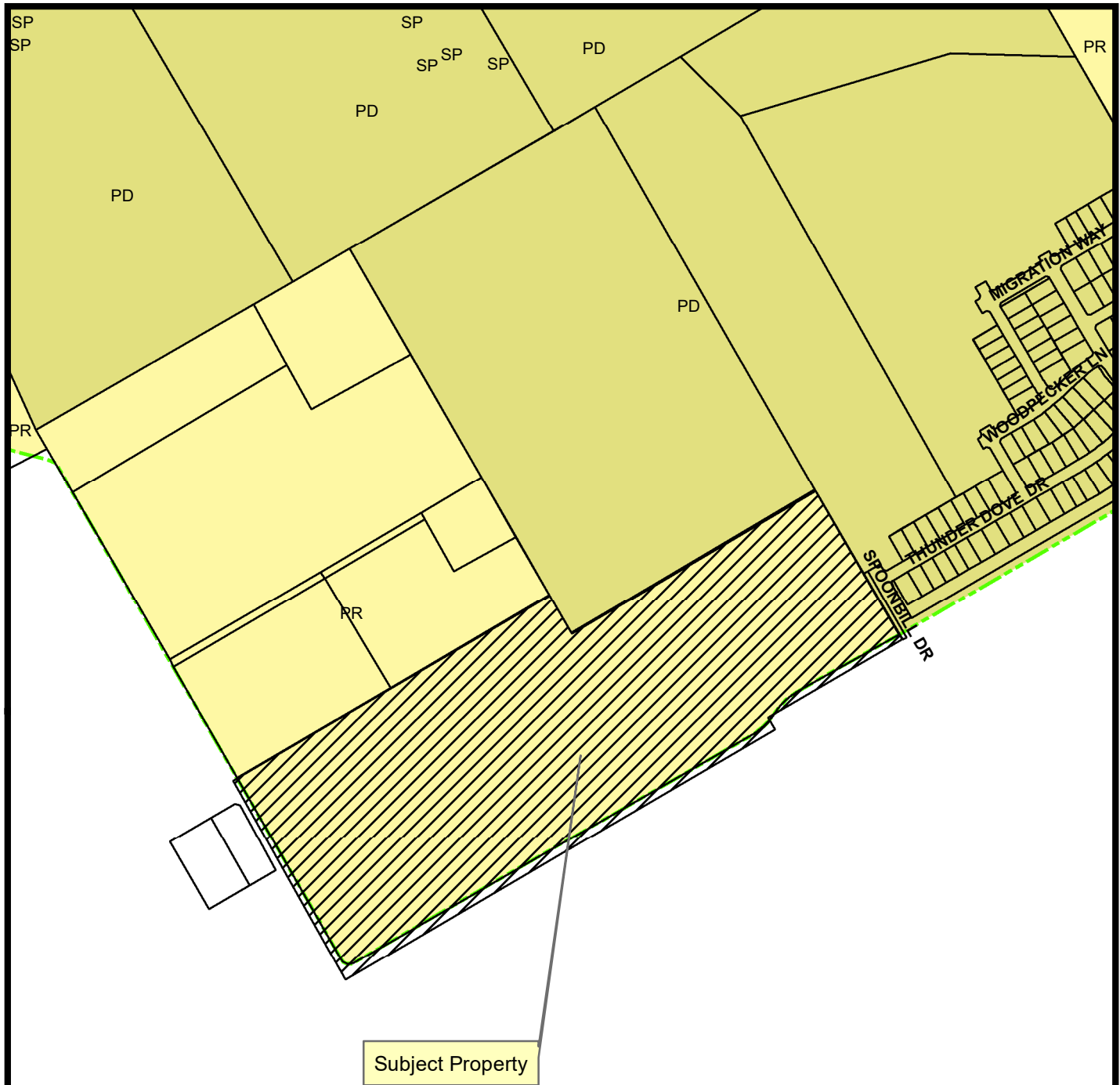
Exhibit C - Development Plan

Exhibit D - Open Space, Trail, and Screening Plan

Exhibit E - Enhanced Entryway Plan

Exhibit F - Building Elevations





Property Owner Notification for ZC#21-010

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
A BEDFORD	TR 2	PHAM ANTHONY A ETUX THUVAN T TRAN	6915 FIELD LARK DR	ARLINGTON, TX	76002
A BEDFORD	TR 3	PHAM ANTHONY A	6915 FIELD LARK DR	ARLINGTON, TX	76002
A BEDFORD	TR 6	SELLS WILLIAM TROY ETUX BRENDA REVOCABLE TRUST	1048 NEWT PATTERSON RD	MANSFIELD, TX	76063
A BENFORD	TR 5	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201
BBB & C RR CO	TR 9,PT 87	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201

BEING 55.899 ACRES OF LAND LOCATED IN THE A. BEDFORD SURVEY, ABSTRACT NUMBER 60, JOHNSON COUNTY, TEXAS, BEING ALL OF THE WILLIAMS TROY SELLS AND BRENDA J. SELLS CALLED 55.61 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2014-25753, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS (O.P.R.J.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD WITH CAP STAMPED "ONEAL 6570" SET AT THE SOUTH CORNER OF THE ABOVE-MENTIONED 55.61 ACRE TRACT, SAME BEING IN THE NORTHEAST LINE OF THE DEBRA C. MEEKS AND HUSBAND, RAYMOND M. MEEKS CALLED 12.10 ACRE TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2012-9516, (O.P.R.J.C.T.), FROM WHICH A P.K. NAIL FOUND BEARS NORTH 12 DEGREES 09 MINUTES 52 SECONDS WEST, A DISTANCE OF 25.67 FEET AND ALSO FROM WHICH A 1/2" IRON ROD WITH CAP STAMPED "MILLER RPLS 5665" FOUND BEARS SOUTH 71 DEGREES 42 MINUTES 54 SECONDS EAST, A DISTANCE OF 26.04 FEET;

THENCE NORTH 29 DEGREES 56 MINUTES 54 SECONDS WEST, ALONG THE SOUTHWEST LINE OF SAID 55.61 ACRE TRACT, A DISTANCE OF 42.37 FEET TO A RAILROAD SPIKE FOUND AT THE EAST CORNER OF A CALLED 0.337 ACRE RIGHT-OF-WAY DEDICATION AS SHOWN BY BLUEBONNET PARK ESTATES, AN ADDITION RECORDED IN CABINET 101, SLIDE K, PLAT RECORDS, JOHNSON COUNTY, TEXAS (P.R.J.C.T.), SAME BEING THE NORTH CORNER OF THE ABOVE-MENTIONED 12.10 ACRE TRACT AND BEING IN COUNTY ROAD 520;

THENCE NORTH 29 DEGREES 56 MINUTES 51 SECONDS WEST, CONTINUING ALONG THE SOUTHWEST LINE OF SAID 55.61 ACRE TRACT AND ALONG COUNTY ROAD 520, A DISTANCE OF 509.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "R.W. COOMBS RPLS 5294" FOUND AT THE NORTH CORNER OF THE ABOVE-MENTIONED 0.337 ACRE RIGHT-OF-WAY DEDICATION, SAME BEING AT THE EAST CORNER OF THE ERICK SAENZ AND MAYRA SAENZ TRACT AS DESCRIBED IN INSTRUMENT NUMBER 2019-14522, (O.P.R.J.C.T.);

THENCE NORTH 28 DEGREES 52 MINUTES 10 SECONDS WEST, CONTINUING ALONG THE SOUTHWEST LINE OF SAID 55.61 ACRE TRACT AND COUNTY ROAD 520, A DISTANCE OF 366.91 FEET TO A MAG NAIL WITH WASHER STAMPED "ONEAL 6570" SET AT THE NORTH CORNER OF THE ABOVE-MENTIONED SAENZ TRACT SAME BEING THE EAST CORNER OF A 25' RIGHT-OF-WAY DEDICATION AS SHOWN BY CORDES ESTATES, AN ADDITION RECORDED IN SLIDE C-89, (P.R.J.C.T.) AND BEING AT THE APPROXIMATE INTERSECTION OF COUNTY ROAD 520 AND CORDES ROAD;

THENCE NORTH 29 DEGREES 50 MINUTES 04 SECONDS WEST, CONTINUING ALONG THE SOUTHWEST LINE OF SAID 55.61 ACRE TRACT AND COUNTY ROAD 520 AND THE COMMON NORTHEAST LINE OF THE ABOVE-MENTIONED 25' RIGHT-OF-WAY DEDICATION, A DISTANCE OF 54.72 FEET TO A MAG NAIL WITH WASHER STAMPED "ONEAL 6570" SET AT THE WEST CORNER OF SAID 55.61 ACRE TRACT, SAME BEING THE SOUTH CORNER OF THE ANTHONY A. PHAM AND THUVAN T. TRAN TRACT AS DESCRIBED IN VOLUME 4042, PAGE 805, DEED RECORDS, JOHNSON COUNTY, TEXAS (D.R.J.C.T.);

THENCE NORTH 59 DEGREES 38 MINUTES 59 SECONDS EAST, ALONG THE SOUTHEAST LINE OF THE ABOVE-MENTIONED PHAM TRACT AND THE SOUTHEAST LINE OF THE ANTHONY A. PHAM TRACT AS DESCRIBED IN VOLUME 4266, PAGE 289, (D.R.J.C.T.), SAME BEING A COMMON NORTHWEST LINE OF

SAID 55.61 ACRE TRACT, AT A DISTANCE OF 24.47 FEET PASS A 1/2" IRON ROD FOUND AT A FENCE CORNER, AND CONTINUING FOR A TOTAL DISTANCE OF 1561.13 FEET TO A 1/2" IRON ROD FOUND AT FENCE CORNER IN A SOUTHWEST LINE OF THE DALTON'S BEST MAID PRODUCTS, INC. CALLED 164.55 ACRE TRACT AS DESCRIBED IN VOLUME 2073, PAGE 260, (D.R.J.C.T.), SAME BEING AT AN EXTERIOR CORNER OF SAID 55.61 ACRE AND THE EAST CORNER OF THE ABOVE-MENTIONED PHAM TRACT (VOL. 4266, PG. 289);

THENCE SOUTH 30 DEGREES 07 MINUTES 40 SECONDS EAST, A DISTANCE OF 189.31 FEET TO A 5/8" IRON ROD FOUND AT AN INTERIOR CORNER OF SAID 55.61 ACRE TRACT AND A COMMON EXTERIOR CORNER OF THE ABOVE-MENTIONED 164.55 ACRE TRACT;

THENCE NORTH 59 DEGREES 42 MINUTES 21 SECONDS EAST, A DISTANCE OF 1201.07 FEET TO A 3/4" IRON ROD FOUND AT THE NORTH CORNER OF SAID 55.61 ACRE TRACT, SAME BEING AN INTERIOR CORNER OF SAID 164.55 ACRE TRACT;

THENCE SOUTH 30 DEGREES 18 MINUTES 18 SECONDS EAST, A DISTANCE OF 728.02 FEET TO A MAG NAIL WITH WASHER STAMPED "ONEAL 6570" SET IN THE APPROXIMATE CENTERLINE OF COUNTY ROAD 520 AT THE EAST CORNER OF SAID 55.61 ACRE TRACT, SAME BEING A SOUTH CORNER OF SAID 164.55 ACRE TRACT, AND FROM WHICH A 1/2" IRON ROD WITH CAP STAMPED "MILLER RPLS 5665" FOUND BEARS SOUTH 30 DEGREES 18 MINUTES 18 SECONDS EAST, A DISTANCE OF 3.41 FEET;

THENCE ALONG THE SOUTHEAST LINE OF SAID 55.61 ACRE TRACT, AND GENERALLY ALONG COUNTY ROAD 520, THE FOLLOWING THREE (3) COURSES AND DISTANCES:

- 1) SOUTH 59 DEGREES 45 MINUTES 59 SECONDS WEST, A DISTANCE OF 660.63 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "ONEAL 6570" SET;
- 2) SOUTH 30 DEGREES 14 MINUTES 01 SECONDS EAST, A DISTANCE OF 60.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED "ONEAL 6570" SET;
- 3) SOUTH 59 DEGREES 45 MINUTES 59 SECONDS WEST, A DISTANCE OF 2113.99 FEET TO THE **POINT OF BEGINNING** AND CONTAINING 55.899 ACRES OF LAND, MORE OR LESS.

ALL BEARINGS DESCRIBED HEREIN BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM OF 1983(2011), NORTH CENTRAL ZONE (4202)

SEE EXHIBIT PREPARED EVEN DATE

PROJECT NO: 21017.00

BY: DANIEL CHASE O'NEAL
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6570



COMMUNITY FRAMEWORK

Birdsong West will be a continuation of the Birdsong neighborhood which is a multi-generational community where an emphasis on being able to experience a small-town environment where you know your neighbors, is balanced with the conveniences of a suburban lifestyle.

A similar variety of housing types and lot sizes will be provided to meet the needs of a complete life cycle. This mix of homes styles and sizes will be fully integrated throughout Phase 5 instead of establishing a pod-type development pattern. This will encourage a diverse community both in terms of the people and the families living in it, as well as the homes being built within it. This community design preference will also allow residents to move within the community and not have to distance themselves from family and friends as changes occur in their lives.

In keeping with the vision of Birdsong, public and private spaces are given equal importance and brought to the forefront with open spaces, a public park, and common areas interspersed throughout the neighborhood and connected with a compatible trail system. This design encourages personal interaction by families and residents in all stages of life.

SINGLE FAMILY STANDARDS

GENERAL STANDARDS

1. The design and development of the Birdsong West shall take place in general accordance with the attached Development Plan (Exhibit C), Open Space, Amenities, Trail, and Screening Plan (Exhibit D), Enhanced Entryway Plan (Exhibit E), and Building Elevations (Exhibit F).
2. Unless otherwise specified in this planned development, development within Birdsong West is governed by the Mansfield Zoning Ordinance as currently enacted at the time of approval of this ordinance by the City Council. In the event of any conflict or inconsistency between these standards and the applicable City regulations, the terms and provisions of this planned development shall apply.
3. The design and construction of the public infrastructure and utilities shall be in accordance with the City of Mansfield design standards in effect at the time of permitting.
4. In the event of conflict between the written text and the illustrations provided in this planned development, the written text contained herein shall control.
5. The maximum number of homes in Birdsong West shall be 193.
6. A minimum of 13.5% of land (7.51 AC +/-) located within Birdsong West shall be used as open space.
 - A. In order for the open space to be counted towards meeting the minimum requirement, it must be at least 0.5 acre in size or contain recreational elements (i.e. hike & bike trail, exercise equipment, etc.) as well as be readily accessible to the residents of the Birdsong community. The open space may be public or private.
 - B. If the open space is private, it shall be owned and maintained by a mandatory Homeowner Association.
 - C. Within the Common Area identified as 1-X on the Development Plan (Exhibit C), a covered pavilion and accompanying play area equipment shall be provided for the use of Homeowners Association members.

7. Homeowners Association (HOA).
 - A. A mandatory homeowners association will be responsible for the maintenance of lots owned by the (HOA), detention ponds, pavilion, play area equipment not located within a public park, trails, entryway features, screening walls and fences, master developer provided canopy trees, landscaping at the entryway and on HOA lots, all as shown on Exhibit E.
 - B. The HOA documents shall be filed in accordance with the City of Mansfield policies. These documents shall be reviewed by the City Attorney prior to filing the final plat. The documents shall be filed with the final plat at Johnson County and deemed necessary by the attorney. The documents shall be submitted in timely manner to allow for a minimum of 60 days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the subdivision or delay in approval of a building permit. The city does not accept the responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.
8. The proposed development will be in complete accordance with the provisions of the approved Planned Development District and all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

DEVELOPMENT STANDARDS

1. Uses:
 - A. Permitted uses allowed in Birdsong West shall be all principal and accessory uses which are allowed by right in the SF-7.5/18 Single Family Residential District, in accordance with the Permitted Use Table of the Mansfield Zoning Ordinance.
 - B. A Specific Use Permit shall be required for all uses otherwise requiring a Special Use Permit in the SF-7.5/18 Single Family Residential District, in accordance with the Permitted Use table of the Mansfield Zoning Ordinance.
2. The allowable lotting mix on Tract 2 shall be as follows:

<u>LOT TYPE</u>	<u>LOTS</u>		
TYPE 1	MAX	65	34%
TYPE 2		77	40%
TYPE 3	MIN	<u>51</u>	26%
TOTAL		193	

3. Single Family Detached Lot Development Standards:

DEVELOPMENT STANDARD

Lot Type	TYPE 1	TYPE 2	TYPE 3
Minimum Lot Width	50'	60'	70'
Minimum Lot Area (SQ FT)	6,000	7,200	8,400
Minimum Lot Depth	120'	120'	120'
Minimum Front Yard Setback	25'	25'	25'
Minimum Rear Yard Setback	15'	15'	15'
Minimum Side Yard Setback	5'	5'	5'
Exterior at Corner	15'	15'	15'
Minimum Dwelling Area (SQ FT)	1,800	2,200	2,400
Maximum Lot Coverage	55%	55%	55%
Maximum Height	35'	35'	35'

Note: Location of Lot Type shall be in accordance with the Development Plan.

Note: Lots on a cul-de-sac bulb or elbow may be up to 10' narrower as long as the lot area exceeds the minimum area square footage.

Note: Lots on a cul-de-sac bulb or elbow may be up to 10' shallower as long as the lot area exceeds the minimum square footage.

Note: Corner lots shall be at least 10' wider than the specified minimum lot width for each Lot Type identified above.

Note: Outdoor living areas shall have a minimum rear setback of 10' whether or not the area is covered by a roof which is integrated into the house.

Note: The minimum front yard setback may be reduced to 20' for homes with J-swing garages.

Note: The minimum dwelling area on at least 30% of homes on Type 1 lots shall be 2,000 square feet.

4. Single Family Detached Architectural Standards: Homes constructed within the Birdsong community shall comply with the architectural standards established in the Mansfield Zoning Ordinance unless otherwise indicated below.

A. Swing/Non-Front Entry Garages: A minimum of 20% of the total number of lots within the Birdsong community shall contain a J-Swing, side entry oriented (door facing a side street), or non-front entry (access to garage is from a drive interior to the lot) garage. J-Swing garages shall not be required on TYPE 1 lots.

B. Garage Doors: Garage doors may face a public street. If a garage door faces the street, the garage face may not be closer to the street than the primary façade of the home.

Garage door shall be constructed of a composite material made to have the appearance of wood.

- C. Canopy Trees: On all single-family lots, a minimum of 2, 3" caliper canopy tree shall be provided for each home, one of which may be located in the back yard.
- D. Masonry: All homes shall be constructed of at least 80% masonry materials.
- E. Front Porches: At least 20% of all homes constructed shall have front porches. Porches shall extend along a front wall, have a minimum size of 60 square feet excluding the entryway, and have a minimum depth of 6', providing ample room for furniture; the porch shall be covered and open on a minimum of two sides. Porch floors shall be wood, brick, stone, or concrete. The porches may encroach up to 10' into the front setback. The Director of Planning or their designee may administratively approve a porch that deviates from these specific requirements if it meets the overall intent of the porch requirement.
- F. Roof Materials: All homes shall be constructed with three-dimensional architectural shingles.

COMMUNITY DESIGN STANDARDS

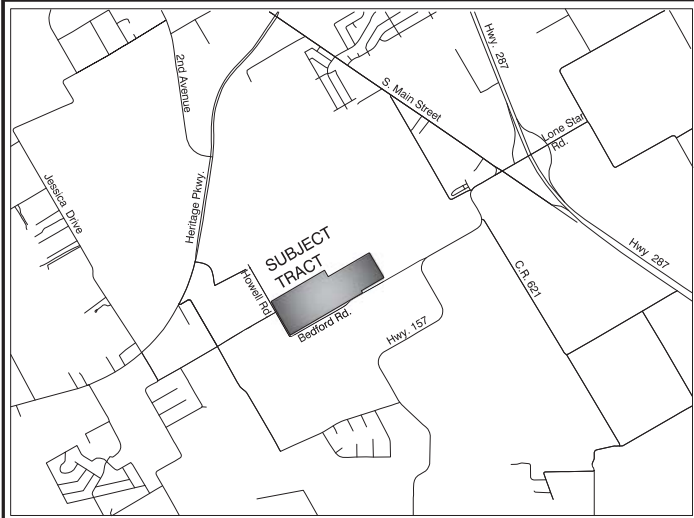
- 1. Community Buffers.
 - A. Lone Star/Bedford Road and Howell Drive:
 - 1. A minimum 20' wide landscape buffer shall be provided adjacent to the right-of-way. Berms and retaining walls may be constructed within the buffer.
 - 2. A mix of canopy and ornamental trees shall be planted within the required landscape buffer. Canopy trees shall comprise at least 33% of all tree plantings within the buffer.
 - i. Canopy Trees or Ornamental Shrubs will not be required within the Landscape Buffer beginning at the Primary Entrance on Bedford Road and continuing to the Secondary Entrance on Howell Drive.
 - 3. Ground cover may also be planted throughout the buffer. Ground cover includes, but is not limited to, shrubs, grasses, turf, mulched planter beds and hardscape.
 - 4. A minimum 6' – 8' wide, concrete trail shall be provided within the buffers along Lone Star/Bedford Road and Howell Drive. The location of the trail shall be coordinated with the gas pipeline operators, other public utilities, and any trail located within adjacent developments.
- 2. Buffer Vegetation:
 - A. Canopy Trees: Canopy trees shall be a minimum 3 caliper inches in size, measured 6" above the planting surface, and 7' in height at the time of planting.

Canopy trees shall have a minimum crown spread of 25' at maturity.
 - B. Ornamental Trees: Ornamental trees shall be a minimum 1 caliper inch in size, measured 6" above planting surface at the time of planting.

Ornamental trees shall have a minimum crown spread of 15' at maturity.

Ornamental trees having a mature crown spread of less than 15' may be substituted by grouping the trees to create the equivalent crown spread of 15'.

- C. Shrubs: Shrubs shall be a minimum 3 gallons in size at the time of planting and shall attain a minimum height of 3' within two growing seasons.
 - D. As per Exhibit D, the existing tree line along the northern boundary of the development shall be preserved.
 - E. Within the Detention Area identified as Lot 20-X on Exhibit C, a mix of Canopy Trees and Ornamental Shrubs will be required to provide additional live screening.
 - F. All landscaping shall be provided in accordance with an approved landscape plan prior to acceptance of the subdivision by the City except as follows. During times of drought or water emergency response stages, or inappropriate season for the plant material, (i.e. Ornamental tree in August or Agave in January) the Planning Director or his/her designee may grant permission to delay the installation of the required landscaping for up to 6 months.
- 3. Irrigation: Landscape buffer shall be irrigated with irrigation systems. Tree and shrubs shall be irrigated by drip irrigation lines. Other landscaping may be irrigated by spray irrigation.
 - 4. Perimeter Screening:
 - 1. Lone Star/Bedford Road and Howell Drive:
 - 1. Screening where lots back or side: Minimum 6' tall and maximum 8' tall brick or stone screening wall.
 - 2. Where open spaces are adjacent to the road, ornamental metal or split rail fencing shall be provided.
 - 3. Lots siding to Primary and Secondary entrances into the development shall include wood fences with masonry columns.
 - 5. Neighborhood Entry Features: Architectural features on masonry walls or masonry monuments shall be located at the primary and secondary entrance for Birdsong West. The general design of which shall correspond with Exhibit E. Entry features and/or community signage may be lighted.

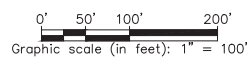


LOCATION MAP

N.T.S.



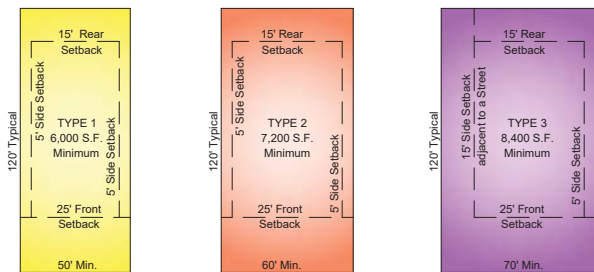
- NOTES:
- (1) A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF LOTS OWNED BY THE (HOA), DETENTION PONDS, PAVILION, PLAY AREA EQUIPMENT NOT LOCATED WITHIN A PUBLIC PARK, TRAIL, ENTRYWAY FEATURES, SCREENING WALLS AND FENCES, MASTER DEVELOPER PROVIDED CANOPY TREES, LANDSCAPING AT THE ENTRYWAY AND ON HOA LOTS, ALL AS SHOWN ON EXHIBIT E.
 - (2) THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.
 - (3) THE DESIGN AND CONSTRUCTION OF THE PUBLIC INFRASTRUCTURE AND UTILITIES SHALL BE IN ACCORDANCE WITH THE CITY OF MANSFIELD DESIGN STANDARDS IN EFFECT AT THE TIME OF PERMITTING.
 - (4) IF THIS DEVELOPMENT OCCURS PRIOR TO FM 157 BEING IN PLACE, ROADWAY IMPROVEMENTS MAY BE REQUIRED TO BEDFORD ROAD AND HOWELL DRIVE TO BRING THE ROADWAY UP TO FIRE DEVELOPMENT STANDARDS (24' WIDE ASPHALT ROADWAY).



NEIGHBORHOOD DATA

Lot Type	Phase One	Phase Two	Total	
1	33	32	65	34%
2	45	32	77	40%
3	28	23	51	26%
	106	87	193	

Density 193Lots/55.899 acres = 3.45 units per Acre



TYPICAL LOT DETAILS

N.T.S.

EXHIBIT C
ZC#21-010
DEVELOPMENT PLAN
BIRDSONG WEST

55.899 ACRES SITUATED IN THE
193 TOTAL LOTS
A. BEDFORD SURVEY, ABSTRACT No. 60
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS

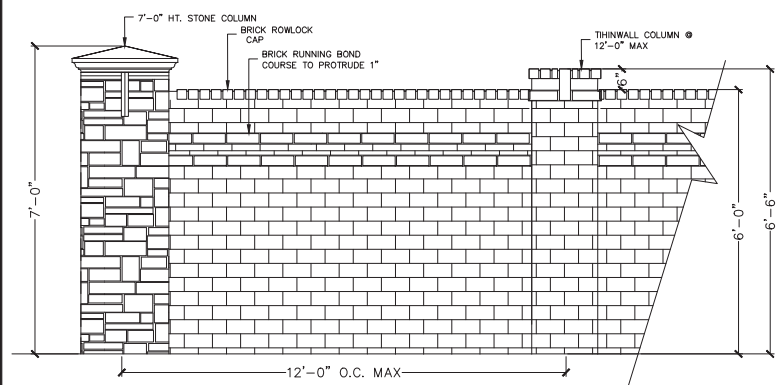
~ OWNER ~
WILLIAM TROY SELLS
1046 NEWT PATTERSON ROAD, MANSFIELD, TX 76063

~ ENGINEER ~
ENGINEERING CONCEPTS & DESIGN L.P.
ENGINEERING / SURVEYING / PROJECT MANAGEMENT
201 WINDCO CIRCLE, SUITE 200 WYLLIE, TX 75098
(972) 941-8400 todd@ecdip.com

~ DEVELOPER ~
ALLUVIUM DEVELOPMENT
320 HAWKINS RUN ROAD, SUITE 3, MIDLOTHIAN, TX 76065
(817) 995-9500 tjobe@alluviumdevelopment.com

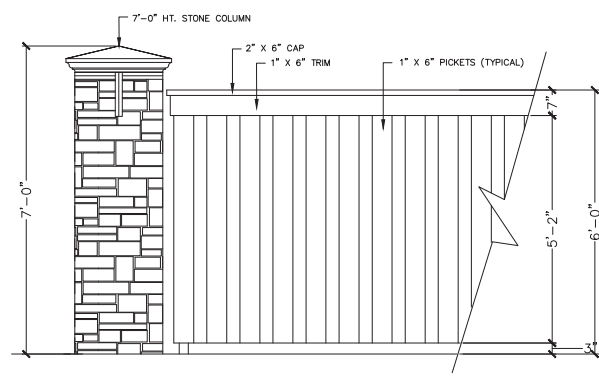
AUGUST 31, 2021

SHEET 1 OF 1



DETAIL 'A'

6' Masonry Wall with Stone Column's



DETAIL 'B'

6' Wood Fence with Stone Column's



EXHIBIT D
ZC#21-010
OPEN SPACE, TRAIL & SCREENING PLAN
BIRDSONG WEST
55.899 ACRES SITUATED IN THE
193 TOTAL LOTS
A. BEDFORD SURVEY, ABSTRACT No. 60
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS
~ OWNER ~
WILLIAM TROY SELLS
1048 NEWT PATTERSON ROAD, MANSFIELD, TX 76063

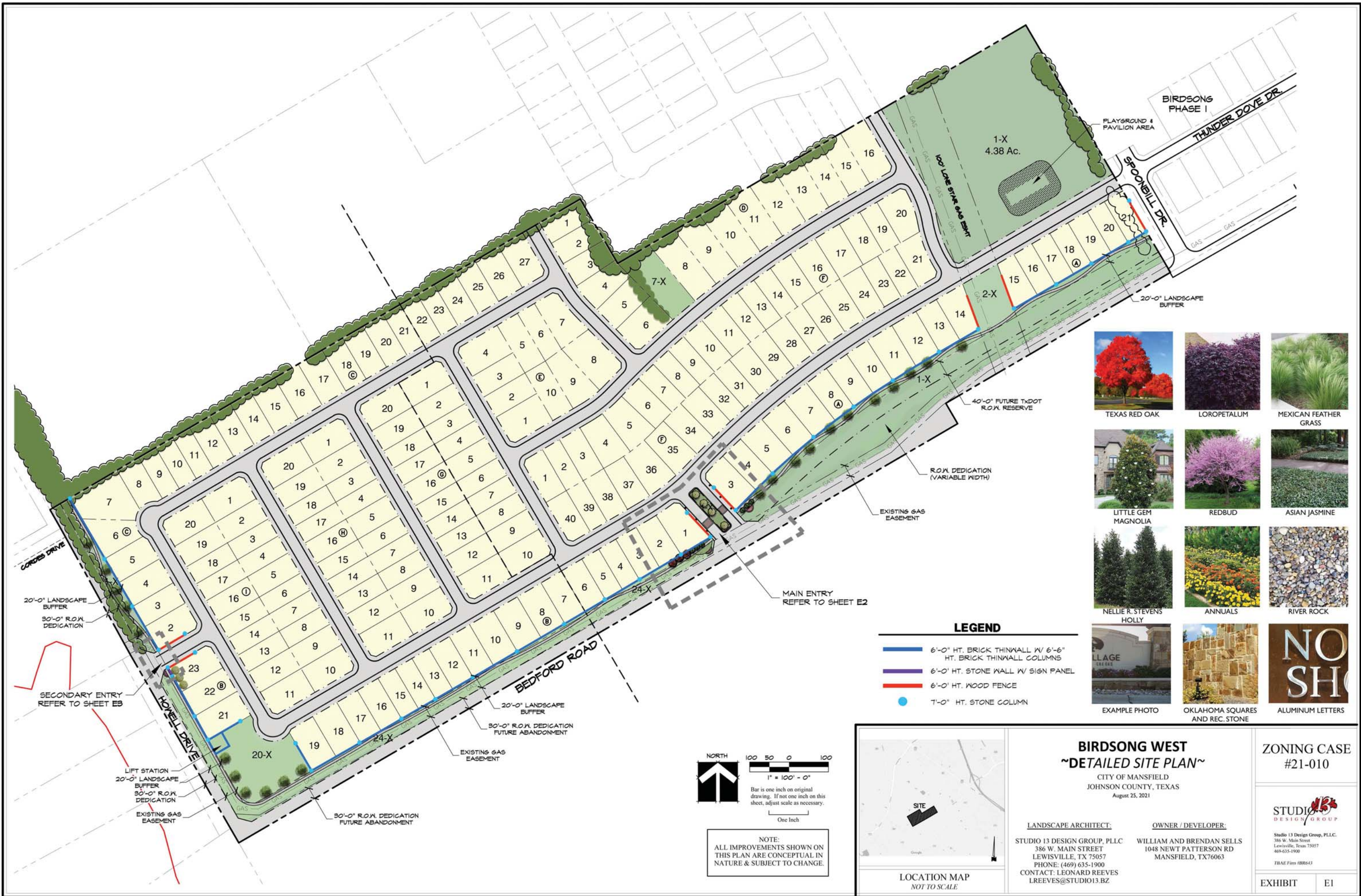
~ ENGINEER ~
ENGINEERING CONCEPTS & DESIGN L.P.
ENGINEERING / SURVEYING / PROJECT MANAGEMENT
201 WINDCO CIRCLE, SUITE 200 WYLER, TX 75098
(972) 941-8400 todd@ecdip.com

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ALLUVIUM DEVELOPMENT
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AUGUST 31, 2021

SHEET 1 OF 1

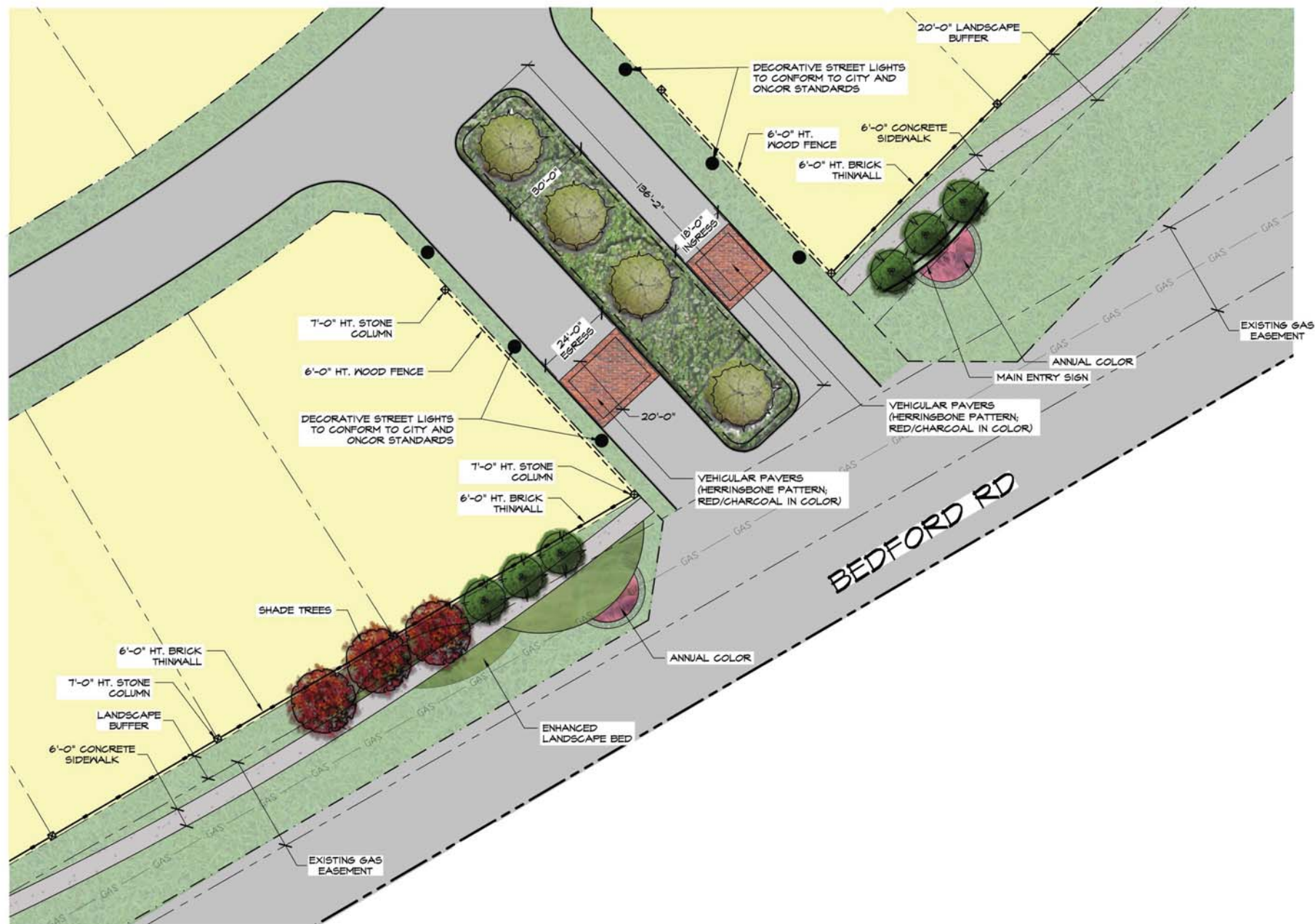
08121 56 AC on Bedford Rd in Mansfield.dwg\plan\08121 Open Space Trail Wall Plan.dwg





1 MAIN ENTRY SIGN

SCALE: 1/2" = 1'-0"



2 MAIN ENTRY

SCALE: 1" = 20'-0"

NOTE:
ALL IMPROVEMENTS SHOWN ON
THIS PLAN ARE CONCEPTUAL IN
NATURE & SUBJECT TO CHANGE.



LOCATION MAP
NOT TO SCALE

BIRDSONG WEST ~DETAILED SITE PLAN~

CITY OF MANSFIELD
JOHNSON COUNTY, TEXAS
August 25, 2021

LANDSCAPE ARCHITECT:
STUDIO 13 DESIGN GROUP, PLLC
386 W. MAIN STREET
LEWISVILLE, TX 75057
PHONE: (469) 635-1900
CONTACT: LEONARD REEVES
LREEVES@STUDIO13.BZ

OWNER / DEVELOPER:
WILLIAM AND BRENDAN SELLS
1048 NEWT PATTERSON RD
MANSFIELD, TX 76063

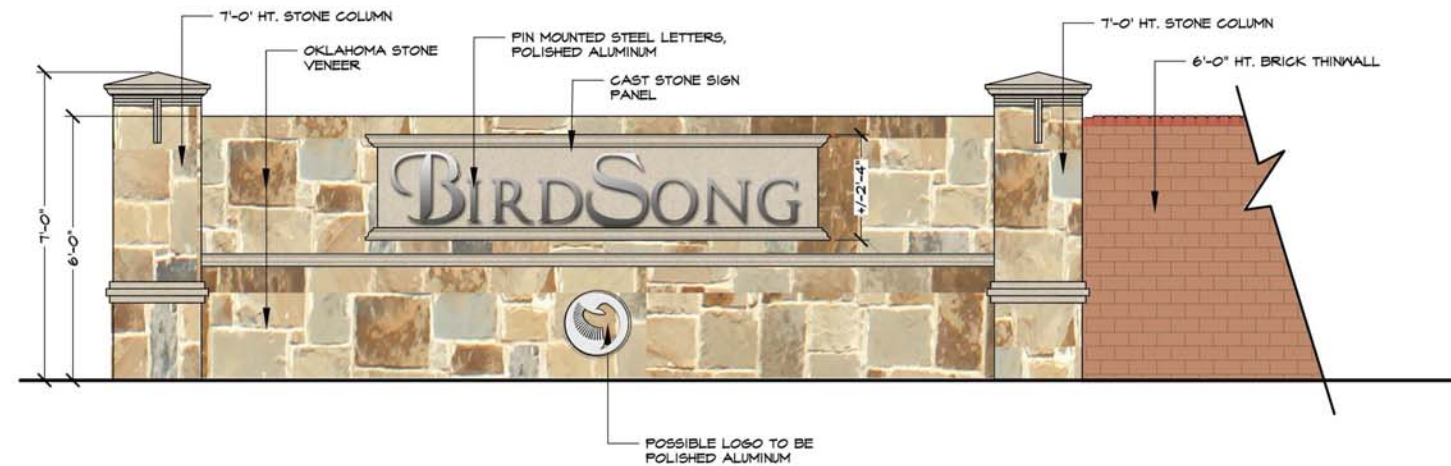
ZONING CASE
#21-010

STUDIO
DESIGN GROUP

Studio 13 Design Group, PLLC
386 W. Main Street
Lewisville, Texas 75057
469-635-1900
TBAE Firm #BR643

EXHIBIT

E2



1 SECONDARY SIGN

SCALE: 1/2" = 1'-0"



2 SECONDARY ENTRY

SCALE: 1" = 10'-0"

NOTE:
ALL IMPROVEMENTS SHOWN ON
THIS PLAN ARE CONCEPTUAL IN
NATURE & SUBJECT TO CHANGE.



BIRDSONG WEST ~DETAILED SITE PLAN~

CITY OF MANSFIELD
JOHNSON COUNTY, TEXAS
August 25, 2021

LANDSCAPE ARCHITECT:
STUDIO 13 DESIGN GROUP, PLLC
386 W. MAIN STREET
LEWISVILLE, TX 75057
PHONE: (469) 635-1900
CONTACT: LEONARD REEVES
LREEVES@STUDIO13.BZ

OWNER / DEVELOPER:
WILLIAM AND BRENDAN SELLS
1048 NEWT PATTERSON RD
MANSFIELD, TX 76063

ZONING CASE
#21-010

STUDIO 13
DESIGN GROUP

Studio 13 Design Group, PLLC,
386 W. Main Street
Lewisville, Texas 75057
469-635-1900
TBAE Firm #BR643

EXHIBIT

E3



Note: Images are representative products to illustrate general architectural design intent.



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