CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda - Final

Planning and Zoning Commission

Monday, September 20, 2021 | **6:00 PM** | **City Hall Council Chambers**

1. CALL TO ORDER

3. APPROVAL OF MINUTES

21-4304 Minutes - Approval of the September 7, 2021 Planning and Zoning Commission Meeting Minutes

Attachments: Meeting Minutes for 09-07-2021.pdf

21-4305 Minutes - Approval of the September 13, 2021 Planning and Zoning Commission Meeting Minutes

Attachments: Meeting Minutes for 09-13-2021.pdf

4. CITIZENS COMMENTS

Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from "personal criticisms".

In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

6. PUBLIC HEARINGS

21-4274 SUP#21-006: Continuation of public hearing and consideration of a request for a Specific Use Permit for an Auto Rental on approximately 2.754 acres being Lot 5, Block 1, Mansfield Commons located at 990 N US 287; The Commons at Walnut Creek 18, Owner; Avis Budget, proposed tenant/applicant

Attachments: Maps and Supporting Information.pdf
Exhibit A - Property Description.pdf
Exhibit B - Site Plan and Narrative.pdf
Exhibit C - Elevations .pdf
Exhibit D - Sign Plan.pdf
Applicant's Request to Table.pdf

21-4299 ZC#21-013: Public hearing for a change of zoning from SF-7.5/12, Single-Family Residential and C-1, Neighborhood Business Districts to PD, Planned Development District for a church and other church related facilities, a pre-school, day care, education, coffee shop, eating place without drive-through service and other OP uses as allowed on approximately 10.97 acres, being Lot 1R1, Block 1, Bethlehem Baptist Church Addition and a 0.1 acre tract situated in the T.J. Hanks Survey, Abstract No. 644, City of Mansfield, Tarrant Co. TX, addressed at 1188 W Broad Street; Shank Architects, architect and Bethlehem Baptist Church, owner

Attachments: Maps and Supporting Information.pdf
Exhibit A.pdf
Exhibits B through E.pdf

21-4301 ZC#21-008: Public hearing on a change of zoning from PR, Pre-Development District to PD, Planned Development District for Single-Family Residential Uses on approximately 11.76 acres out of the J. McDonald Survey, Abstract No. 997, generally located west of the Union Pacific railroad track, east of St Giles Drive and Cancun Drive, and approximately 120 feet north of Alpine Industrial Rd on property addressed at 6239 Newt Patterson Road; Testudo Land LLC, owner, Bayley Yandell Development LTD, developer and MMA, engineer

Attachments: Maps and Supporting Information.pdf
EXHIBIT A.pdf
EXHIBIT B.pdf
EXHIBIT C.pdf

21-4293 OA#21-0021: Public hearing to consider a zoning change from various districts to D, Downtown District and Amending the Mansfield Code of Ordinances by Amending Special Purpose District Regulations and Creating a New Section 155.071 "Form-Based Code Districts" and Section 155.072 "D, Downtown District". The amendments necessary also including Amending Certain Sections Necessary to Enable the D, Downtown District and Repealing C-4 Downtown District and All References Related Thereto.

Attachments: OA#21-001 DRAFT Ordinance D, Downtown District.pdf
Exhibit A.pdf
Exhibit B.pdf
Exhibit C.pdf
Exhibit D.pdf
Exhibit E.pdf
Map, Existing Zoning.pdf

9. SUMMARY OF CITY COUNCIL ACTIONS

10. COMMISSION ANNOUNCEMENTS

11. STAFF ANNOUNCEMENTS

12. ADJOURNMENT OF MEETING

13. NEXT MEETING DATE: Monday, October 4, 2021

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on September 16,2021 in accordance with Chapter 551 of the Texas Government Code.

_____
Jennifer Johnston, Development Coordinator

* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.

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STAFF REPORT

File Number: 21-4304

Agenda Date: 9/20/2021 **Version:** 1 **Status:** Approval of Minutes

In Control: Planning and Zoning Commission **File Type:** Meeting Minutes

Title

Minutes - Approval of the September 7, 2021 Planning and Zoning Commission Meeting Minutes

Description/History

The minutes of the September 7, 2021 Planning and Zoning Commission meeting are in DRAFT form and will not become effective until approved by the Board at this meeting.

CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Minutes - Draft

Planning and Zoning Commission

Tuesday, September 7, 2021 | **6:00 PM** | **City Hall Multipurpose Room**

1. CALL TO ORDER

Chairman Knight called the meeting to order at 6:00 p.m. in the Multipurpose Room of City Hall of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving the date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Staff:
Joe Smolinski, City Manager
Jason Alexander, Director of Planning
Arty Wheaton-Rodriguez, Assistant Director of Planning
Andrew Bogda, Planner
Shirley Emerson, Planner
Jennifer Johnston, Development Coordinator

Commissioner:

Absent 1 - David Goodwin

Present 6 - Anne Weydeck;Blake Axen;Kent Knight;Stephen Groll;Justin Gilmore and Michael Mainer

2. APPROVAL OF MINUTES

21-4270 Minutes - Approval of the August 16, 2021 Planning and Zoning Commission Meeting Minutes

Commissioner Groll made a motion to approve the August 16, 2021 minutes as presented. Commissioner Weydeck seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; Justin Gilmore and Michael Mainer

Nay: 0

Absent: 1 - David Goodwin

Abstain: 0

3. CITIZENS COMMENTS

None

4. CONSENT AGENDA

21-4271 SD#21-040: Final Plat of Lots 3, 4, 5 and 6, Block 1, Long Estates, being 3.563 acres located at 4525 E. Broad Street; Coombs Land Surveying, surveyor, and Felix Wong on behalf of Hiep Duc Tran and Hanh Thu Nguyen, owners

Commissioner Mainer made a motion to approve the plat as presented.
Vice-Chairman Axen seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; Justin Gilmore and Michael Mainer

Nay: 0

Absent: 1 - David Goodwin

Abstain: 0

21-4272 SD#21-034: Final Plat of Lots 1 and 2, Block 1, Regency Addition on 6.102 acres located at 76 Regency Parkway; Realsearch of Texas, LLC, surveyor; Texas E.R. Medical Billing, Inc., owner

Commissioner Mainer made a motion to approve the plat as presented.
Vice-Chairman Axen seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; Justin Gilmore and Michael Mainer

Nay: 0

Absent: 1 - David Goodwin

Abstain: 0

5. PUBLIC HEARINGS

21-4273

SD#21-041: Public Hearing on a Final Plat of Easy Drive Business Park being a revision of Lot 1, McAnier Addition and a 2.117 acre unplatted tract situated in the Elizabeth McAnier Survey, Abstract No. 571, for a total of approximately 4.330 acres; Altar Holdings, LLC, owner; G.A. Dixon Associates, engineer; Coombs Land Surveying, Inc., surveyor

Mr. Wheaton-Rodriguez was available for questions.

Chairman Knight opened the public hearing at 6:04 pm and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Knight closed the public hearing at 6:04pm.

Vice-Chairman Axen made a motion to approve the plat as presented. Commissioner Gilmore seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; Justin Gilmore and Michael Mainer

Nay: 0

Absent: 1 - David Goodwin

Abstain: 0

21-4274

SUP#21-006: Public hearing and consideration of a request for a Specific Use Permit for an Auto Rental on approximately 2.754 acres being Lot 5, Block 1, Mansfield Commons located at 990 N US 287; The Commons at Walnut Creek 18, Owner; Avis Budget, proposed tenant/applicant

Ms. Emerson gave a presentation and was available for questions.

Jeff Wagner, Avis Budget representative, gave a presentation and was available for questions.

Chairman Knight opened the public hearing at 6:15 pm and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Knight closed the public hearing at 6:15 pm.

After discussion, Commissioner Groll made a motion to table this matter until the September 20th meeting. Commissioner Weydeck seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; Justin Gilmore and Michael Mainer

Nay: 0

Absent: 1 - David Goodwin

Abstain: 0

21-4275

SUP#21-005: Public hearing for a request for a Specific Use Permit for a gasoline service station on approximately 1.168 acres known as Lot 1, Block 1 of Bridges Addition and Lot 1, Block 1 of English Park Addition, located at 1901 & 1911 FM 157; Cody Moore of CEI Engineering, Inc. (engineer) and Devan Pharis of Estacado Interests, LLC (developer) on behalf of Khawaja Haque of Hawk's Pantry Inc. and Anis G. & Nadia Khalil (owners)

Mr. Bogda gave a presentation and was available for questions.

Devan Pharis of Estacado Interest, LLC, gave a presentation and was available for questions.

Chairman Knight opened the public hearing at 6:54pm and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Knight closed the public hearing at 6:54pm.

After some discussion, Commissioner Gilmore made a motion to approve the Specific Use Permit with the staff recommendation of: as required by Chapter 155.092 (M) of the City's Code of Ordinances, the developer shall provide a central feature or community space in the form of a patio/seating area or plaza with benches on the north side of the convenience store, to be approved by the Director of Planning. Vice-Chairman Axen seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; Justin Gilmore and Michael Mainer

Nay: 0

Absent: 1 - David Goodwin

Abstain: 0

21-4276

SUP#20-006: Public hearing for a request for a Specific Use Permit for a gasoline service station on approximately 1.483 acres known as Lot 1, Block 2, Newport Addition, located at 2919 N. Main St.; Cody Brooks of Bannister Engineering, LLC (engineer), Jack Romigh of Knight Group Architects (architect), and Mark Feuling of Turnkey Construction and Development Group (developer) on behalf of Akram H. Chowdhury (owner)

Mr. Bogda provided a request from the applicant that the case be table until October 4, 2021. Mr. Bogda was available for questions.

Chairman Knight opened the public hearing at 7:11 pm and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Knight closed the public hearing at 7:12pm

Vice-Chairman Axen made a motion to table the case until October 4, 2021. Commissioner Gilmore seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; Justin Gilmore and Michael Mainer

Nay: 0

Absent: 1 - David Goodwin

Abstain: 0

21-4277

ZC#21-010: Public hearing for a change of zoning from PR, Pre-Development District to PD, Planned Development District for single-family residential uses on approximately 55.899 acres out of the A. Bedford Survey, Abstract No. 60, Johnson County, TX, located at 2695 Howell Dr.; Sam Satterwhite of Engineering Concepts & Design, L.P. (engineer) and Terrance Jobe of Alluvium Development (developer) on behalf of William Troy and Brenda Sells Revocable Trust (owner)

Mr. Bogda gave a presentation and was available for questions.

Todd Winters, of Engineering Concepts L.P., was available for questions

Terrance Jobe, of Alluvium Development, was available for questions.

Chairman Knight opened the public hearing at 7:26 pm and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Knight closed the public hearing at 7:27 pm

After some discussion, Commission Groll made a motion to approve the Zoning Change with staff recommendations and the request that staff and applicants work to together to come to provide a cohesive plan. Commissioner Gilmore seconded the motion which carried by the following vote:

Aye: 5 - Blake Axen; Kent Knight; Stephen Groll; Justin Gilmore and Michael Mainer

Nay: 1 - Anne Weydeck

Absent: 1 - David Goodwin

Abstain: 0

6. COMMISSION ANNOUNCEMENTS

None

7. STAFF ANNOUNCEMENTS

Planning Director Jason Alexander advised the Commission of the following:

•SUP#21-003 Gallus Detox was approved
•OA #21-002 Smoking Ordinance 1st reading was approved.
•There will be a joint session with City Council for P&Z on September 13th at 5 pm in reference to the Downtown re-zoning.

City Manager Joe Smolinski also addressed the P&Z Commission on the joint session with City Council.

8. ADJOURNMENT OF MEETING

Commissioner Weydeck made a motion to adjourn the meeting.
Commissioner Groll seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; Justin Gilmore and Michael Mainer

Nay: 0

Absent: 1 - David Goodwin

Abstain: 0

With no further business, Chairman Knight adjourned the meeting at 8:25 p.m.

_____
Kent Knight, Chairman

_____
Jennifer Johnston, Development Coordinator

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STAFF REPORT

File Number: 21-4305

Agenda Date: **Version:** 1 **Status:** Approval of Minutes

In Control: Planning and Zoning Commission **File Type:** Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the September 13, 2021 Planning and Zoning Commission Meeting Minutes

Description/History

The minutes of the September 13, 2021 Planning and Zoning Commission meeting are in DRAFT form and will not become effective until approved by the Board at this meeting.

Joint Worksession with the Mansfield City Council
to Discuss the Downtown District and Downtown Rezoning
September 13, 2021

The worksession was called to order at 5:12 p.m. in the Multipurpose Room of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving the date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Present:

Kent Knight	Chairman
Blake Axen	Vice-Chairman
Stephen Groll	Commissioner
Justin Gilmore	Commissioner
Michael Mainer	Commissioner
Anne Weydeck	Commissioner
David Goodwin	Commissioner

City Council:

Michael Evans	Mayor
Tamera Bounds	Council Member
Mike Leyman	Council Member
Casey Lewis	Council Member
Julie Short	Council Member
Todd Tonore	Mayor Pro Tem
Larry Broseh	Council Member

Staff:

Joe Smolinski	City Manager
Shelly Lanners	Deputy City Manager
Matt Jones	Assistant City Manager
Troy Lestina	Chief Financial Officer
Jason Alexander	Director of Planning
Arty Wheaton-Rodriguez	Assistant Director of Planning
Susana Marin	City Secretary
Keera Seiger	Assistant City Secretary
Jennifer Johnston	Development Coordinator
Allen Taylor	City Attorney

Call to Order

Mayor Evans called the meeting to order at 5:12 p.m.

Discussion Item

Jason Alexander, Director of Planning, gave a PowerPoint presentation outlining the proposed Downtown District regulations and the rezoning process.

Mr. Alexander opened the discussion for City Council and the Planning and Zoning Commission.

Mayor Evans thanked the Planning and Zoning Commission for attending the joint session to align the Council's and Commission's goals for the Downtown District.

Mr. Alexander and Mr. Wheaton-Rodriguez provided clarifying dialogue to the presentation.

Mayor Evans adjourned the meeting at 6:05 p.m.

_____
Kent Knight, Chairman

_____
Jennifer Johnston, Development Coordinator

CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
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STAFF REPORT

File Number: 21-4274

Agenda Date: 9/20/2021 **Version:** 2 **Status:** Public Hearing

In Control: Planning and Zoning Commission **File Type:** Zoning Case

Agenda Number:

Title

SUP#21-006: Continuation of public hearing and consideration of a request for a Specific Use Permit for an Auto Rental on approximately 2.754 acres being Lot 5, Block 1, Mansfield Commons located at 990 N US 287; The Commons at Walnut Creek 18, Owner; Avis Budget, proposed tenant/applicant

Description/History

Existing Use: Multi-tenant retail building

Existing Zoning: C-2, Community Business District

Surrounding Land Use & Zoning:
North - Country Club Drive; gas station, retail and restaurants, C-2
South - Retail, restaurants, and parking lot, C-2
East -Retail, restaurants, and parking lot, C-2
West - Retail, restaurants, and parking lot, C-2

Request to Table
The applicant is working with the property owner to find a solution to the concerns of the Planning and Zoning Board. The applicant submitted a letter of request to table the case until the October 18, 2021 meeting.

Comments and Considerations
The applicant is proposing a car rental office and vehicle storage in the existing shopping center at 990 N US 287 Suite 108. This will be a full service car rental facility servicing both commercial accounts and leisure customers. The location will be a pickup/drop off location with approximately ten cars on site at a time. Vehicles will be dropped off in the parking lot awaiting customers to pick them up. At the end of the rental period, the vehicles will be dropped off in the parking lot, the interior of the vehicles will be cleaned and wait to be picked up and transported to another location.

Property
The applicant is requesting a Specific Use Permit (SUP) for an Avis Budget Car Rental office and vehicle storage. The building is a large multi-tenant building. The proposed business will occupy a suite with an area of approximately 1,225 square feet formerly occupied by Sign-a-Rama. The existing building meets the C-2 requirements for parking and landscaping. The parking spaces the
applicant has specified on Exhibit B are the main parking spaces for the existing

businesses.

Recommendation

The subject property is located in the C-2 Community Business District, which allows for an Auto Rental use with a Specific Use Permit. The Zoning Ordinance specifies that a Specific Use Permit shall only be issued if all seven conditions have been met; staff does not believe that all conditions have been met.

Condition 1 specifies "That the specific use permit will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values within the immediate vicinity." Staff determines that this is a prominent shopping center in the City and that an auto rental use is not the highest and best use for this location.

Condition 4 specifies "The design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments". The business will use ten or more parking spaces for vehicles waiting to be picked up as well as parking spaces for employees. Vehicles that are being returned will be parked until the interior can be cleaned and then continue to use those spaces until they can be picked up and moved to another location. Parking at this site was established for customer use and not for the overnight storage and cleaning of vehicles. Staff determines the location of the vehicle storage will be visually unappealing and has the potential to become a nuisance to surrounding businesses as it is not separated from the existing parking for the commercial complex.

The applicant has stated in their narrative that no more than ten cars will be at this location at a time. Depending on the amount of business, staff believes they could potentially have more vehicles at any given time. It would be very difficult for Code Compliance to document and enforce the amount of cars coming and going in order to enforce this regulation.

Staff recommends denial of the proposed SUP.

Attachments:

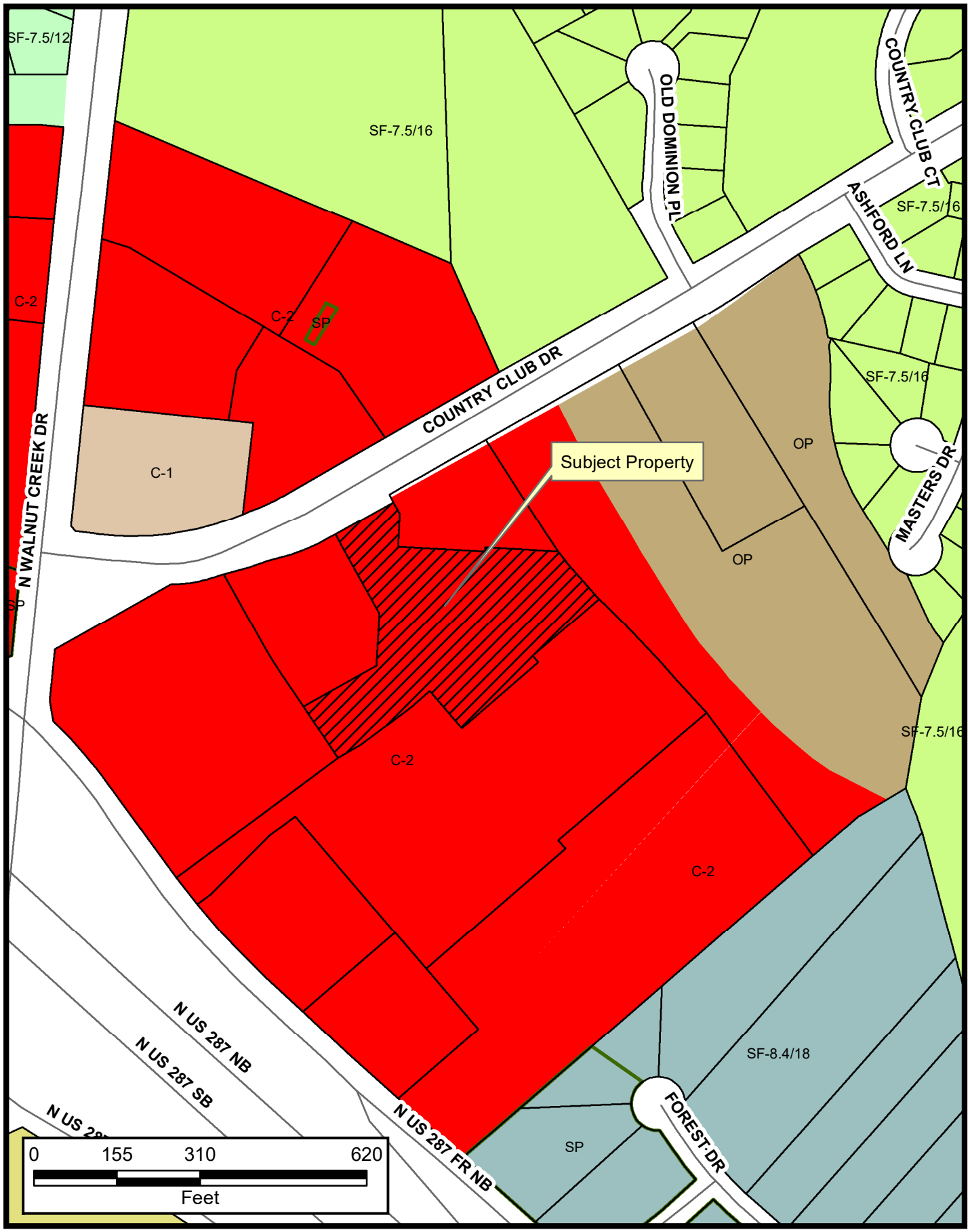
Maps and supporting information
Exhibit A - Property Description
Exhibit B - Site Plan and Narrative
Exhibit C -Elevations
Exhibit D - Sign Plan
Applicant's Request to Table

MANSFIELD TEXAS

SUP#21-006

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

8/24/2021



MANSFIELD TEXAS

SUP#21-006

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

8/24/2021

Property Owner Notification for SUP#21-006

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
MANSFIELD COMMONS ADDITION	LOT 1	CHAVEZ BROTHERS INC	12817 WHISPER WILLOWS DR	HASLET, TX	76052
MANSFIELD COMMONS ADDITION	LOT 4	THE COMMONS AT WALNUT CREEK 18	12411 VENTURA BLVD	STUDIO CITY, CA	91604
MANSFIELD COMMONS ADDITION	LOT 5	THE COMMONS AT WALNUT CREEK 18	12411 VENTURA BLVD	STUDIO CITY, CA	91604
MANSFIELD COMMONS ADDITION	LOT 6	JK COUNTRY CLUB LLC	1114 SEMINARY DR	FORT WORTH, TX	76115
MANSFIELD COMMONS ADDITION	LOT 7	THE COMMONS AT WALNUT CREEK 18	12411 VENTURA BLVD	STUDIO CITY, CA	91604
MANSFIELD COMMONS ADDITION	LOT 8	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
MANSFIELD NATIONAL SUBDIVISION	BLK 1	OVERTON BANK & TRUST NA	111 W HOUSTON ST FL 11	SAN ANTONIO, TX	78205
WALNUT CREEK CORNER ADDN	BLK 1	CCSC PARTNERS LLC	835 E LAMAR STE 215	ARLINGTON, TX	76011
WALNUT CREEK CORNER ADDN	BLK 1	ISLAND HARBOR HOUSE INC	5 MOTLEY AVE	STATEN ISLAND, NY	10314
WALNUT CREEK CORNER ADDN	BLK 1	EDLOFT LLC	260 S LOS ROBLES AVE STE 212	PASADENA, CA	91101-3625

SUP#21-006
Exhibit A

BEING A TRACT OF LAND LOCATED IN THE J. R. WORRALL SURVEY, ABSTRACT NO. 1736, TARRANT COUNTY, TEXAS, BEING ALL OF LOT 5, MANSFIELD COMMONS, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET A, SLIDE 6770, PLAT RECORDS, TARRANT COUNTY, TEXAS (P.R.T.C.T.), AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC" IN THE SOUTH RIGHT-OF-WAY LINE OF COUNTRY CLUB DRIVE (VARIABLE WIDTH RIGHT-OF-WAY), SAID IRON ROD BEING THE MOST NORTHERLY NORTHWEST CORNER OF SAID LOT 5 AND THE NORTHEAST CORNER OF LOT 6 OF SAID MANSFIELD COMMONS;

THENCE N 61°00'13" E, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID COUNTRY CLUB DRIVE, A DISTANCE OF 123.58 FEET TO A "X" CUT FOUND, BEING THE NORTH CORNER OF SAID LOT 5 AND IN A WEST LINE OF LOT 7 OF SAID MANSFIELD COMMONS;

THENCE DEPARTING THE SOUTH RIGHT-OF-WAY LINE OF SAID COUNTRY CLUB DRIVE AND ALONG THE WEST LINE OF SAID LOT 7 AS FOLLOWS:

1) S 28°59'47" E, A DISTANCE OF 30.59 FEET TO A "X" CUT FOUND;

2) S 03°04'29" W, A DISTANCE OF 62.32 FEET TO A "X" CUT FOUND, BEING THE SOUTHWEST CORNER OF SAID LOT 7;

THENCE ALONG THE SOUTH LINE OF SAID LOT 7 AS FOLLOWS:

1) S 86°55'31" E, A DISTANCE OF 162.44 FEET TO A "X" CUT FOUND;

2) S 03°04'29" W, A DISTANCE OF 7.50 FEET TO A "X" CUT FOUND;

3) S 86°55'31" E, A DISTANCE OF 149.82 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE NORTHEAST CORNER OF SAID LOT 5, THE SOUTHEAST CORNER OF SAID LOT 7, IN THE WEST LINE OF LOT 8 OF SAID MANSFIELD COMMONS, AND BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHEASTERLY, AN ARC LENGTH OF 90.31 FEET ALONG THE WEST LINE OF SAID LOT 8 AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 699.36 FEET, A DELTA ANGLE OF 07°23'54", AND A CHORD BEARING OF S 41°54'15" E, 90.24 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE EAST CORNER OF SAID LOT 5 AND THE MOST NORTHERLY NORTH CORNER OF LOT 4 OF SAID MANSFIELD COMMONS;

THENCE DEPARTING THE SOUTHWEST LINE OF SAID LOT 8 AND ALONG THE NORTHWEST LINE OF SAID LOT 4 AS FOLLOWS:

1) S 49°17'18" W, A DISTANCE OF 163.07 FEET TO A "X" CUT FOUND;

2) S 40°42'42" E, A DISTANCE OF 15.61 FEET TO A POINT;

3) S 49°17'18" W, A DISTANCE OF 188.12 FEET TO A “X” CUT FOUND;

4) N 40°42'42" W, A DISTANCE OF 91.17 FEET TO A “X” CUT FOUND;

5) S 49°17'18" W, A DISTANCE OF 52.40 FEET TO A “X” CUT FOUND;

6) S 53°39'55" W, A DISTANCE OF 111.98 FEET TO A “X” CUT FOUND;

7) S 59°50'34" W, A DISTANCE OF 47.78 FEET TO A “X” CUT FOUND, BEING THE MOST WESTERLY SOUTHWEST CORNER OF SAID LOT 5 AND THE EAST CORNER OF LOT 1, BLOCK 1, MANSFIELD NATIONAL SUBDIVISION, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 388-152, PAGE 57, P.R.T.C.T.;

THENCE N 33°54'16" W, ALONG THE NORTHEAST LINE OF SAID LOT 1, A DISTANCE OF 115.50 FEET TO A 1/2” IRON ROD FOUND WITH A CAP STAMPED “WIER & ASSOC INC”, BEING THE MOST SOUTHERLY NORTHWEST CORNER OF SAID LOT 5 AND THE SOUTH CORNER OF SAID LOT 6;

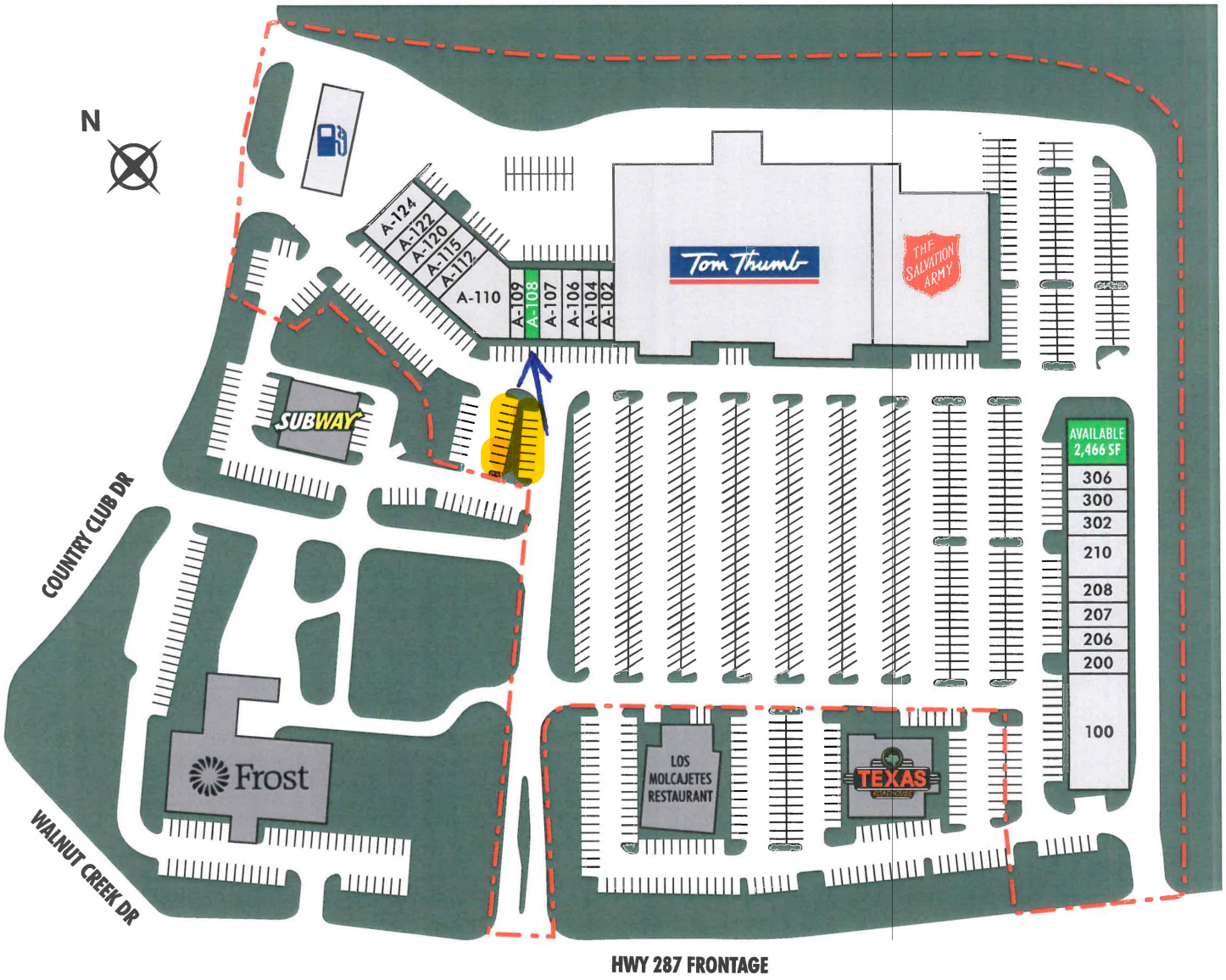
THENCE N 61°00'13" E, DEPARTING THE NORTHEAST LINE OF SAID LOT 1 AND ALONG THE SOUTHEAST LINE OF SAID LOT 6, A DISTANCE OF 155.78 FEET TO A 1/2” IRON ROD FOUND WITH A CAP STAMPED “WIER & ASSOC INC”;

THENCE N 03°03'30" E, ALONG THE EAST LINE OF SAID LOT 6, A DISTANCE OF 98.30 FEET TO A 1/2” IRON ROD FOUND WITH A CAP STAMPED “WIER & ASSOC INC”;

THENCE N 28°59'47" W, ALONG THE NORTHEAST LINE OF SAID LOT 6, A DISTANCE OF 168.36 FEET TO THE PLACE OF BEGINNING AND CONTAINING 2.726 ACRES (118,735 SQUARE FEET) OF LAND, MORE OR LESS.

FOR LEASE | THE COMMONS AT WALNUT CREEK | 980 HWY 287 N (SEC US 287 & N WALNUT CREEK DR), MANSFIELD, TX 76063

SUITE	TENANT	SF
A102	Star Nails	1,050
A104	Great Clips	1,400
A106	The UPS Store	1,400
A107	Midwestern Financial	1,700
A108	AVAILABLE	1,225
A109	Mansfield Vision	2,754
A110	Family Mattress	3,192
A112	Dr. Kim Nga Le	1,700
A115	Quest Diagnositcs	1,400
A120	Super Alterations	1,050
A122	Baskin Robbins	1,464
A124	Hearth Cafe	2,030
100	China King Buffet	7,200
200	Zen Pedi	1,551
206	A++ Foot Massage	1,200
207	Yoga Project	1,643
208	Kumon Math & Reading	1,500
210	Carter Blood Care	3,633
300	Kid Create	1,200
302	Cryon 7	2,151
306	Diet Solution Center	1,454
308	AVAILABLE	2,466
Lot 3	The Salvation Army	20,840
Lot 4	Tom Thumb Store	56,646
Lot 7	Tom Thumb Fuel Center	490



Proposed Suite is A-108

Avis Budget Car Rental, LLC

Specific Use Permit SUP#21-006

990 N Highway 287, Suite A-108

Mansfield, TX 76063

Project Narrative

Avis Budget Car Rental, LLC is the parent company of Avis Rent a Car System, LLC and Budget Rent a Car System, Inc. We operate both the Avis and Budget car rental brands throughout the United States and worldwide. We are expanding our footprint in the greater Dallas Fort Worth metropolitan area and we've been seeking a rental office location in Mansfield for several years. We will have both Avis and Budget brands at this site.

We will typically have less than 10 cars idle at any given time. Our fleet is shared throughout the greater DFW area and is shuttled in/out based on reservation demand. This will be a full-service car rental facility, servicing both commercial accounts and leisure customers from the surrounding area. We offer daily, weekly, and monthly rates, along with one-way rentals to and from any of our other rental locations within the lower 48 states. Our hours of operation will be Monday through Friday – 7:30 AM to 6:00 PM, Saturday 8:00 AM to 2:00 PM, and Sunday 10:00 AM to 1:00 PM or something very similar. This location will not offer truck rentals.

The location is minimally staffed with an independent agency operator. At this particular location, there would be a maximum of two staff members on duty at any time. Vehicles will be cleaned on site (interiors) and all washing activities will take place off-site. No vehicular maintenance will be conducted on-site.

Mansfield, TX - The Commons at Walnut Creek

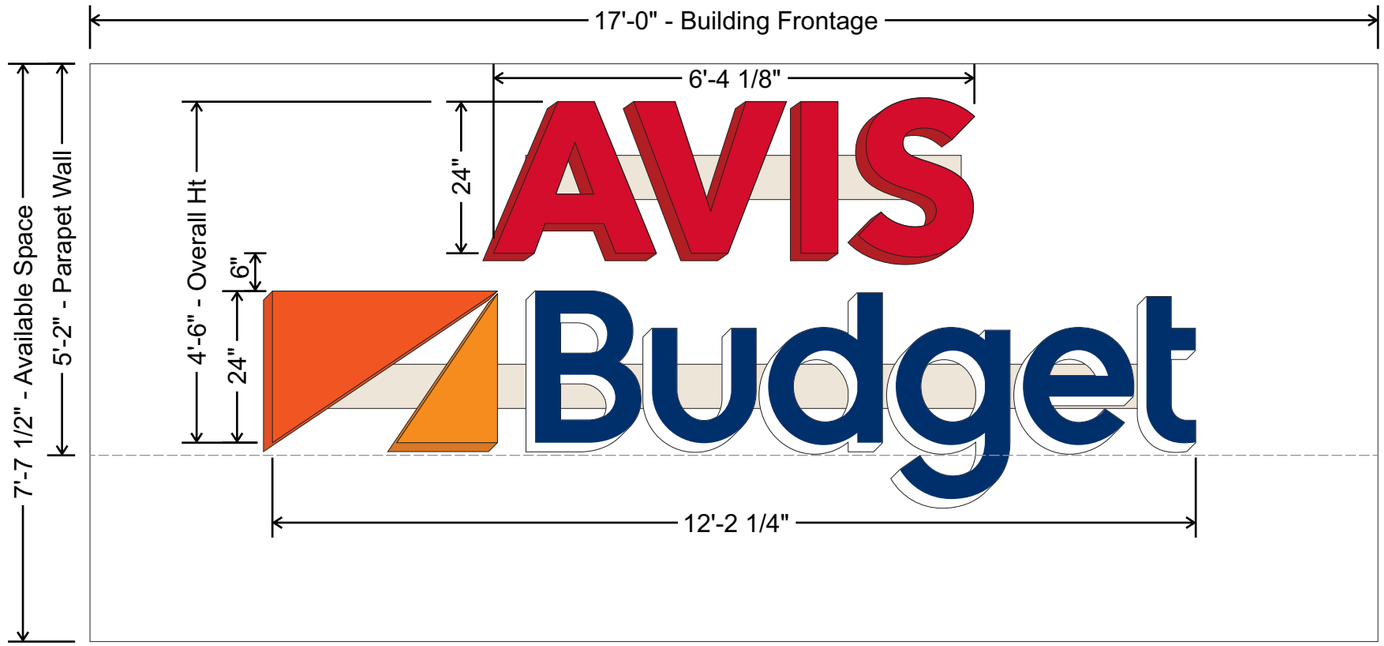
Parking Calculations

07/09/2021

Suite	Tenant	SF	Required Ratio	Calculation	Rounded Calculation	1st 3,000 SF	Over 3,000 SF	Rounded Calculation	
A102	Star Nails	1,050	200	5.3	6				
A104	Great Clips	1,400	200	7.0	7				
A106	The UPS Store	1,400	250	5.6	6				
A107	Midwestern Financial	1,700	200	8.5	9				
A108	Vacant	1,225	250	4.9	5				
A109	Mansfield Vision	2,754	250	11.0	11				
A110	Family Matress	3,192	250	12.8	13				1:250 for first 3,000 SF, then 1:300 thereafter
A112	Dr. Kim Nga Le	1,700	150	11.3	12				Minimum of 5 spaces
A115	Quest Diagnostics	1,400	150	9.3	10				Minimum of 5 spaces
A120	Super Alterations	1,050	250	4.2	5				
A122	Baskin Robbins	1,464	100	14.6	15				Minimum of 12 spaces
A124	Hearth Café	2,030	100	20.3	21				Minimum of 12 spaces
100	Chia King Buffet	7,200	100	72.0	72				Minimum of 12 spaces
200	Zen Pedi	1,551	200	7.8	8				
206	A++ Foot Masage	1,200	200	6.0	6				
207	Yoga Project	1,643	200	8.2	9				
208	Kumon Math & Reading	1,500	200	7.5	8				
210	Carter Blood Care	3,633	150	24.2	25				Minimum of 5 spaces
300	Kid Create	1,200	250	4.8	5				
302	Cryon 7	2,151	250	8.6	9				
306	Diet Solution Center	1,454	200	7.3	8				
308	Vacant	2,466	250	9.9	10				
LOT 3	The Salvation Army	20,840	250	83.4	72	12	59.5	60	1:250 for first 3,000 SF, then 1:300 thereafter
LOT 4	Tom Thumb	56,646	250	226.6	191	12	178.8	179	1:250 for first 3,000 SF, then 1:300 thereafter
LOT 7	Tom Thumb Fuel Center	490	250	2.0	2				
	Total	122,339			545				
		Total spaces at center			770				
		Surplus parking over requirement			225				

Exhibit C

Exhbit D - D.1



Illuminated Channel Letter ID Sign - 54.8 SQ FT

1/2" = 1'

5"Deep fabricated channel letters, pre-finished white .063 aluminum backs
with clinched .040 pre-finished coil returns

1" Dark Bronze standard trimcap with translucent 3/16" #7328 White acrylic faces
Budget Logo- Applied translucent vinyl graphics

Internally illuminated with white LED lighting, Agilight Pro 160 6500k

All secondary wiring ran thru common brake-formed 7"H x 2"Deep two-part aluminum wire-way
All power supplies located behind parapet wall in exterior rated boxes

Coil/Trimcap
101 Linear Feet

Colors to Match

PMS 186
Oracal 5700-030
Akzo Nobel Sign20595

Dark Orange - PMS 166C
Arlon 2500-2119
Akzo Nobel Sign #31129

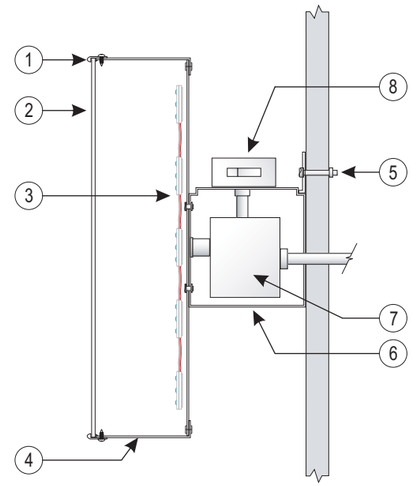
Orange - PMS 144C
Arlon 2500-84

Blue - PMS 294C
Akzo Nobel Sign60941
Arlon 2500-3238

Letter Coil Returns
Std White

Wireway
SW 7013 Ivory Lace

FACE-LIT CHANNEL LETTERING
LED ILLUMINATION - RACEWAY MOUNT



1) TRIM CAP W/ RETAINING SCREW
2) 3/16" PLEX FACE
3) LED ILLUMINATION (AGILIGHT / SLOAN)
4) ALUMINUM .063" BACKS / .040" RETURN
5) MOUNTING HARDWARE
6) EXTRUDED ALUMINUM RACEWAY
7) OSRAM POWER SUPPLIES / GENERAL LED / ADVANCE
8) DISCONNECT/TOGGLE SWITCH

General Notes
120V/277V Class 2 Self Adjusting Power Supply
60W 12V Single Phase, installed per NEC code book
All wiring bonded and grounded

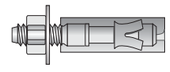
UL LISTED

MOUNTING HARDWARE

Lag Screw
☐ Wood & Masonry Applications

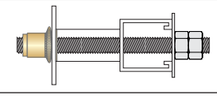
Toggle Bolt
☐ Hollow Walls

Wedge Anchor
☐ Masonry Applications



Sleeve Anchor
☐ Masonry Applications

Thru-Bolt w/ U-Channel
☐ Hollow Walls w/ Rear-Access



South Water Signs

Client: Avis Budget Group	Project Name & Location: Multi-Brand Retail Location, 990 N.US 287, Ste 108, Mansfield TX	Date: 01.27.21	SWS WO CODE: ☐F ☐E ☐V ☐R ☐C ☐O ☐P	Revisions: 03.04.21, 08.19.21
Customer Approval	Job Number: 7040276	Drawn By: rm		SUP#21-006

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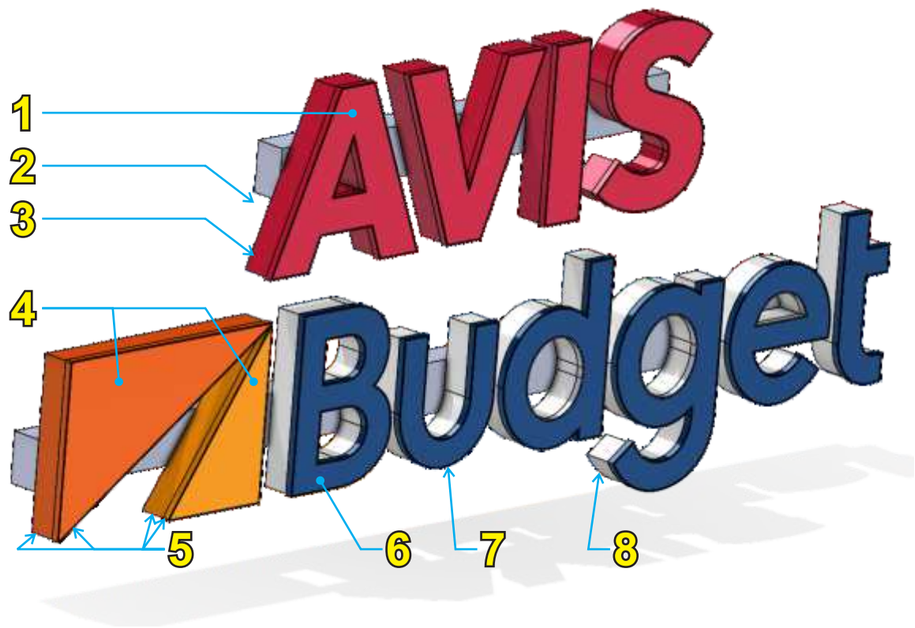
Exhibit D.2



AVIS Letters
1 #7328 White Acrylic / Red Translucent Vinyl
2 Standard Red Trimcap - Jewelite True Red (or equal)
3 Painted Red Coil Returns - Gloss

Budget Logo
4 White Acrylic / Orange Translucent vinyls
5 Coil/Trimcap - Painted Respective Orange colors - Semi-gloss

Budget Letters
6 White Acrylic / Blue Translucent Vinyl
7 Painted Blue Trimcap
8 Std White Coil Returns - Semi-gloss

South Water Signs

Client: Avis Budget Group

Customer Approval:

Project Name & Location: Multi-Brand Retail Location
990 N.US 287, Ste 108, Mansfield TX

Job Number: 7040276

Date: 01.27.21

Drawn By: rm

SWS WO CODE: ☐F ☐E ☐V ☐R ☐C ☐O ☐P

Revisions: 03.04.21
08.19.21

SUP#21-006

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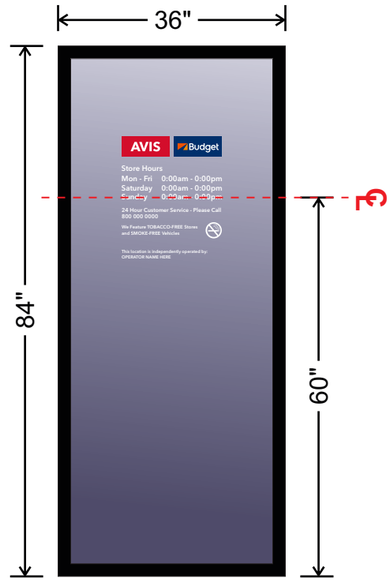
Exhibit D.3



Door Placement
Scale: 1/2" = 1'-0"

Color Name

Arlon 2500-3238
Over 2100-02 White

Arlon 2100-83

Arlon 2500-84
Over 2100-02 White

Arlon 2500-4217

Oracal 951-010

AVIS/Budget Hours Vinyl Graphics
3" = 1'

First surface applied cut vinyl graphics in respective colors

Exact placement TBD in field based on field conditions

Qty 1 Set

South Water Signs

Client: Avis Budget Group

Customer Approval:

Project Name & Location: Multi-Brand Retail Location
990 N.US 287, Ste 108, Mansfield TX

Job Number: 7040276

Date: 01.27.21

Drawn By: rm

SWS WO CODE: ☐F ☐E ☐V ☐R ☐C ☐O ☐P

Revisions: 03.04.21
08.19.21

SUP#21-006

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Exhibit D.4

Multi-Tenant Pylon
NTS
No sign required, all spaces occupied

South Water Signs

Client: Avis Budget Group

Customer Approval:

Project Name & Location: Multi-Brand Retail Location
990 N.US 287, Ste 108, Mansfield TX

Job Number: 7040276

Date: 01.27.21

Drawn By: rm

SWS WO CODE: ☐F ☐E ☐V ☐R ☐C ☐O ☐P

Revisions: 03.04.21
08.19.21

SUP#21-006

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avis budget group

September 14, 2021

Shirley Emerson
Planner
City of Mansfield
Planning and Zoning Department
1200 E. Broad St
Mansfield, TX 76063

RE: SUP#21-006 AVIS BUDGET

VIA EMAIL TO: Shirley.emreson@mansfieldtexas.gov

Dear Ms. Emerson:

I am working through a number of items in order to address the comments and concerns brought forth by the Planning Commission at the September 7, 2021 public hearing. I respectfully request that the item be tabled at this time while we prepare the updated submission for review and hearing. Unfortunately I don't have an accurate estimate of how long this will take as there are a number of outside parties to engage.

Should you have any questions or need additional information, please don't hesitate to contact me.

Sincerely,

Jeffrey W. Wagner
Area Development Manager

Avis Budget Group, Inc.
Central Area Office
P.O. Box 612707 – 3937 S. 26th Avenue – DFW Airport, TX 75261
Tel: 972-453-4051 – Fax: 972-453-5106

CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4299

Agenda Date: 9/20/2021 **Version:** 1 **Status:** Public Hearing

In Control: Planning and Zoning Commission **File Type:** Zoning Case

Agenda Number:

CASE#
APPLICANT
ACREAGE (keep to 1 or 2 decimal points)
PZDATE
CCDATE1
CCDATE2
FROM1
FROM2
PROPOSED LANDUSE
LOCATION (fill in if you have the information)
NEWSPAPER DATE Not a replacement item
SURVEY, ABSTRACT Not a replacement item

CASE#
APPLICANT
ACREAGE (keep to 1 or 2 decimal points)
PZDATE
CCDATE1
CCDATE2
FROM1
FROM2
PROPOSED LANDUSE
LOCATION (fill in if you have the information)
NEWSPAPER DATE Not a replacement item
SURVEY, ABSTRACT Not a replacement item

Title

ZC#21-013: Public hearing for a change of zoning from SF-7.5/12, Single-Family Residential and C-1, Neighborhood Business Districts to PD, Planned Development District for a church and other church related facilities, a pre-school, day care, education, coffee shop, eating place without drive-through service and other OP uses as allowed on approximately 10.97 acres, being Lot 1R1, Block 1, Bethlehem Baptist Church Addition and a 0.1 acre tract situated in the T.J. Hanks Survey, Abstract No. 644, City of Mansfield, Tarrant Co. TX, addressed at 1188 W Broad Street; Shank Architects, architect and Bethlehem Baptist Church, owner

Description/History

Existing Use: Church and church-related facilities

Existing Zoning: SF-7.5/12 and C-1

Surrounding Land Use & Zoning:
North - Vacant and single-family residential, SF-7.5/12
South - Vacant, single-family residential and Pioneer Place (multi-family residential), PR and PD
East - View at the Reserve (single-family residential) and floodplain, PD
West - Masonic Lodge and vacant, PD; and Vacant (west side of US 287), PR and I-1

Thoroughfare Plan Specification:
W. Broad Street - 4-lane divided major arterial

Comments and Considerations
The subject property consists of 10.97 acres at the northwest corner of W. Broad Street and Morgan Road. The property is currently occupied by Bethlehem Baptist Church, including the existing worship center, gymnasium, education buildings, mission house and other related structures.

The property is currently zoned SF-7.5/12 and C-1. The applicant is requesting to re-zone the property to PD, Planned Development District to accommodate a new church worship center and other church related facilities, a pre-school, day care, education, coffee shop, eating place without drive-through service and other OP uses as allowed.

Development Plan (Exhibit B)
In Phase 1, the applicant proposes a new worship and education building of 54,985 square feet. This building will replace the present worship center and community education center building. The new building will accommodate future expansions for a one-story fellowship hall in Phase 2 and a two-story youth building in Phase 3. A Detailed Site Plan approved by staff will be required for all future buildings on the property.

The applicant is using OP as the base zoning. As presented, the PD will require deviations from the OP regulations for architecture, landscaping and signage as described in the following sections.

Elevations have been provided for the Phase 1 worship and education building. The PD proposes that a Detailed Site Plan for each future building be approved by staff prior to the issuance of a building permit.

The existing trash dumpster will be relocated further to the rear of the property and screened with masonry materials that match the building.

Access and Parking (Exhibit B)
At present, the church has three existing driveways on W. Broad Street. Under the proposed development plan, the center and eastern driveway will be reconfigured to provide better circulation around the worship center. A new driveway will be installed on the north side of the property on Morgan Road.

Church parking must be provided at a ratio of 1 space for every 4 seats in the sanctuary. The new worship center will have 1,074 seats, requiring 269 parking spaces. Parking will be provided as follows:

Existing parking spaces: 117
Propose parking spaces: 228
Total parking: 345

Building Standards (Exhibit C)

Elevations for the Phase 1 worship and education building are shown on Exhibit C. The development plan indicates that the building will be 2-stories with a maximum height of 40 feet and a steeple with a height of 105 feet. The maximum height for an OP building is 35 feet, but the proposed elevations have a varied roofline to provide articulation. The steeple is exempt from a high limit, but an extra setback from the property line is required based on the steeple's height. The PD includes a deviation for the setback from W. Broad Street for the steeple to maintain the standard 25' setback.

The primary cladding is brick and cement plaster (stucco) siding as shown on Sheets C-1 and C-2. Stone veneer and cast stone panels are accent materials to break up the facades. The standard masonry requirement in Section 155.056(A) for structures in the OP District is a minimum of 70% masonry materials. The PD proposes allowing a minimum of 30% masonry materials and a maximum of 40% of masonry-like materials as the construction material standard.

The main entryway has a canopy with plaster fascia supported by brick columns with stone veneer on the bases. The steeple structure is supported by four gables with plaster, a brick base and metal steeple.

Section 155.056(E) requires certain architectural attributes for buildings in the OP District to address the visual impact of long uninterrupted walls or rooflines by providing a minimum amount of variations according to the size of the structure. Non-residential buildings must be architecturally finished on all four sides with the same materials, detailing and features.

All four facades use the same construction materials, though not in the same quantities. However, there is enough masonry on each façade to meet the intent of the architectural standards. The west elevation has the least amount of masonry (approximately 30.8%), but it faces the existing education building and gymnasium and will be modified with the Phase 3 expansion. To help break up the 2-story brick wall on the north elevation, the applicant has added cast stone lintels and sills to the windows, stone wainscoting, and cast stone quoins on the corner of the wall.

Landscaping and Screening (Exhibit D)

Landscaping and screening will be provided as shown on Sheets D-1 and D-2. The landscaping for the parking lots and buffer yards generally complies with the requirements of the Zoning Ordinance. Foundation plantings are proposed along the front façade.

Along the west property line is an existing line of trees. The applicant proposes to preserve these trees as shown on Sheet D-2. Some of the existing trees in the parking lot and buffer yards will also be retained.

Ground-mounted and roof-mounted equipment serving the property will be screened according to the Zoning Ordinance.

Signage (Exhibit E)

The applicant proposes one monument sign in front of the worship and education building with a maximum height of 12 feet, maximum width of 17.5 feet, and a maximum sign area of 128 square feet. The sign includes a 4-foot stone base, 4-foot brick sign panel and a 3-foot, 8-inch electronic message board as shown on Exhibit E. The applicant is also requesting wall plaque signs similar to those on the existing buildings to identify the buildings on the property. The church's existing freestanding signs along W. Broad Street will be removed.

Under the sign regulations, the church would be allowed to have two monument signs with a maximum height of 10 feet, maximum with of 10 feet and a maximum sign area of 50 square feet. The dimensions of the proposed sign are approximately the same as two standard monument signs combined together. The proposed sign is in scale with the size and in keeping with the appearance of the development.

Recommendation

The church is an established land use for this property. The expansion of church facilities is compatible with the neighborhood. With OP as the base zoning, the PD allows for future OP uses that may serve the church congregation or the neighborhood, such as a day care.

While the proposed elevations of the new building do not meet all of the OP requirements, they employ architectural features and materials on all four facades to mitigate for the articulation and masonry requirements.

The proposed sign plan eliminates multiple signs on the property and consolidates them into one larger sign. The sign is compatible and in scale with the church.

Staff recommends approval.

Attachments

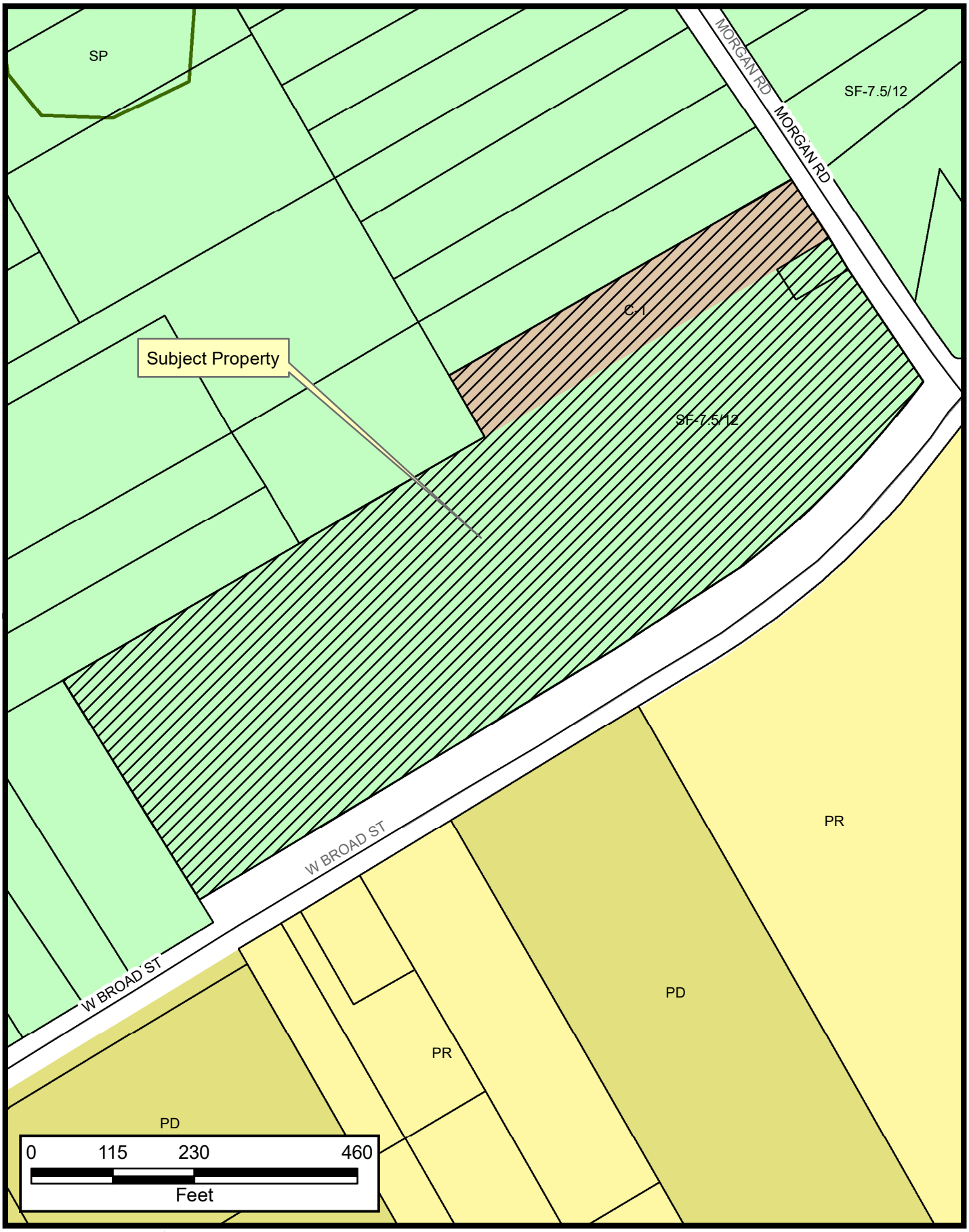
Maps and supporting information
Exhibit A
Exhibits B through E

MANSFIELD
TEXAS

ZC#21-013

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

8/24/2021



MANSFIELD TEXAS

ZC#21-013

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8/24/2021

Property Owner Notification for ZC#21-013

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BETHLEHEM BAPTIST CHURCH ADDN	BLK A	BETHLEHEM BAPT CH MANSFIELD	1188 W BROAD ST	MANSFIELD, TX	76063-4508
HANKS, THOMAS J SURVEY	A 644	HAMILTON, LIONEL	7801 CHANTILLY LN	FORT WORTH, TX	76134-4601
HANKS, THOMAS J SURVEY	A 644	BETHLEHEM BAPTIST CHURCH	1188 W BROAD ST	MANSFIELD, TX	76063
HANKS, THOMAS J SURVEY	A 644	PACHECO, JOSE H	350 MORGAN RD	MANSFIELD, TX	76063-4413
HANKS, THOMAS J SURVEY	A 644	ROSS, DELLA	364 MORGAN RD	MANSFIELD, TX	76063
HANKS, THOMAS J SURVEY	A 644	JOHNSTON, MARY ANN BROWN	1108 PEBBLE BEACH CT	MANSFIELD, TX	76063-2647
HANKS, THOMAS J SURVEY	A 644	BROWN, GLOVER C	372 MORGAN RD	MANSFIELD, TX	76063-4413
HANKS, THOMAS J SURVEY	A 644	BETHLEHEM BAPTIST CHURCH OF MA	1188 W BROAD ST	MANSFIELD, TX	76063
HANKS, THOMAS J SURVEY	A 644	BETHLEHEM BAPT CH MANSFIELD	1188 W BROAD ST	MANSFIELD, TX	76063-4508
HANKS, THOMAS J SURVEY	A 644	SMITH, O C	1405 OAK GROVE RD	FORT WORTH, TX	76134-2321
HANKS, THOMAS J SURVEY	A 644	SMITH, O C	1405 OAK GROVE RD	FORT WORTH, TX	76134-2321
HANKS, THOMAS J SURVEY	A 644	DOUGLAS, CLIFTON M	1606 CANCUN DR	MANSFIELD, TX	76063-5993
HANKS, THOMAS J SURVEY	A 644	TURNER, TONEY	600 ARBOR GLEN CT	MANSFIELD, TX	76063-8699
HANKS, THOMAS J SURVEY	A 644	LAWSON, TODD	6250 MOUNTAIN PEAK CT	MIDLOTHIAN, TX	76065-8898
HANKS, THOMAS J SURVEY	A 644	SANDOVAL-GARCIA, NIRIA	1301 W BROAD ST	MANSFIELD, TX	76063
HANKS, THOMAS J SURVEY	A 644	SANDOVAL-GARCIA, NIRIA	1301 W BROAD ST	MANSFIELD, TX	76063
HANKS, THOMAS J SURVEY	A 644	BETHLEHEM BAPTIST CHURCH	1188 W BROAD ST	MANSFIELD, TX	76063
HANKS, THOMAS J SURVEY	A 644	HAMILTON, LIONEL	7801 CHANTILLY LN	FORT WORTH, TX	76134-4601

Property Owner Notification for ZC#21-013

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
HANKS, THOMAS J SURVEY	A 644	HAMILTON, LIONEL	7801 CHANTILLY LN	FORT WORTH, TX	76134-4601
HANKS, THOMAS J SURVEY	A 644	WALKER, NELLIE	PO BOX 291	MANSFIELD, TX	76063
MURIN - RETTA ADDITION	BLK 1	DURAN, ALBERTO	517 RETTA RD	MANSFIELD, TX	76063
PIONEER PLACE ADDN	BLK 1	BETHLEHEM'S PIONEER PLACE LP	1188 W BROAD ST	MANSFIELD, TX	76063
SANDOVAL ADDITION	BLK 1	SANDOVAL, NIRIA L	1301 W BROAD ST	MANSFIELD, TX	76063-4400

EXHIBIT A

Being a 10.97 acre tract of land situated in the T.J. Hanks Survey, Abstract No. 644, Tarrant County, Texas and being all of Lot 1R1, Block A, Bethlehem Baptist Church Addition, as recorded in Document Number D213242716, Plat Records, Tarrant County, Texas, and a tract of land described to Bethlehem Baptist Church of Mansfield Inc., as recorded in Document Number D214003320, Deed Records, Tarrant County, Texas, and being more particularly described as follows:

BEGINNING at a found 5/8 inch iron rod with yellow cap stamped "DUNAWAY", being in the westernmost corner of said Lot 1R1, the north corner of a tract of land described to Toney Turner and wife, Kristina Turner, as recorded in Document Number D219217840, Deed Records, Tarrant County, Texas, also being in the south line of a tract of land described to Clifton Douglas, as recorded in Volume 15140, Page 476, Deed Records, Tarrant County, Texas;

THENCE North 59°55'10" East, along said south line and the north line of said Lot 1R1, a distance of 487.66 feet to a point, being in the south line of a tract of land described to O. C. Smith, Jr. and wife, Barbara Jean Smith, as recorded in Volume 5249, Page 875, Deed Records, Tarrant County, Texas and said north line, being a common line;

THENCE North 60°07'14" East, continuing along said common line, a distance of 210.67 feet to a point, being the southeast corner of said Smith tract;

THENCE North 30°05'26" West, continuing with said common line, a distance of 101.50 feet to a point, being in the southwest corner of a tract of land described to Glover Charles Brown and wife, Linda Marie Brown, as recorded in Volume 8118, Page 1203, Deed Records, Tarrant County, Texas;

THENCE North 60°07'49" East, along the southeast line of said Brown Tract and said North line, a distance of 538.30 feet to point, being in the northeast corner of said Brown Tract and the west public right-of-way line of Morgan Road (having a 60 foot right-of-way);

THENCE South 34°02'49" East, along the east line of said Lot 1R1 and said west public right-of-way line, being a common line, a distance of 101.90 feet to a point;

THENCE South 34°02'14" East, continuing along said common line, a distance of 49.95 feet to a point;

THENCE South 34°02'49" East, a distance of 189.55 feet to a point, being in the intersection of said west public right-of-way line and the north public right-of-way line of W Broad Street (having a variable width right-of-way), for the beginning of a non-tangent curve to the right having a radius of 1,327.27 feet, a central angle of 15°45'12" and a long chord which bears South 44°16'12" West, 363.78 feet;

THENCE leaving said common line, along said north public right-of-way line and the south line of said Lot 1R1, being a common line, along said non-tangent curve to the right, a distance of 364.93 feet to a point;

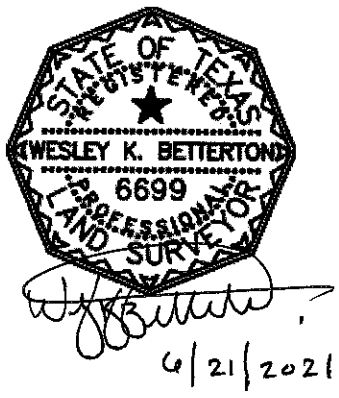
THENCE South 50°53'18" West, continuing along said common line, a distance of 3.56 feet to a point;

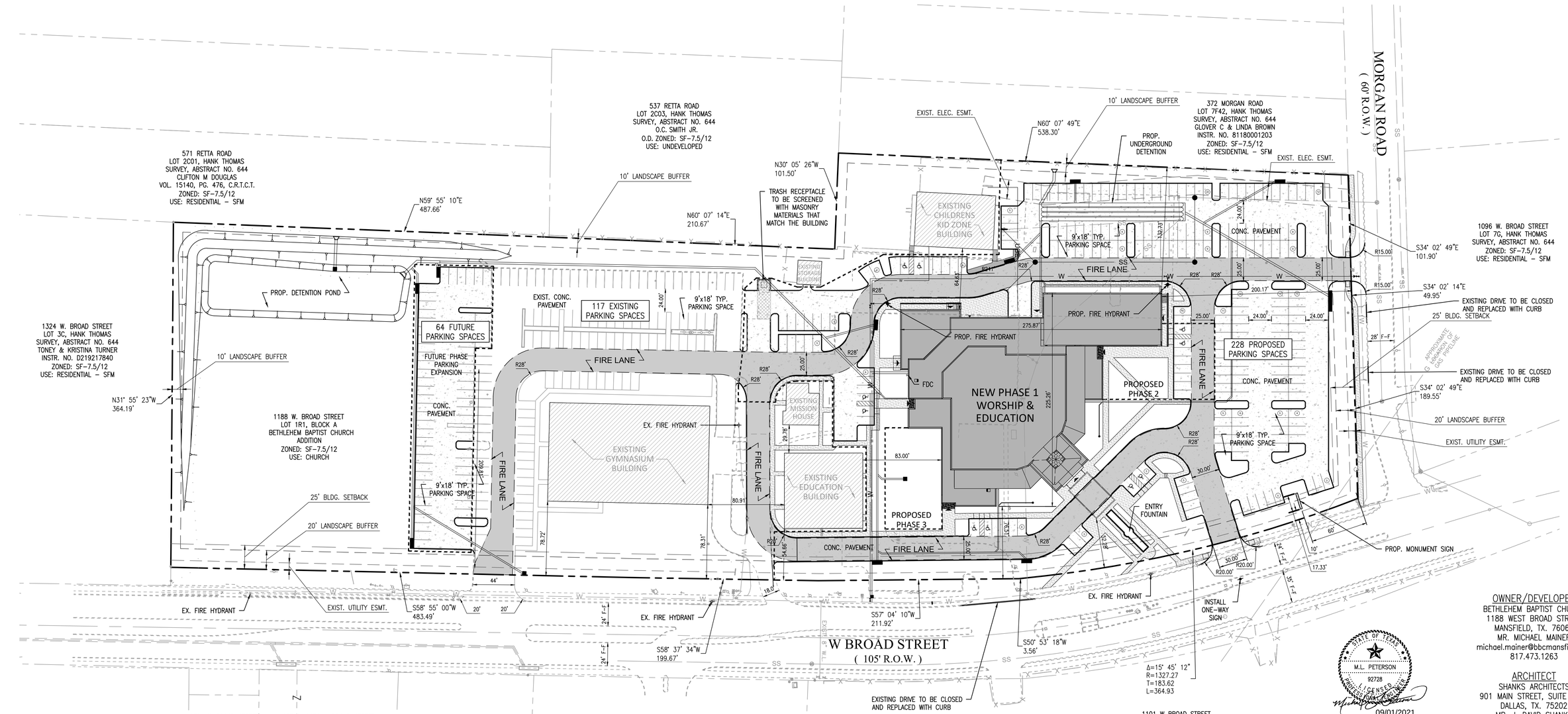
THENCE South 57°04'10" West, a distance of 211.92 feet to a point;

THENCE South 58°37'34" West, a distance of 199.67 feet to a point;

THENCE South 58°55'00" West, a distance of 483.49 feet to a point, being in the east line of said Turner tract, from which a found 5/8 inch iron rod with yellow cap stamped "DUNAWAY" bears North 31°55'23 West, a distance of 0.97;

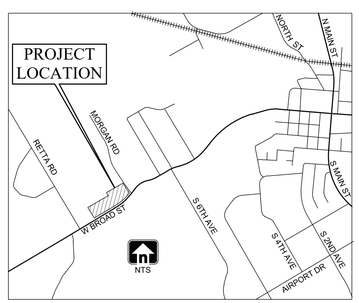
THENCE North 31°55'23 West, leaving said common line, along said east line and the west line of said Lot 1R1, a distance of 364.19 feet to the **POINT OF BEGINNING** and **CONTAINING** 477,821 square feet, 10.97 acres of land, more or less.





SITE PARKING SUMMARY			
REQUIRED PARKING	EXISTING (RETAINED)	PHASE 1 (NEW)	TOTAL
CHURCH = (1 PER 4 SEATS)	117 SPACES	228 SPACES	345 SPACES
TOTAL REQUIRED	N/A	269 SPACES	269 SPACES
TOTAL PROVIDED	117 SPACES	228 SPACES	345 SPACES
ACCESSIBLE / VAN ACCESSIBLE REQUIRED	5 SPACES	7 SPACES (2 OF THE 7 – VAN ACCESS.)	8 SPACES – 2 VAN ACCESS.
ACCESSIBLE / VAN ACCESSIBLE PROVIDED	6 SPACES (1 OF THE 6 – VAN ACCESS.)	8 SPACES (2 OF THE 8 – VAN ACCESS.)	14 SPACES (3 OF THE 14 – VAN ACCESS.)

PARKING SHALL BE ADJUSTED FOR FUTURE MODIFICATIONS TO THE SEATING CAPACITY OF THE WORSHIP CENTER TO MAINTAIN COMPLIANCE WITH THE REQUIRED 1:4 PARKING RATIO.



VICINITY MAP

PD DEVELOPMENT ZONING NOTES:

THE BASE ZONING OF THE PLANNED DEVELOPMENT IS OP, OFFICE PARK DISTRICT. PERMITTED USES IN THE BETHLEHEM BAPTIST CHURCH PLANNED DEVELOPMENT SHALL BE A CHURCH, AND OTHER CHURCH RELATED FACILITIES, A PRE-SCHOOL, DAY CARE, EDUCATION, COFFEE SHOP EATING PLACE WITHOUT DRIVE-THROUGH SERVICE AND OTHER OP USES AS ALLOWED. THE FOLLOWING MATERIALS AND FEATURES SHALL ALSO BE PERMITTED AS PART OF THE PLANNED DEVELOPMENT.

1. SIGNAGE SHALL CONFORM TO EXHIBIT E, SIGN EXHIBIT. MONUMENT SIGN SHALL BE LOCATED ALONG THE W. BROAD STREET THOROUGHFARE AND AS APPROVED BY THE CITY ZONING ORDINANCE AND SIGN STANDARDS.
2. A REFLECTION POOL AND FOUNTAIN SHALL BE ALLOWED ALONG THE ENTRY AXIS OF THE MAIN WORSHIP CENTER BUILDING ENTRANCE FRONTING ON W. BROAD STREET.
3. BUILDING MATERIALS AND FEATURES SHALL BE ALLOWED AS SHOWN ON ARCHITECTURAL EXHIBIT "C", BUILDING ELEVATIONS.
4. CHURCH WORSHIP CENTER BUILDING SHALL HAVE 1 DUMPSTER WITH MASONRY SCREENING TO MATCH THE BUILDING.
5. NO BUILDING PERMIT MAY BE ISSUED, NOR CONSTRUCTION COMMENCED, WITHOUT FIRST OBTAINING APPROVAL OF A DETAILED SITE PLAN FOR THE FUTURE BUILDINGS. THE DIRECTOR OF PLANNING MAY APPROVE A DETAILED SITE PLAN ADMINISTRATIVELY OR MAY ELECT TO PRESENT THE DETAILED SITE PLAN TO THE CITY COUNCIL FOR APPROVAL. THE COUNCIL MAY APPROVE THE DETAILED SITE PLAN BY A MAJORITY VOTE AT ONE (1) MEETING.
6. THIS DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

SITE DEVIATIONS – ZONING VARIANCES

1. MAXIMUM HEIGHT: ALLOW A MAXIMUM BUILDING HEIGHT FOR THE CHURCH – CURRENT AND FUTURE – OF 60'-0" TO THE TOP OF BUILDING PARAPETS, EXCLUDING THE STEEPLE WITH CROSS.
2. MINIMUM SETBACK ABUTTING STREET: MINIMUM SETBACK FROM STREET IS 25 FEET.

PD DEVELOPMENT LANDSCAPE NOTES:

THE LANDSCAPE REQUIREMENTS FOR THE 10.97 ACRES SITE WILL BE IN SUBSTANTIAL CONFORMANCE WITH LANDSCAPE REQUIREMENTS SECTION 155.092 OF THE CITY OF MANSFIELD ZONING ORDINANCE.

SITE SUMMARY TABLE			
GENERAL SITE DATA	CURRENT (EXISTING)	PHASE 1 (PROPOSED)	TOTAL (COMBINED)
ZONING	SF-7.5/12	PD – PLANNED DEVELOPMENT	PD
LAND USE	CHURCH	CHURCH	CHURCH
LOT AREA	477,821 S.F. / 10.97 ACRES	477,821 S.F. / 10.97 ACRES	477,821 S.F. / 10.97 ACRES
TOTAL BLDG AREAS (EXISTING)	GYMNASIUM 17,571 S.F. EDUCATION 6,565 S.F. MISSION HSE 1,468 S.F. CHILDREN'S 4,751 S.F. STORAGE 635 S.F. TOTAL 30,990 S.F.		85,975 S.F.
TOTAL BLDG AREAS (PHASE 1)	---------	WORSHIP & EDUCATION TOTAL 54,985 S.F. FOOTPRINT 41,511 S.F.	
BUILDING HTS.	AVG. HTS. VARY FROM 12 FT. TO 16 FT. (ALL 1-STORY)	PHASE 1: 40' (2-STORY)	
STEEPLE HT. (PHASE 1)	---------	105'	
FLOOR AREA RATIO	6.48%	8.68%	15.17%
LOT COVERAGE	0.06:1	0.11:1	0.18:1
SETBACKS	25' STREET FRONTAGE (FROM PROPERTY LINE)	SAME	

STATE OF TEXAS
M.L. PETERSON
92728
LICENSED PROFESSIONAL ENGINEER
09/01/2021

GRAPHIC SCALE 1"=50'
50 0 50 100

OWNER/DEVELOPER
BETHLEHEM BAPTIST CHURCH
1188 WEST BROAD STREET
MANSFIELD, TX. 76063
MR. MICHAEL MAINER
michael.mainer@bbcmansfield.org
817.473.1263

ARCHITECT
SHANKS ARCHITECTS
901 MAIN STREET, SUITE 6250
DALLAS, TX. 75202
MR. J. DAVID SHANKS
david@shanksarchitects.com
972.788.9300

ENGINEER
GRAHAM ASSOCIATES, INC
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TX. 76011
MR. MICHAEL PETERSON, PE
mpeterson@grahamcivil.com
817.640.8535

EXHIBIT B
ZONING CASE NO. #ZC 21-013
DEVELOPMENT PLAN
BETHLEHEM BAPTIST CHURCH
LOT 1R1, BLOCK A
BETHLEHEM BAPTIST CHURCH ADDITION
AND A 0.1 TRACT OF LAND SITUATED IN THE T.J. HANKS SURVEY, ABSTRACT NO. 644
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
JULY 1ST, 2021
10.97 ACRES

Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 640-8535
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

BETHLEHEM BAPTIST CHURCH

PLOTTED ON: 9/1/2021 11:04 AM
XX: \MAC_USERS\DAVID\DESKTOP\BBC\EXHIBIT DRAWINGS\EXHIBIT B.DWG

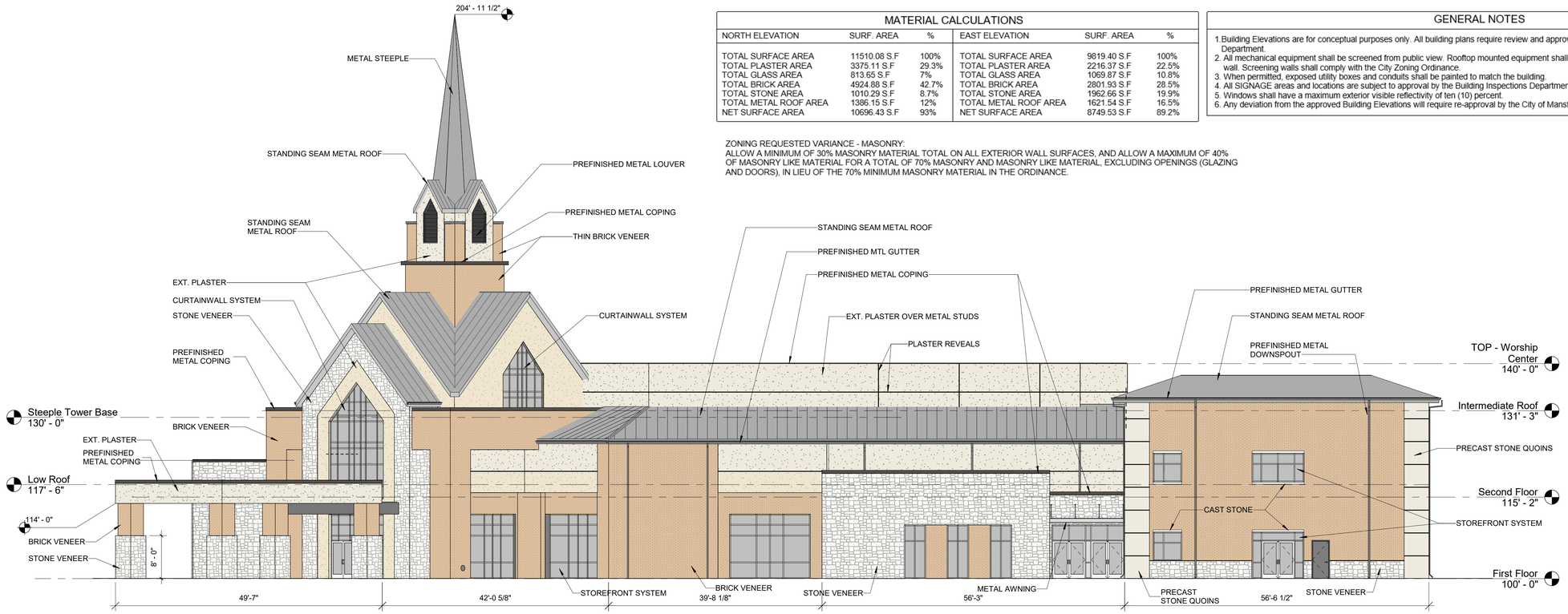
MATERIAL CALCULATIONS

NORTH ELEVATION	SURF. AREA	%	EAST ELEVATION	SURF. AREA	%
TOTAL SURFACE AREA	11510.08 S.F	100%	TOTAL SURFACE AREA	9819.40 S.F	100%
TOTAL PLASTER AREA	3375.11 S.F	29.3%	TOTAL PLASTER AREA	2216.37 S.F	22.5%
TOTAL GLASS AREA	813.65 S.F	7%	TOTAL GLASS AREA	1069.87 S.F	10.8%
TOTAL BRICK AREA	4924.88 S.F	42.7%	TOTAL BRICK AREA	2801.93 S.F	28.5%
TOTAL STONE AREA	1010.29 S.F	8.7%	TOTAL STONE AREA	1962.66 S.F	19.9%
TOTAL METAL ROOF AREA	1386.15 S.F	12%	TOTAL METAL ROOF AREA	1621.54 S.F	16.5%
NET SURFACE AREA	10696.43 S.F	93%	NET SURFACE AREA	8749.53 S.F	89.2%

ZONING REQUESTED VARIANCE - MASONRY:
ALLOW A MINIMUM OF 30% MASONRY MATERIAL TOTAL ON ALL EXTERIOR WALL SURFACES, AND ALLOW A MAXIMUM OF 40% OF MASONRY LIKE MATERIAL FOR A TOTAL OF 70% MASONRY AND MASONRY LIKE MATERIAL, EXCLUDING OPENINGS (GLAZING AND DOORS), IN LIEU OF THE 70% MINIMUM MASONRY MATERIAL IN THE ORDINANCE.

GENERAL NOTES

1. Building Elevations are for conceptual purposes only. All building plans require review and approval from the Building Inspections Department.
2. All mechanical equipment shall be screened from public view. Rooftop mounted equipment shall be screened by a parapet wall or screening wall. Screening walls shall comply with the City Zoning Ordinance.
3. When permitted, exposed utility boxes and conduits shall be painted to match the building.
4. All SIGNAGE areas and locations are subject to approval by the Building Inspections Department.
5. Windows shall have a maximum exterior visible reflectivity of ten (10) percent.
6. Any deviation from the approved Building Elevations will require re-approval by the City of Mansfield.



② PD ELEVATION - EAST
3/32" = 1'-0"

① PD ELEVATION - NORTH
3/32" = 1'-0"

CASE: ZC#21-013

SHANKS ARCHITECTS
901 Main Street Suite 6250
Dallas, Texas 75202
972.788.9300
(f) 214.594.5498

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J. David Shanks
Texas Registration: #7058
This Drawing is incomplete and may not be used for Regulatory Approval, Permit or Construction.

BETHLEHEM BAPTIST CHURCH

New Worship Center / Chapel / Educational Wing

1188 West Broad Street
Mansfield, TX 76063

ZONING SUBMISSION

SA JOB #: **201902**

No.	Date	Revision

DATE OF ISSUE:
08.19.2021

PLANNED DEVELOPMENT ELEVATIONS

C-1

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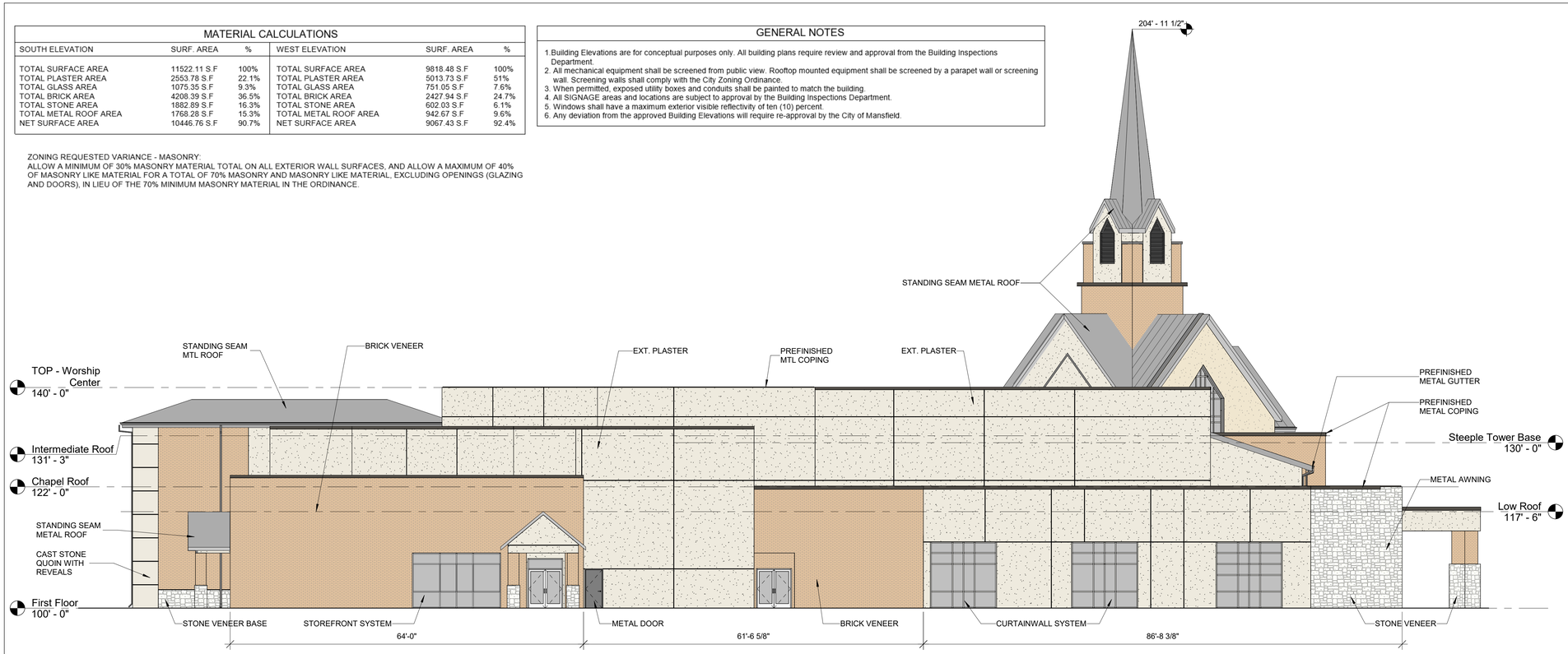
MATERIAL CALCULATIONS

SOUTH ELEVATION	SURF. AREA	%	WEST ELEVATION	SURF. AREA	%
TOTAL SURFACE AREA	11522.11 S.F	100%	TOTAL SURFACE AREA	9818.48 S.F	100%
TOTAL PLASTER AREA	2553.78 S.F	22.1%	TOTAL PLASTER AREA	5013.73 S.F	51%
TOTAL GLASS AREA	1075.35 S.F	9.3%	TOTAL GLASS AREA	751.05 S.F	7.6%
TOTAL BRICK AREA	4208.39 S.F	36.5%	TOTAL BRICK AREA	2427.94 S.F	24.7%
TOTAL STONE AREA	1882.89 S.F	16.3%	TOTAL STONE AREA	602.03 S.F	6.1%
TOTAL METAL ROOF AREA	1768.28 S.F	15.3%	TOTAL METAL ROOF AREA	942.67 S.F	9.6%
NET SURFACE AREA	10446.76 S.F	90.7%	NET SURFACE AREA	9067.43 S.F	92.4%

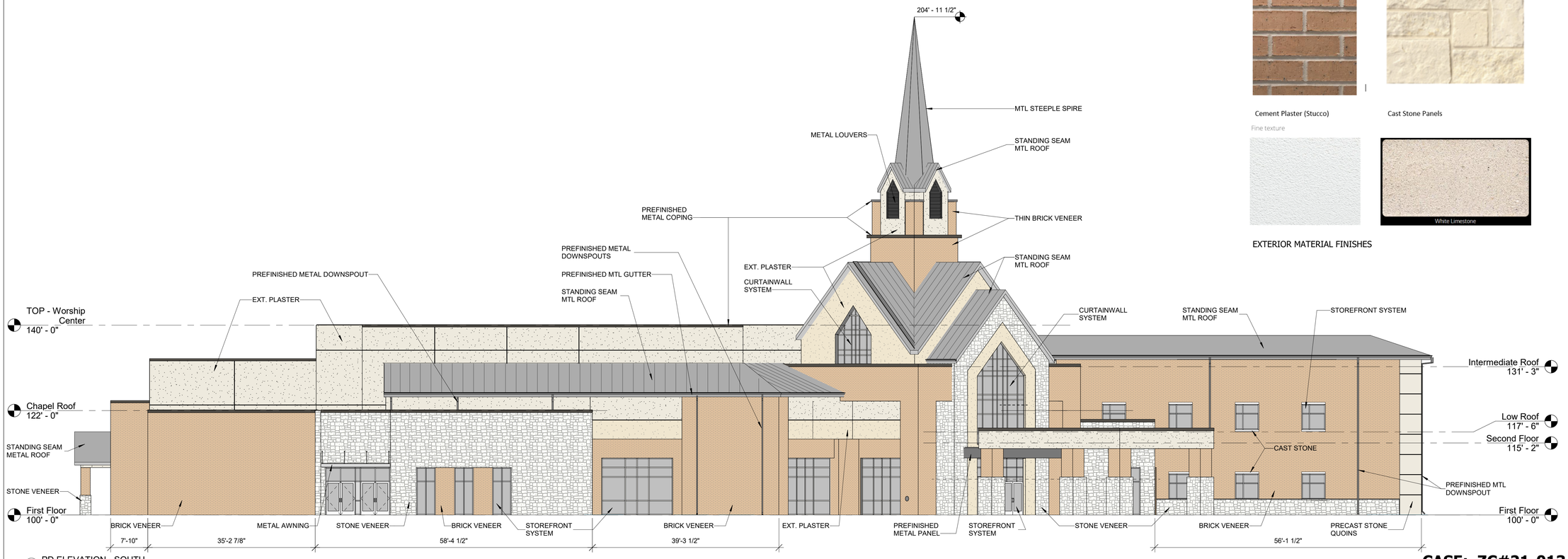
ZONING REQUESTED VARIANCE - MASONRY:
ALLOW A MINIMUM OF 30% MASONRY MATERIAL TOTAL ON ALL EXTERIOR WALL SURFACES, AND ALLOW A MAXIMUM OF 40% OF MASONRY LIKE MATERIAL FOR A TOTAL OF 70% MASONRY AND MASONRY LIKE MATERIAL, EXCLUDING OPENINGS (GLAZING AND DOORS), IN LIEU OF THE 70% MINIMUM MASONRY MATERIAL IN THE ORDINANCE.

GENERAL NOTES

1. Building Elevations are for conceptual purposes only. All building plans require review and approval from the Building Inspections Department.
2. All mechanical equipment shall be screened from public view. Rooftop mounted equipment shall be screened by a parapet wall or screening wall. Screening walls shall comply with the City Zoning Ordinance.
3. When permitted, exposed utility boxes and conduits shall be painted to match the building.
4. All SIGNAGE areas and locations are subject to approval by the Building Inspections Department.
5. Windows shall have a maximum exterior visible reflectivity of ten (10) percent.
6. Any deviation from the approved Building Elevations will require re-approval by the City of Mansfield.

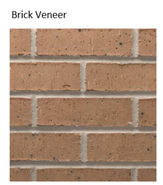


2 PD ELEVATION - WEST
3/32" = 1'-0"



1 PD ELEVATION - SOUTH
3/32" = 1'-0"

Brick Veneer



Stone Veneer

Cement Plaster (Stucco)
Fine texture

Cast Stone Panels

EXTERIOR MATERIAL FINISHES

CASE: ZC#21-013

SHANKS ARCHITECTS
901 Main Street Suite 6250
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J. David Shanks
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BETHLEHEM BAPTIST CHURCH
New Worship Center / Chapel / Educational Wing
1188 West Broad Street
Mansfield, TX 76063
ZONING SUBMISSION

SA JOB #: **201902**

No.	Date	Revision

DATE OF ISSUE:
08.19.2021

PLANNED DEVELOPMENT ELEVATIONS

C-2

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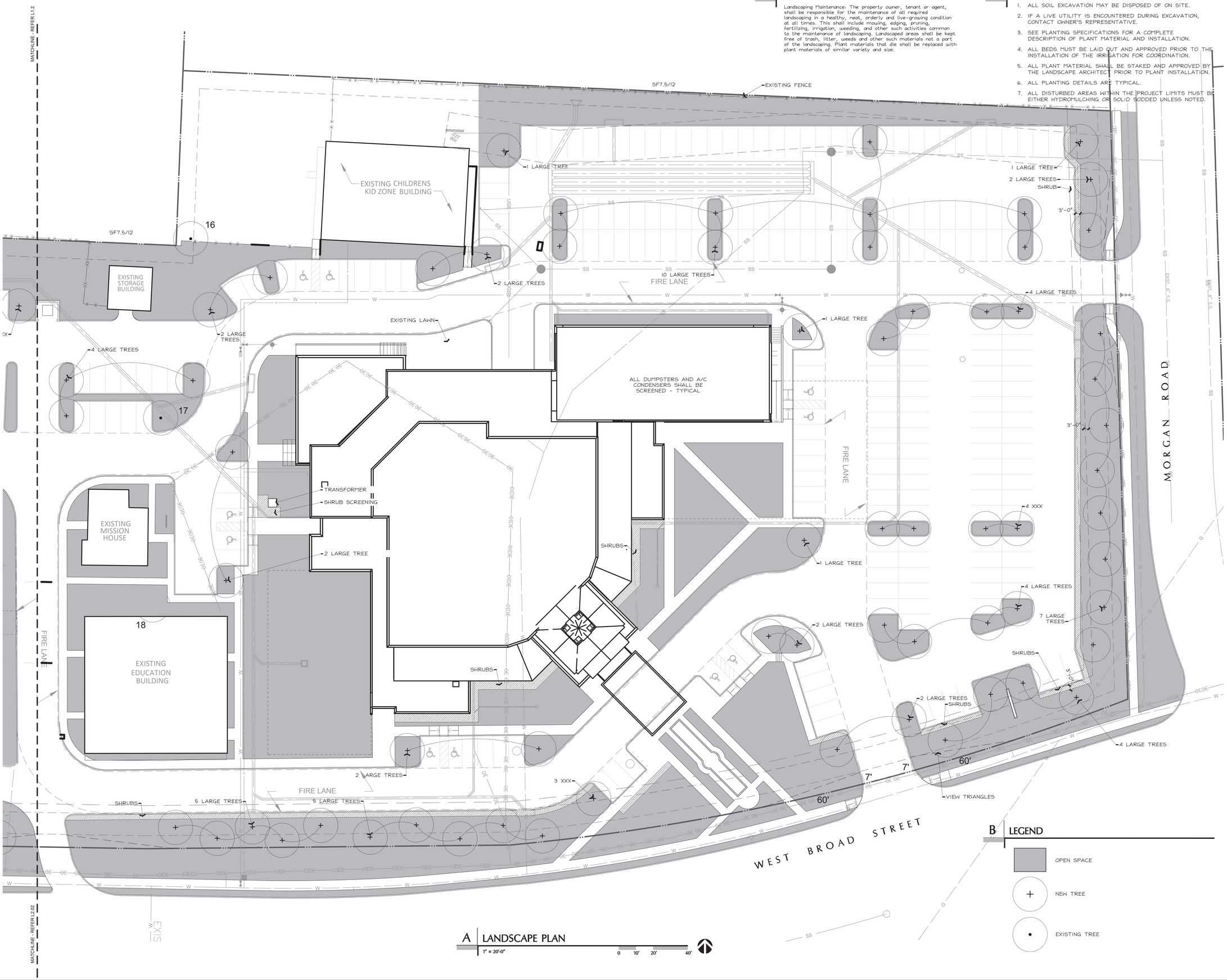
C MANSFIELD LANDSCAPE NOTES

Landscaping Maintenance: The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.

D PLANTING GENERAL NOTES

1. ALL SOIL EXCAVATION MAY BE DISPOSED OF ON SITE.
2. IF A LIVE UTILITY IS ENCOUNTERED DURING EXCAVATION, CONTACT OWNER'S REPRESENTATIVE.
3. SEE PLANTING SPECIFICATIONS FOR A COMPLETE DESCRIPTION OF PLANT MATERIAL AND INSTALLATION.
4. ALL BEDS MUST BE LAID OUT AND APPROVED PRIOR TO THE INSTALLATION OF THE IRRIGATION FOR COORDINATION.
5. ALL PLANT MATERIAL SHALL BE STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION.
6. ALL PLANTING DETAILS ARE TYPICAL.
7. ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS MUST BE EITHER HYDROMULCHING OR SOLID SODDED UNLESS NOTED.



A LANDSCAPE PLAN

1" = 20'-0"

0 10' 20' 40'

B LEGEND

OPEN SPACE

NEW TREE

EXISTING TREE

KENDALL
LANDSCAPE ARCHITECTURE

6976 Santa Barbara
Dallas, Texas 75124
214-739-3226
mike@kendall7.com

BETHLEHEM BAPTIST CHURCH

1188 WEST BROAD STREET
MANSFIELD, TEXAS

Seal

Revisions

Issue Date
19 August 2021

Sheet Name
LANDSCAPE PLAN - EAST

Sheet Number
D1

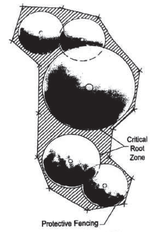
B LEGEND

OPEN SPACE

NEW TREE

EXISTING TREE

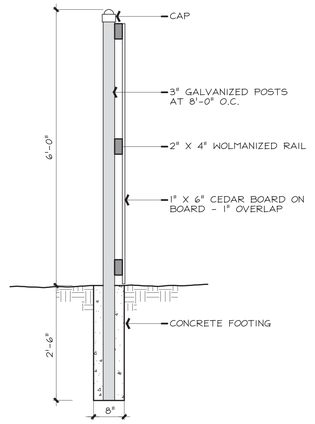
Protection Detail for a single tree



Protection Detail for multiple trees

C TREE PROTECTION FENCING

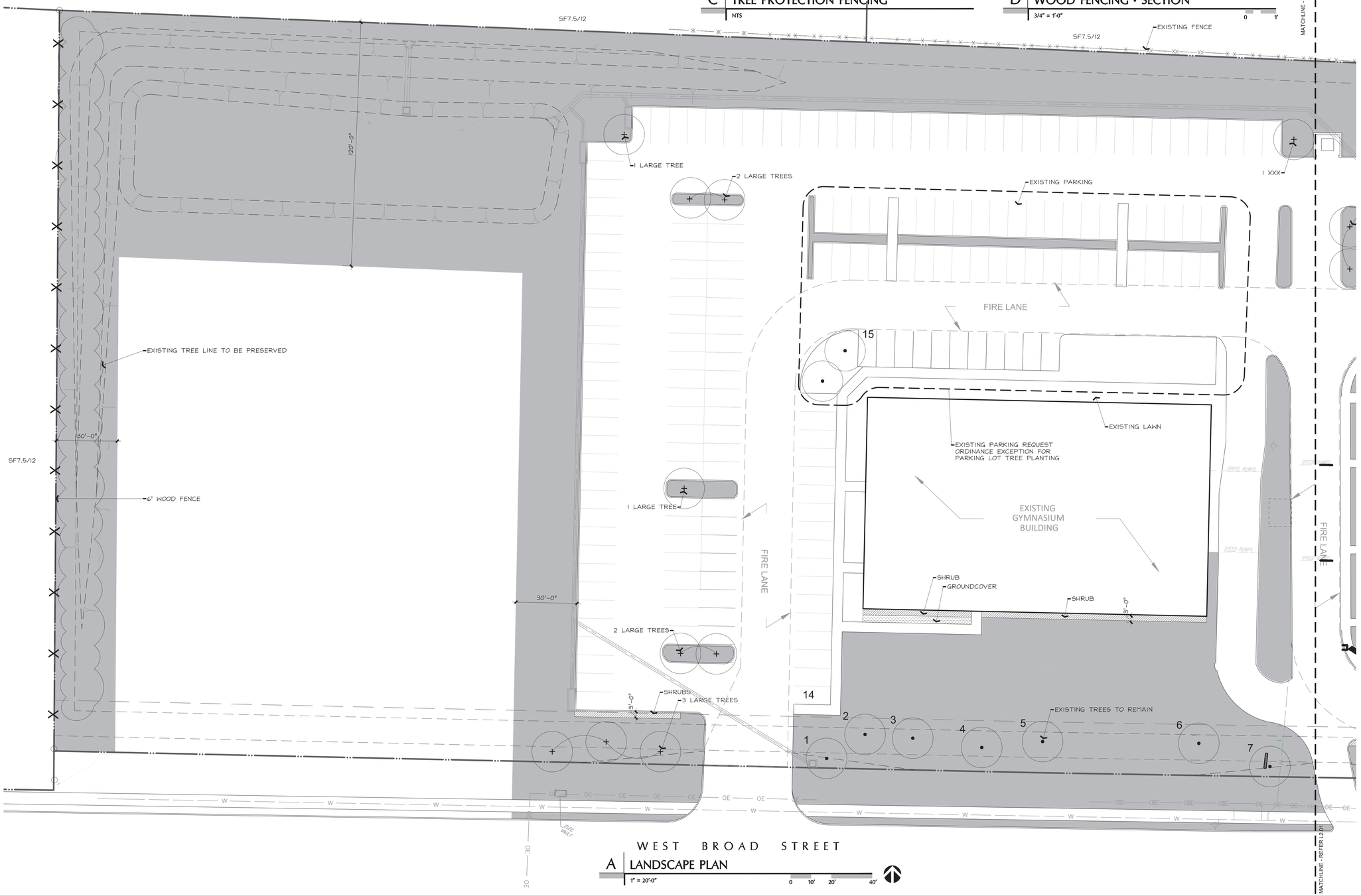
NTS



D WOOD FENCING - SECTION

3/4" = 1'-0"

0 1'



A LANDSCAPE PLAN

1" = 20'-0"

0 10' 20' 40'

KENDALL
LANDSCAPE ARCHITECTURE

6976 Santa Barbara
Dallas, Texas 75124
214-739-3226
mike@kendall7.com

BETHLEHEM BAPTIST CHURCH

MANSFIELD, TEXAS

Seal

Revisions

Issue Date

19 August 2021

Sheet Name

LANDSCAPE PLAN - WEST

Sheet Number

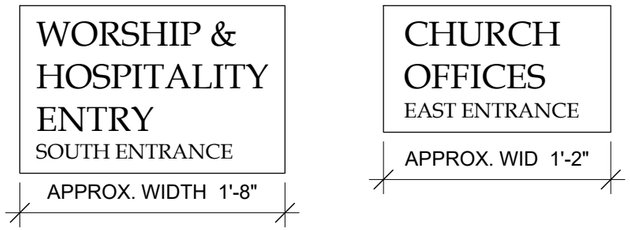
D2

Monument sign is to have two faces back to back in accordance with 155.090 (C (2) 15 of the Sign Standards.

SIGN DEVIATIONS:

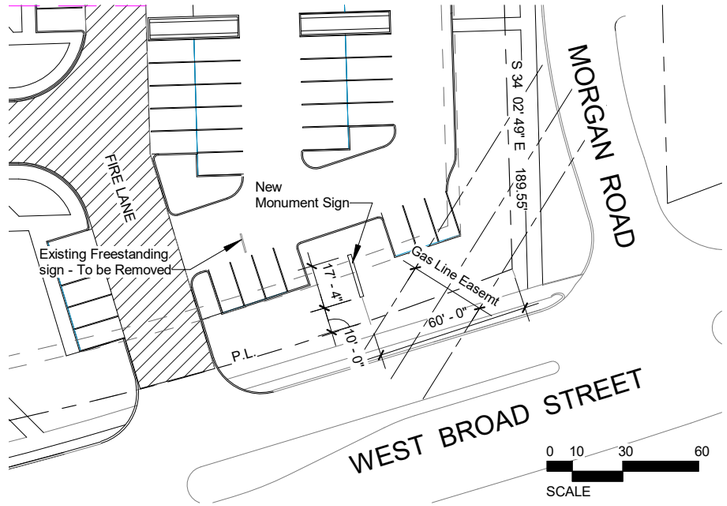
1. SIGN SIZE:
   - Maximum Sign Area: 128 square feet
   - Maximum Height: 12 feet
   - Maximum Width: 17.5 feet

DIRECTORY WALL SIGNS MAY BE USED TO IDENTIFY EACH BUILDING / BLDG ENTRANCE SIMILAR TO WALL SIGNS CURRENTLY PRESENT ON EXISTING BUILDINGS.



WALL PLAQUE SIGN EXAMPLES

CURRENT BLDG WALL SIGN



SITE - SIGN LOCATION

CASE: ZC#21-013

This Drawing Is Released Under The Authority of:
J. David Shanks
Texas Registration: #7058

SHANKS ARCHITECTS
901 MAIN STREET #6250
DALLAS, TEXAS 75202
972.788.9300

BETHLEHEM BAPTIST CHURCH
New Worship Center / Chapel / Offices / Education Wing
1188 West Broad Street
Mansfield, TX 76063
Phone: 817-473-1236
Fax: 817-477-4810

ZONING SUBMISSION

Monument Sign - Exhibit E

E-1

08/19/2021

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CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4301

Agenda Date: 9/20/2021 **Version:** 1 **Status:** Public Hearing

In Control: Planning and Zoning Commission **File Type:** Zoning Case

Agenda Number:

CASE#
APPLICANT
ACREAGE (keep to 1 or 2 decimal points)
PZDATE
CCDATE1
CCDATE2
FROM1
FROM2
PROPOSED LANDUSE
LOCATION (fill in if you have the information)
NEWSPAPER DATE Not a replacement item
SURVEY, ABSTRACT Not a replacement item

Title

ZC#21-008: Public hearing on a change of zoning from PR, Pre-Development District to PD, Planned Development District for Single-Family Residential Uses on approximately 11.76 acres out of the J. McDonald Survey, Abstract No. 997, generally located west of the Union Pacific railroad track, east of St Giles Drive and Cancun Drive, and approximately 120 feet north of Alpine Industrial Rd on property addressed at 6239 Newt Patterson Road; Testudo Land LLC, owner, Bayley Yandell Development LTD, developer and MMA, engineer

Description/History

Existing Use: Vacant
Existing Zoning: PR

Surrounding Land Use & Zoning:

North: Vacant land and single-family residential, PR
South: Industrial, I-1
East: Single-family residential, SF-6/12
West: Union Pacific right-of-way, agricultural and industrial in the Tarrant County ETJ (no zoning)

Thoroughfare Plan Specification:
Internal residential streets

Comments and Considerations

The subject property is a vacant tract approximately 11.76 acres in size. The property is located west of the Country Meadows subdivision (zoned SF-6/12), north of Alpine

Industrial Park, east of the Union Pacific Railroad, and south of the last phase of the future Rockwood Addition (zoned PR). This property is at the western edge of the city limits.

The applicant is requesting to rezone the property from PR to PD for single-family residences. The applicant proposes 51 residential lots and 4 open spaces. The proposed development will be called Crestwood.

Development Plan and Standards

The proposed development will have 51 detached single-family residences with 45 lots having a minimum lot width of 50 feet and 6 lots having a width of 60 feet. The 60-foot lots have been noted on the Development Plan (Exhibit B). The subdivision will be developed in one phase.

In addition to the residential lots, the applicant proposes a 1.18 acre landscaped open space for a detention pond, a buffer on the north side of Cancun Drive behind Lots 1 and 3, Block 1, and a pedestrian/bike trail connection between Lots 8 and 10, Block 1 to provide trail access to the Rockwood Addition.

The bulk area standards for the single-family residential products are as follows:

	60' Lots	**50' Lots**
Min. Floor Area (sq. ft.)	2,000	1,800
Min. Lot Area (sq. ft.)	7,200	6,000
Min. Lot Width	60'	50'
Min. Lot Depth	100'	100'
Min. Front Setback	25'	25'
Min. Rear Setback	10'	10'
Min. Interior Side Yard	5'	5'
Min. Exterior Side Yard (adjacent to street)	15'	15'
Max. Lot Coverage	45%	45%
Max. Height	35'	35'

Corner lots must be at least 10 feet wider than the minimum lot width. The minimum lot frontage has been reduced from 45 feet to 34 feet for lots along eyebrows as indicated in Note 10 on Exhibit B.

Access to the new development will be from the existing street stubs for Cancun Drive and St. Giles Drive in the Country Meadows Addition. To provide better circulation and emergency access, the developer must also connect two sections of Griffin Lane to provide an access point from FM 1187 as specified in Note 12.

Architectural Regulations

To provide a variety of architectural options, the development standards listed on the Development Plan (Exhibit B) include the following:

- The exterior finish material on all elevations may be any combination of brick, wood, cementitious fiber board, stone, and stucco.

- The primary roof must have a roof pitch of 6:12.
- Dwellings with the same or substantially the same street elevation on the same street must be separated by at least three (3) lots on the same side of the street or opposite side of the street to create a moving block of six (6) lots that cannot have the same or substantially the same street elevation.
- All houses on a corner lot must have a side-entry garage.
- At least 21 of the houses must be constructed with a front porch. Six of the houses on a corner lot must have a wrap-around porch.
- All windows facing streets or required open space must have divided lights (panes) and be trimmed with a picture frame using brick, stone, or wood. The divided light patterns must vary through the community.

Other architectural requirements are included in Note 2 on Exhibit B. These standards are intended to allow a builder to construct homes with more architectural variety. No elevations were included in the PD as the architectural standards on Exhibit B represent a substantial departure from those in the Zoning Ordinance. For example, porches are required in the PD, but only encourage in the Zoning Ordinance. The developer has not yet built to these new PD standards.

Enhanced Entryway Plan

Although Crestwood will be connecting to the existing street in the neighboring subdivision, the applicant has provided a modified Landscaping and Enhanced Entryway Plan as Exhibit C-1. The entryway will include a decorative sign wall with a landscaping bed in front, decorative street lights and enhanced paving in the street. These features are shown on Exhibit C-2.

Fencing and Landscaping Plan

A proposed Fencing and Landscaping Plan has been provided as Exhibit C-2. This plan requires two trees to be planted on each residential lot (one in front and one in back). Tree plantings are also required around the detention pond.

The residential lots may have wood privacy fences except where a side or rear property line is adjacent to an open space. On these lots, the property line adjacent to open space will have a 6-foot ornamental metal fence. A row of shrubs will be planted behind Lots 1 and 3, Block 1, to help conceal the drainage easement behind these lots.

To screen the lots on Block 3 from view of the industrial park, an 8-foot masonry wall will be erected on Lot 24X, Block 1 as shown on Exhibit C-2.

Trail Plan

The applicant is accommodating a pedestrian/bike trail from the County Meadows Addition to the Rockwood Addition through this development. The trail consists of a 6-foot wide sidewalk from Cancun Drive along Street A to Lot 9X, Block 1. The trail is shown in gray on Exhibit C-2.

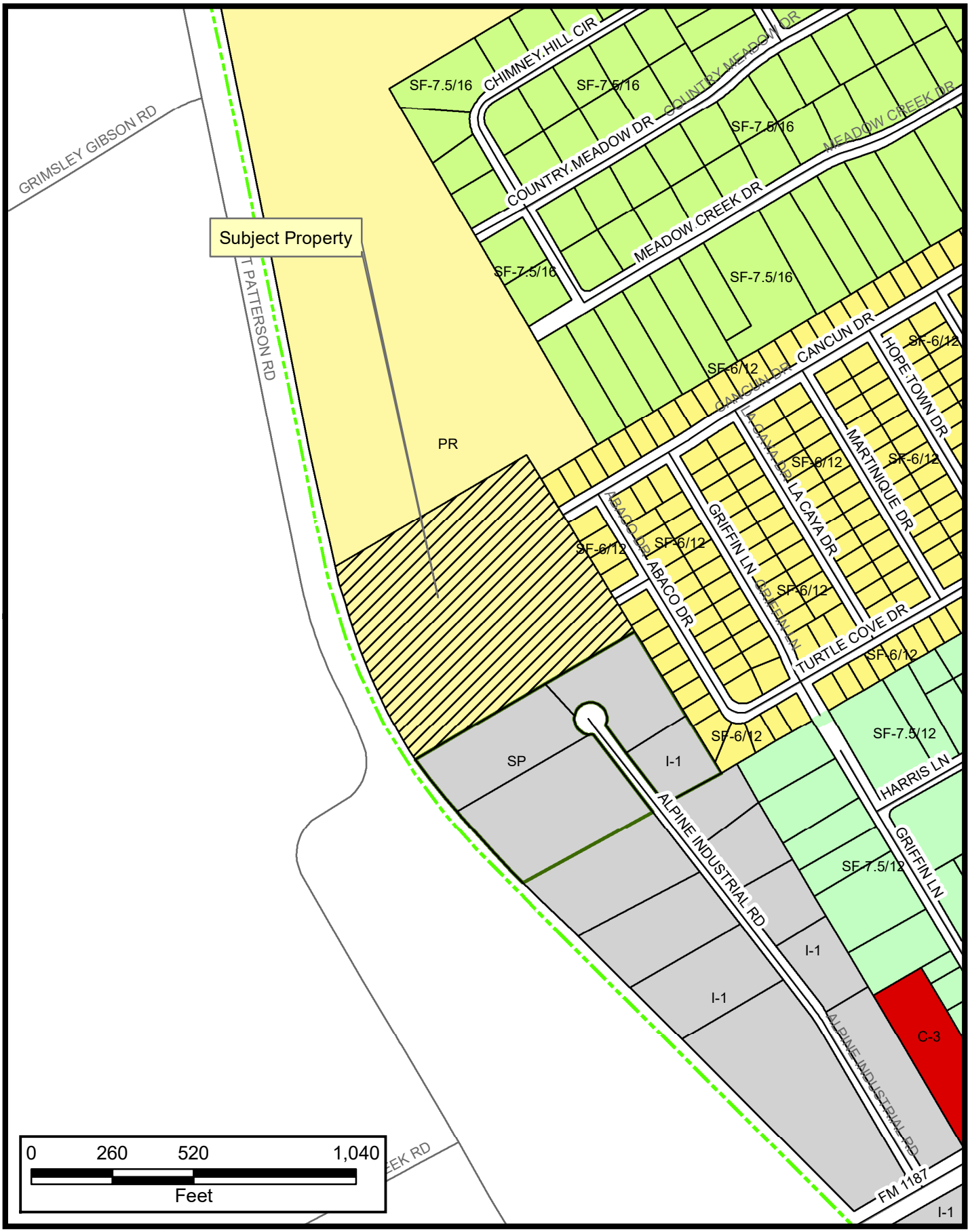
Recommendation

Based its location and the surrounding land uses, a small single-family residential

subdivision is suitable for the tract. With respect to the Country Meadows and Rockwood Additions, the proposed development is consistent with the existing feel and character of the area. The lot sizes are comparable to the 60-foot lots in Country Meadows, while the proposed development standards will allow the houses to have an architectural variety as good as or better than the Rockwood Addition.

Staff recommends approval.

Attachments:
Maps and supporting information
Exhibit “A”
Exhibit “B”
Exhibit “C”



MANSFIELD TEXAS

ZC#21-008

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

9/9/2021

MANSFIELD TEXAS

ZC#21-008

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9/9/2021

Property Owner Notification for ZC#21-008

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
ALPINE INDUSTRIAL PARK ADDN	BLK 1	BOC ENT LLC	13341 TEMESCAL CANYON RD	CORONA, CA	92883
ALPINE INDUSTRIAL PARK ADDN	BLK 1	WESTERN EXECUTIVE FINANCIAL	2214 FM RD 1187 # 2	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 12	HAMILTON, JULNELLE B	2230 CANCUN DR	MANSFIELD, TX	76063-8548
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 12	CARABALLO, SAUL	2232 CANCUN DR	MANSFIELD, TX	76063-8548
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 12	BIBBS, ANGELA	2234 CANCUN DR	MANSFIELD, TX	76063-8548
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 12	GALLUP, DEBORAH	2236 CANCUN DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	RAMBUS, SHAWN	1720 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	KAKEMBO, WILSON K	2231 CANCUN DR	MANSFIELD, TX	76063-8549
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	PROGRESS DALLAS LLC	PO BOX 4090	SCOTTSDALE, AZ	85261
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	GONZALES, JESSICA	1718 ABACO DR	MANSFIELD, TX	76063-8558
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	TURRUBIARTES, CESAR	1706 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	JENNINGS, SHONDRA	1708 ABACO DR	MANSFIELD, TX	76063-8558
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	GBADAMOSI, YINKA	1710 ABACO DR	MANSFIELD, TX	76063-8558
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	COLES, JOSHUA	1712 ABACO DR	MANSFIELD, TX	76063-8558
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	BLUBAUGH, PAUL	1714 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 19	MALAVE, ANTONIO	1715 ABACO DR	MANSFIELD, TX	76063-8559
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 19	CHEN, ALPHONSUS	1713 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 19	ZHAO, FENGCHUN	1711 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 19	GUILLORY, KEVIN	1709 ABACO DR	MANSFIELD, TX	76063-8559

Property Owner Notification for ZC#21-008

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 19	LE, FRANCIS	1707 ABACO DR	MANSFIELD, TX	76063-8559
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 20	LOYLES, BRIAN	1719 ABACO DR	MANSFIELD, TX	76063-8559
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 20	BROTHERS, BRIAN	PO BOX 170	LILLIAN, TX	76061-0170
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 20	CALLIHAN, RAYMOND	1723 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 20	ROSS, RUSTY	1725 ABACO DR	MANSFIELD, TX	76063
MCDONALD, JAMES SURVEY	A 997	BISBEE RANCH LLC	1019 WALNUT FALLS CIR	MANSFIELD, TX	76063
MCDONALD, JAMES SURVEY	A 997	TESTUDO LAND LLC	101 W GLADE RD STE 109	EULESS, TX	76039

EXHIBIT A

PROPERTY DESCRIPTION

BEING a tract of land situated in the James McDonald 1/3 League Survey, Abstract No. 997, City of Mansfield, Tarrant County, Texas, being all the land described in the deed to Testudo Land, LLC, as recorded in Instrument No. D216010303, Official Public Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows: (Bearings based on the Texas Coordinate System of 1983, North Central Zone, 4202, determined by GPS observations)

BEGINNING at a 1/2" iron rod found for the northwest corner of said Testudo Land, LLC tract, the most westerly southwest corner of a called 69.289 acre tract of land described in the deed to Bisbee Ranch, LLC, (Tract 2) as recorded in Instrument No. D217247689 of said Official Public Records, and in the easterly right-of-way line of Southern Pacific Railroad Company, a 100 feet wide right-of-way, from said 1/2" iron rod found, a 5/8" capped iron rod stamped "RPLS 4838" found in the westerly line of said Bisbee Ranch, LLC, bears N 11°44'19" W, a distance of 182.90 feet;

THENCE N 60°25'46" E, departing the easterly right-of-way line of said Southern Pacific Railroad Company and with the common line of said Testudo Land, LLC tract and said Bisbee Ranch, LLC tract, a distance of 703.63 feet (deed 703.51 feet) to a 5/8" iron rod found at a fence corner post for the northeast corner of said Testudo Land, LLC tract, an interior ell corner of said Bisbee Ranch, LLC tract;

THENCE S 30°20'19" E, with the common line of said Testudo Land, LLC tract and said Bisbee Ranch, LLC tract, a distance of 83.55 feet to a 1" bolt found for the most easterly southwest corner of said Bisbee Ranch, LLC tract and for the northwest corner of Country Meadows Addition, Section 8, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 11020, Plat Records, Tarrant County, Texas;

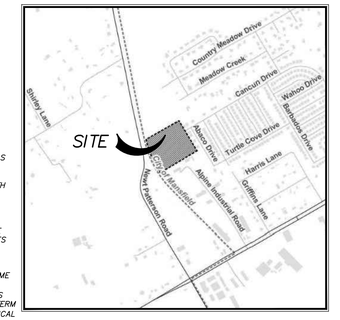
THENCE S 31°00'19" E, with the easterly line of said Testudo Land, LLC tract, a distance of 570.52 feet to a point for the southeast corner of said Testudo Land, LLC tract;

THENCE S 59°05'42" W, with the southerly line of said Testudo Land, LLC tract, passing a 1/2" iron rod found for the most northerly northeast corner of Alpine Industrial Park, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Volume 388-217, Page 35 of said Plat Records, at a distance of 0.55 feet, and continue for a total distance of 798.79 feet (deed 798.65 feet) to a 1/2" iron rod found for the southwest corner of said Testudo Land, LLC tract, the northwest corner of said Alpine Industrial Park and in the easterly right-of-way line of said Southern Pacific Railroad Company, said 1/2" iron rod found being the beginning of a non-tangent curve to the right, having a radius of 1,803.29 feet and a chord which bears N 22°49'30" W, a distance of 677.17 feet;

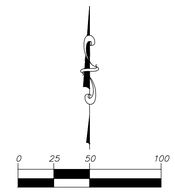
THENCE in a northwesterly direction, with the westerly line of said Testudo Land, LLC tract, the easterly right-of-way line of said Southern Pacific Railroad Company and said non-tangent curve to the right, through a central angle of 21°38'39", an arc length of 681.21 feet (deed 681.14 feet) to the **POINT OF BEGINNING** containing 512,047 Square Feet or 11.755 Acres of Land, more or less.

Lon E. Whitten, RPLS No. 5893
Date: May 17, 2021

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	84.54'	250.00'	19° 22' 27"	S 49°43'33" W	84.13'
C2	84.54'	250.00'	19° 22' 27"	N 49°43'33" E	84.13'
C3	51.41'	39.00'	75° 31' 36"	S 21°19'56" W	47.77'
C4	179.76'	1658.29'	6° 12' 39"	N 19°32'11" W	179.67'
C5	66.89'	39.00'	98° 15' 46"	S 71°46'23" E	58.98'



VICINITY MAP
NO SCALE



PLANNED DEVELOPMENT REGULATIONS:

1. THE BASE ZONING DISTRICT FOR THIS PLANNED DEVELOPMENT SHALL BE SF-6/12.

2. ARCHITECTURAL REQUIREMENTS:
EXCEPT AS PROVIDED BELOW, THE PROVISIONS FOR ARCHITECTURE IN SECTION 155.056 SHALL APPLY TO THE CONSTRUCTION OF ALL STRUCTURES WITHIN THIS DISTRICT. THE PROVISIONS FOR ARCHITECTURE PROVIDED BELOW, WHEN IN CONFLICT WITH THOSE EXISTING IN SECTION 155.056, SHALL TAKE PRECEDENCE.

   A. THE EXTERIOR FINISH MATERIAL ON ALL ELEVATIONS, EXCEPT FOR OPENINGS FOR DOORS AND WINDOWS, SHALL BE LIMITED TO ANY COMBINATION OF BRICK, WOOD, CEMENTITIOUS FIBER BOARD, STONE, AND STUCCO.
      1. ALL STONE SHALL BE DETAILED AND LAID TO RESEMBLE STRUCTURAL STONE WALLS (I.E., STONE SHALL BE CHOPPED OR SAW CUT).
      2. ALL STUCCO SHALL BE CEMENT PLASTER MADE OF CEMENT SAND AND LIME AND SHALL BE APPLIED TO ELEVATIONS USING A THREE-STEP PROCESS WITH A SMOOTH OR SAND-FINISH. EXTERIOR INSULATED FINISHING SYSTEMS (E.I.F.S.) OR OTHER SYNTHETIC STUCCO AS DEFINED BY THE INTERNATIONAL BUILDING CODE SHALL BE PROHIBITED ON ALL ELEVATIONS.

   B. PITCHED ROOFS SHALL BE PROVIDED FOR EACH DWELLING. ALL PITCHED ROOFS SHALL BE SYMMETRICALLY SLOPED NO LESS THAN 6:12, EXCEPT THAT PITCHED ROOFS FOR PORCHES AND OTHER SIMILAR ARCHITECTURAL FEATURES MAY BE NO LESS THAN 3:12.
      1. ALL ROOFS SHALL BE ASPHALT, METAL, SLATE, OR WOOD SHAKES.

   C. DWELLINGS WITH THE SAME OR SUBSTANTIALLY THE SAME STREET ELEVATION ON THE SAME STREET MUST BE SEPARATED BY AT LEAST THREE (3) LOTS ON THE SAME SIDE OF THE STREET OR OPPOSITE SIDE OF THE STREET TO CREATE A MOVING BLOCK OF SIX (6) LOTS THAT CANNOT HAVE THE SAME OR SUBSTANTIALLY THE SAME STREET ELEVATION. THE TERM "SUBSTANTIALLY THE SAME" SHALL MEAN ANY OF THE FOLLOWING CONDITIONS: (I) IDENTICAL ROOF LINES AND GABLES FACING THE STREET; (II) THE SAME COLOR AND / OR COMBINATION OF EXTERIOR FINISH MATERIAL; OR (III) IDENTICAL PLACEMENT OF OPENINGS FOR DOORS AND WINDOWS.

   D. ALL DWELLINGS BUILT ON A CORNER LOT SHALL HAVE A SIDE-ENTRY GARAGE, EXCEPT WHERE A DRIVEWAY CANNOT BE PROVIDED IN ACCORDANCE WITH THE CITY'S REGULATIONS.

   E. AT LEAST TWENTY-ONE (21) OF THE HOMES SHALL BE BUILT WITH A FRONT PORCH. WHERE PROVIDED, ALL FRONT PORCHES SHALL BE CONSTRUCTED AS FOLLOWS:
      1. FRONT PORCHES SHALL BE LOCATED AT THE FRONT DOOR OF THE DWELLING AND, ON CORNER LOTS, SHALL WRAP AROUND THE DWELLING, EXCEPT WHERE REQUIRED OTHERWISE AS PROVIDED IN BELOW.
      2. FRONT PORCHES SHALL BE AT LEAST FIVE (5) FEET DEEP AND SHALL PROVIDE ROOM FOR FURNITURE AND OTHER INFORMAL OUTDOOR SOCIAL ACTIVITIES.
      3. FRONT PORCHES SHALL BE COVERED WITH A PITCHED ROOF AND SHALL BE OPEN TO THE AIR ON AT LEAST TWO (2) SIDES.
      4. FRONT PORCH FLOORS SHALL BE CONCRETE SLAB, STONE, OR WOOD PLANK. SYNTHETIC MATERIALS ARE PERMITTED PROVIDED THEY HAVE THE APPEARANCE OF CONCRETE, STONE, OR WOOD.
      5. FRONT PORCHES, INCLUDING WRAP-AROUND FRONT PORCHES, MAY ENCROACH INTO THE REQUIRED SETBACKS A MAXIMUM OF FIVE (5) FEET.

   F. AT LEAST FIFTY (50) PERCENT OF THE HOMES BUILT WITH A SIDE-ENTRY GARAGE SHALL HAVE A WRAP-AROUND FRONT PORCH.

   G. WHERE PROVIDED, POSTS SHALL BE A MINIMUM OF SIX (6) INCHES BY SIX (6) INCHES IN DIMENSION; AND, WHERE PROVIDED, COLUMNS SHALL BE A MINIMUM OF EIGHT (8) INCHES BY EIGHT (8) INCHES IN DIMENSION. THE MATERIALS FOR POSTS AND COLUMNS SHALL BE AS PROVIDED BELOW:
      1. ALL POSTS SHALL BE MADE OF CEDAR; AND POSTS MAY HAVE PIERS CONSTRUCTED OF BRICK OR STONE. PIERS SHALL BE A MINIMUM OF TWELVE (12) INCHES BY TWELVE (12) INCHES IN DIMENSION.
      2. ALL COLUMNS SHALL BE MADE OF BRICK, CONCRETE, OR STONE.
      3. ALL SPACES BETWEEN POSTS AND COLUMNS SHALL BE VERTICALLY PROPORTIONED.

   H. ALL EXPOSED EXTERIOR WOOD SURFACES WILL BE EITHER PAINTED OR STAINED.

   I. FLUSH-MOUNTED WINDOWS SHALL BE PROHIBITED. ALL WINDOWS IN ELEVATIONS OF BRICK, STONE, OR STUCCO SHALL BE RECESSED A MINIMUM OF THREE (3) INCHES FROM THE EXTERIOR WALL. ALL WINDOWS FACING STREETS OR REQUIRED OPEN SPACE SHALL HAVE DIVIDED LIGHT AND WILL BE TRIMMED WITH A PICTURE FRAME USING THE BUTT END OF BRICK, STONE, OR WOOD. THE DIVIDED LIGHT PATTERNS SHALL VARY THROUGH THE COMMUNITY.

   J. FRONT DOORS, ON THE HOMES WITH SIDE-ENTRY GARAGES SHALL BE DIRECTLY CONNECTED TO THE PUBLIC SIDEWALK ALONG THE ADJACENT STREET WITH A WALKWAY NO WIDER THAN FIVE (5) FEET.

   K. ALL ELEVATIONS FACING A STREET OR REQUIRED OPEN SPACE SHALL BE NO LESS THAN FIFTEEN (15) PERCENT AND NO MORE THAN THIRTY (30) PERCENT GLAZED IN GLASS.

   L. ALL DOOR AND WINDOW HEIGHTS SHALL BE CONSISTENT ON ELEVATIONS FACING A STREET OR REQUIRED OPEN SPACE.

   M. WHERE PROVIDED, EXTERIOR SHUTTERS SHALL BE SIZED AND SHAPED TO MATCH THE ASSOCIATED OPENINGS AND SHALL HAVE HINGES AND TIEBACKS AS IF OPERABLE. ALL EXTERIOR SHUTTERS SHALL BE WOOD; AND SYNTHETIC MATERIALS ARE PERMITTED PROVIDED THEY HAVE THE APPEARANCE OF WOOD.

3. STREETLIGHTS SHALL BE ENHANCED (AND CONFORM WITH ONCOR AND CITY STANDARDS) WITH DECORATIVE BASE, POLE AND LIGHT STANDARDS.

4. STREET SIGNS SHALL BE ENHANCED WITH DECORATIVE POLE AND MOUNTS WITH STANDARD STREET SIGNS ATTACHABLE AND SHALL BE MAINTAINED BY THE H.O.A.

5. A MANDATORY HOMEOWNERS ASSOCIATE WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE AMENITIES, OPEN SPACES AND COMMON AREAS, INCLUDING BUT NOT LIMITED TO FENCING BETWEEN CRESTWOOD AND THE INDUSTRIAL PROPERTY; SUBDIVIONS LANDSCAPING ON COMMON LOTS; AND ENTRYWAY FEATURES INCLUDING LANDSCAPING, MONUMENTS, SIGNAGE, AND ANY NON-STANDARD PAVEMENT.

6. THIS PROPOSED PLANNED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH PROVISIONS OF THE APPROVED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON APPLICANT THEREOF, HIS SUCCESSORS AND ASSIONS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

7. ALL INTERNAL REAR AND SIDE YARD WOOD AND ORNAMENTAL IRON FENCES SHALL BE INSTALLED BY THE BUILDER AND MAINTAINED BY THE HOMEOWNER.

8. WOOD FENCES SHALL BE PRIVACY FENCES, WITH CAP, ON METAL POLES, AND STAINED WITH NATURAL WOOD FENCING/DECKING STAIN. WOOD FENCING SHALL BE A MINIMUM OF 6' IN HEIGHT AND A MAXIMUM OF 8' IN HEIGHT.

9. THE DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE.

10. THE MINIMUM LOT FRONTAGE ON A PUBLIC STREET SHALL BE 45 FEET WITH THE EXCEPTION OF LOTS 3, 4, 13 & 14, BLOCK 1 WHICH SHALL HAVE A LOT MINIMUM FRONTAGE OF 34 FEET.

11. CORNER LOTS SHALL ACCOMMODATE SIDE ENTRY GARAGES.

12. THIS DEVELOPMENT WILL CONNECT THE EXISTING CONCRETE PORTION OF GRIFFIN LANE WITH THE ASPHALT PORTION OF GRIFFIN LANE. THE CITY WILL PARTICIPATE IN THE COST OF THE ASPHALT OVERLAY AS THE FULL DEPTH REPAIR AND OVERLAY IS REQUIRED.

EXHIBIT "B"
DEVELOPMENT PLAN
CRESTWOOD
Being Approximately 11.76 Acres of land situated in the James Mcdonald 1/3 League Survey, Abstract No. 997
City of Mansfield,Tarrant County, TX
51 Single Family Lots, 4 Open Space Lots

ZC#21-008
July 2021

OWNER:
TESTUDO LAND, LLC
101 W GLADE RD, STE 109
EULESS, TX 76039
CONTACT: BAILEY BREWER
BAILEY@AHCMANAGEMENT.COM

DEVELOPER:
BAYLEY YANDELL DEVELOPMENT LTD.
1105 GLADE ROAD, SUITE 100
COLLEYVILLE, TX 7634
CONTACT: SHAWN GOFF
SHAWN.GOFF@GRAHAMHART.COM

ENGINEER & LANDSCAPE ARCHITECT

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tbpels registration/license number: 10088000
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arlington, texas 76010
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fax: 817-274-8757
www.mmatexas.com

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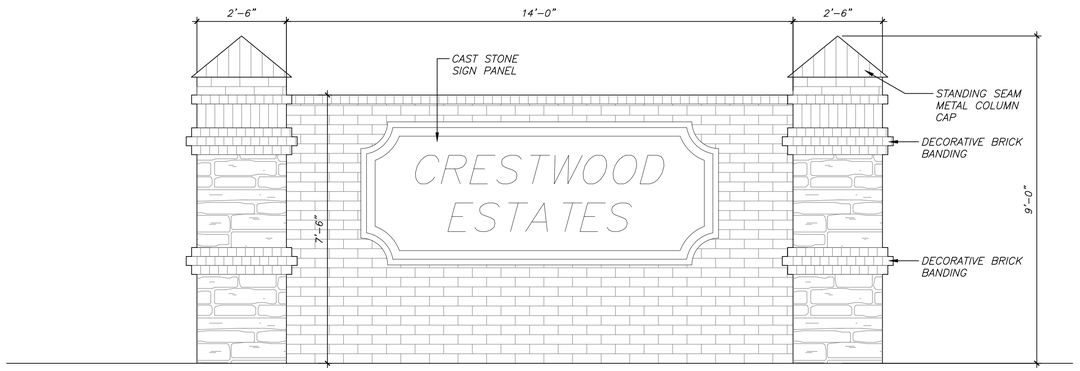
LAND USE SUMMARY TABLE	
LOT TYPE	PROPOSED LOT COUNT
50' X 100'	45
60' X 100'	6
OPEN SPACE LOT	4
TOTAL ACREAGE	11.76
GROSS DENSITY	4.3 UNIT/AC

TYPICAL LOT LAYOUT
N.T.S.

DEVELOPMENT STANDARDS	50' LOTS	60' LOTS
MINIMUM FLOOR AREA (SF)	1,800	2000
MAXIMUM LOT COVERAGE	45%	45%
MINIMUM LOT AREA (SF)	5000	6000
MINIMUM LOT WIDTH	50'	60'
MINIMUM LOT DEPTH	100'	100'
MINIMUM FRONT SETBACK	25'	25'
MINIMUM REAR SETBACK	10'	10'
MINIMUM INTERIOR SIDE YARD SETBACK	5'	5'
MINUMUM EXTERIOR SIDE YARD SETBACK	15'	15'
CORNER LOTS MUST BE A LEAST 10' WIDER THAN THE MINIMUM LOT WIDTH.		



MASONRY ENTRY WALL WITH SIGN PANEL

SCALE: 1/2" = 1'-0"

VICINITY MAP

NO SCALE

SUBDIVISION ENHANCED ENTRY

REQUIREMENT	REQUIRED	PROVIDED
1. BOULEVARD SECTION WITH MEDIAN	YES	STREET SECTION IS INSUFFICIENT FOR MEDIAN
2. ENHANCED PAVERS OR STAINED CONCRETE	YES	YES
3. DECORATIVE STREET LIGHTING AT THE ENHANCE ENTRYWAY IN CONFORMANCE WITH CITY STANDARDS	YES	YES
4. ENHANCED ARCHITECTURAL FEATURES	YES	YES
5 .ENHANCED FENCING AND LANDSCAPE FEATURES	YES	YES
6. USE SLIP ROADS ADJACENT TO ARTERIALS TO FRONT SOME HOMES ON OPEN SPACE	YES	NOT APPLICABLE

PLANT SCHEDULE ENTRY LANDSCAPE

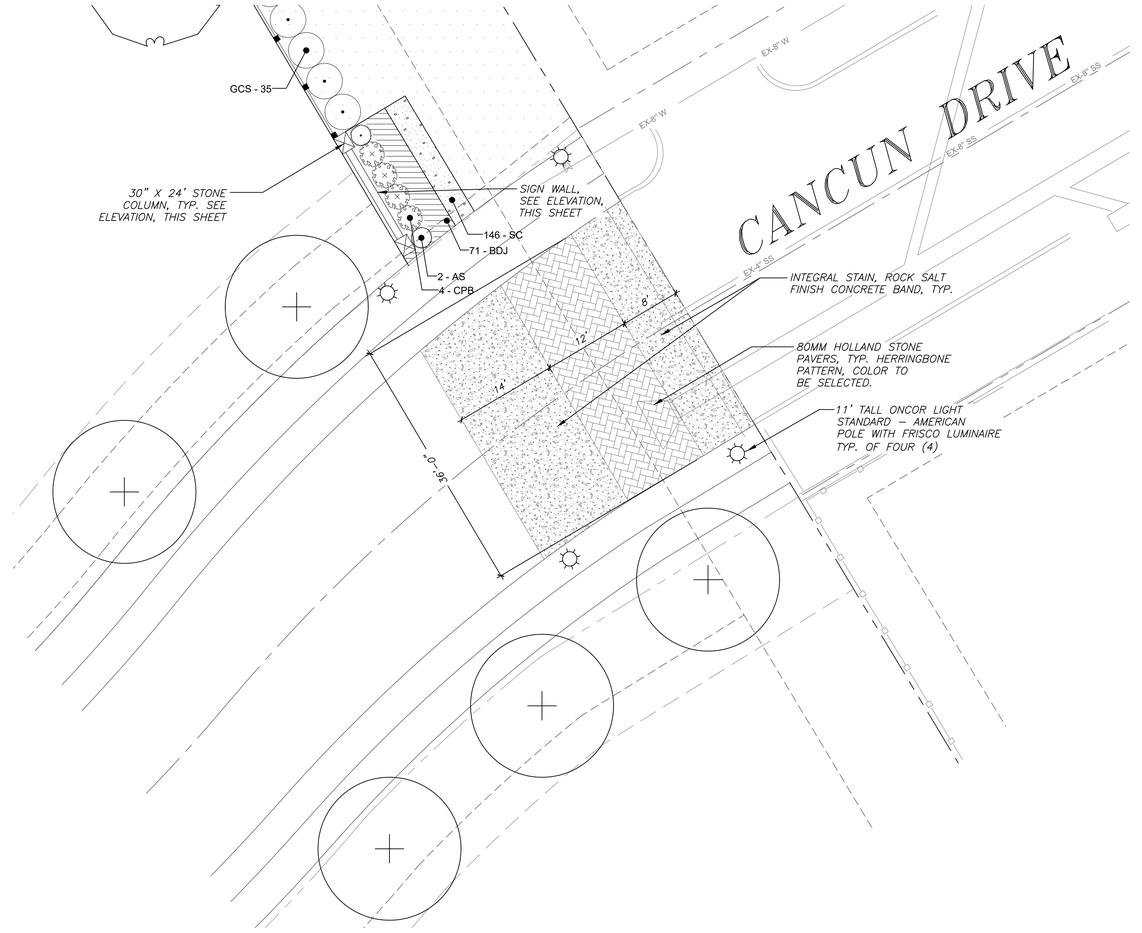
ORNAMENTAL TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL.
+	FPR	5	FOREST PANSY EASTERN REDBUD CERCIS CANADENSIS 'FOREST PANSY'	3" CAL.
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER
⊙	AS	2	AUTUMN SAGE 'RASPBERRY' SALVIA GREGGII	3 GAL.
⊛	CPB	5	CRIMSON PYGMY BARBERRY BERBERIS THUNBEGII 'CRIMSON PYGMY'	3 GAL.
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER
	BDJ	93	BLUE DART JUNCUS JUNCUS TENUIS 'BLUE DART'	6" POTS
	SC	166	SEASONAL COLOR SEASONAL COLOR	4" POTS

PLANT MATERIAL NOTES:

1. ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS, MATCHING CHARACTER, AND FULL BRANCHING STRUCTURE.
2. ALL SHRUBS TO BE FULL AND UNIFORM BY SPECIES WITH MATCHING CHARACTER AND BRANCHING STRUCTURE.
3. EACH PLANT VARIETY MUST COME FROM A SINGLE SOURCE SUPPLIER IN ORDER TO MAINTAIN A CONSISTENT APPEARANCE.
4. ALL TREES, B&B AND CONTAINER TO BE NURSERY GROWN STOCK, WITH A WELL ESTABLISHED ROOT SYSTEM. COLLECTED SPECIMENS WILL BE REJECTED. CONTAINER GROWN PLANT MATERIAL MUST HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER, ABLE TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
5. ALL PLANT MATERIAL SHALL COMPLY WITH THE MINIMUM REQUIREMENTS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN, TEXAS ASSOCIATION OF NURSERYMEN STANDARDS AND/OR AS STATED IN THE PLANT SCHEDULE, WHICHEVER IS MORE STRINGENT.

GENERAL UTILITY NOTES:

1. ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
2. CALL 1-800-344-8377 (DIG-TESS) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MYCOSKIE MCINNIS ASSOCIATES, INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.



LANDSCAPING AND ENTRYWAY PLAN

SCALE: 1" = 10'-0"

CRESTWOOD

EXHIBIT D-1
LANDSCAPING AND ENTRYWAY PLAN

ZC#21-008
July 2021

OWNER:

TESTUDO LAND, LLC
101 W GLADE RD, STE 109
EULESS, TX 76039
CONTACT: BAILEY BREWER
BAILEY@AHCMANAGEMENT.COM

DEVELOPER:

BAYLEY YANDELL DEVELOPMENT LTD.
1105 GLADE ROAD, SUITE 100
COLLEYVILLE, TX 7634
CONTACT: SHAWN GOFF
SHAWN.GOFF@GRAHAMHART.COM

ENGINEER & LANDSCAPE ARCHITECT

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Michael G. Martin
L.A.#2836
07/27/2021

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10 0 5 10 20

1 inch = 10 ft.

PLANT SCHEDULE

LARGE TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL.
	BC	7	BALD CYPRESS TAXODIUM DISTICHUM NURSERY GROWN	3" CAL.
	CE	9	CEDAR ELM ULMUS CRASSIFOLIA NURSERY GROWN	3" CAL.
	CP	2	CHINESE PISTACHE PISTACIA CHINENSIS NURSERY GROWN	3" CAL.
	CO	11	CHINQUAPIN OAK QUERCUS MUEHLENBERGII NURSERY GROWN	3" CAL.
	LAO	24	LACEY OAK QUERCUS LACEYI	3" CAL.
	LO	4	LIVE OAK QUERCUS VIRGINIANA NURSERY GROWN	3" CAL.
	MO	12	MONTEREY OAK QUERCUS POLYMORPHA NURSERY GROWN	3" CAL.
ORNAMENTAL TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL.
	FPR	9	FOREST PANSY EASTERN REDBUD CERCIS CANADENSIS 'FOREST PANSY'	3" CAL.
	PDC	42	PINK DAWN CHITALPA X CHITALPA TASHKENTENSIS 'PINK DAWN' NURSERY GROWN, SINGLE TRUNK, TREE FORM ONLY	3" CAL.
	SH	26	SAVANNAH HOLLY ILEX X ATTENUATA 'SAVANNAH' NURSERY GROWN	3" CAL.
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER
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	GCS	35	GREEN CLOUD TEXAS SAGE LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM	5 GAL.
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER
	BDJ	71	BLUE DART JUNCUS JUNCUS TENUIS 'BLUE DART'	6" POTS
	CB	64,910 SF	COMMON BERMUDA CYNODON DACTYLON	SOLID SOD OR HYDROMULCH
	SC	146	SEASONAL COLOR SEASONAL COLOR	4" POTS

LANDSCAPE MAINTENANCE:

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RESIDENTIAL LOT NOTES:

1. EACH RESIDENTIAL LOT SHALL RECEIVE A TREE LOCATED IN THE FRONT AND REAR YARD
2. EACH RESIDENTIAL LOT SHALL HAVE SHRUBS PLANTED ALONG A MINIMUM OF 50% OF THE LENGTH OF THE DWELLING UNIT THAT FACES THE STREET.
3. EACH RESIDENTIAL LOT SHALL RECEIVE GRASS IN THE FRONT, SIDE AND REAR YARDS, ADJACENT TO THE HOUSE AND OUTSIDE OF ANY REAR YARD FENCING
4. EACH RESIDENTIAL LOT SHALL RECEIVE AN UNDERGROUND, AUTOMATIC, IRRIGATION SYSTEM.

PLANT MATERIAL NOTES:

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5. ALL PLANT MATERIAL SHALL COMPLY WITH THE MINIMUM REQUIREMENTS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN, TEXAS ASSOCIATION OF NURSERYMEN STANDARDS AND/OR AS STATED IN THE PLANT SCHEDULE, WHICHEVER IS MORE STRINGENT.

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TREE SURVEY PLAN

SCALE: 1" = 50'-0"

VICINITY MAP

NO SCALE

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Michael G. Martin
L.A.#2836
07/27/2021

50 0 25 50 100

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CRESTWOOD

TREE SURVEY

ZC#21-008
July 2021

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CONTACT: JACOB SUMPTER, AICP

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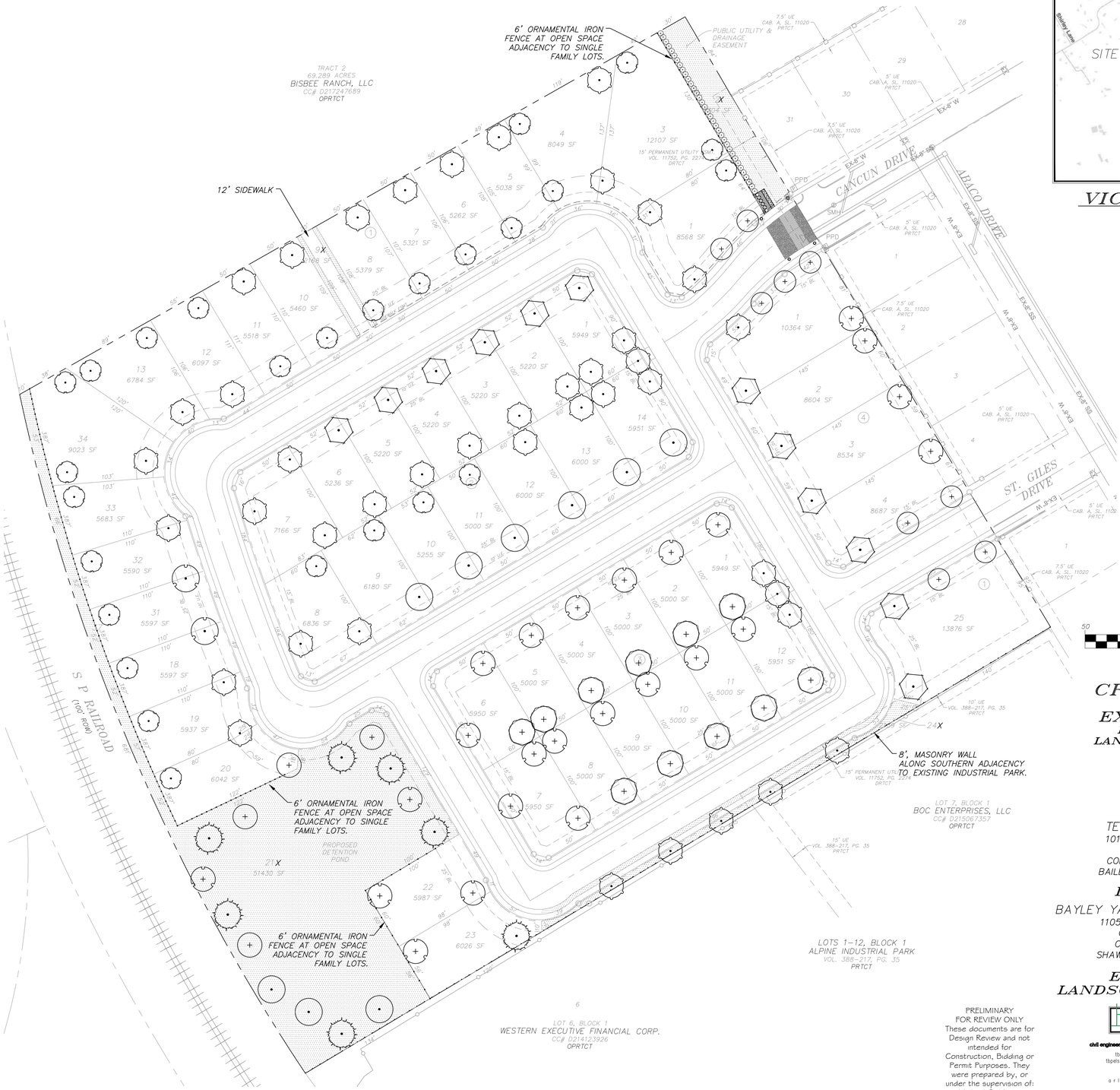

FENCING AND LANSCAPING PLAN

SCALE: 1" = 50'-0"

VICINITY MAP

NO SCALE

1 inch = 50 ft.

CRESTWOOD

EXHIBIT C-2
FENCING AND LANDSCAPING PLAN

ZC#21-008
July 2021

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Michael G. Martin
L.A.#2836
06/17/2021

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CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4293

Agenda Date: 9/20/2021 **Version:** 1 **Status:** Public Hearing

In Control: Planning and Zoning Commission **File Type:** Ordinance

Agenda Number:

Title

OA#21-0021: Public hearing to consider a zoning change from various districts to D, Downtown District and Amending the Mansfield Code of Ordinances by Amending Special Purpose District Regulations and Creating a New Section 155.071 "Form-Based Code Districts" and Section 155.072 "D, Downtown District". The amendments necessary also including Amending Certain Sections Necessary to Enable the D, Downtown District and Repealing C-4 Downtown District and All References Related Thereto.

Description/History

The D, Downtown District is a coherent and coordinated response to multiple economic development and urban planning efforts to make Historic Downtown Mansfield more attractive to investment and to restore the district and its immediate environs to its traditional role as the community center for business, commerce, and neighborhood life. The City of Mansfield efforts are captured in: the Design Guidelines for Downtown Mansfield (1991); the Downtown Design Plan (1995); the Historic Resource Survey (1998); the Mansfield Historic Preservation Plan (1999); the Discover Historic Mansfield Action Plan (2008); the Historic Mansfield Implementation Plan (2013); and the Mansfield Downtown Development Strategies (2020). In particular, the Mansfield Downtown Development Strategies recommended the adoption of a new zoning district as a key objective to fulfill the community's vision for a walkable, multi-generational, mixed-use, and prosperous downtown. Further, the City prioritized this common vision and collective effort of public and private actors by including it within the Fiscal Year 2020-2021 Goals and Objectives.

Towards that end, the creation of a new zoning district, the D, Downtown District, is intended to preserve the traditional development patterns on approximately 228.78 acres inclusive of and immediately surrounding Historic Downtown Mansfield. The D, Downtown District is a form-based code; and it is keyed to a regulating plan that encourages diversity in land use and disciplined by a set of flexible development standards.

The new district is form-based and establishes four distinct zones to guide infill and redevelopment proposals at a variety of scales: D-1, sub-urban zone which is intended to be primarily residential with limited commercial activity adjacent to higher intensity zones; D-2, urban transition zone which supports a mixed-use, but primarily residential urban fabric; D-3, urban center zone which is high-intensity mixed-use zone; and SD-1, Broad

Street Corridor which is primarily commercial and encourages the adaptive reuse of historic homes from residential to commercial use.

The four districts constituting the D, Downtown District, follow the principles of transect-based urbanism; an urban planning model that increases development intensity from the least urban to the most urban. As employed in the proposed text of the D, Downtown District, the intensity of development increases from the sub-urban edges (i.e., D-1 zones) towards the defined urban center along Main Street (i.e., D-3 zones). Special consideration has been provided to deliver an adaptive and innovative code that places higher importance on the form and function of the built environment (e.g., the aesthetic design and quality of buildings and public spaces), as opposed to use only. This allows for a district-wide block-by-block review of development, rather than a lot-by-lot focus found in Euclidean or conventional zoning that significantly increase the challenges for creating or preserving remarkable places like Historic Downtown Mansfield. Like conventional zoning ordinances, the code regulates building use, building setback, building height and parking requirements, but with an increased emphasis on the aesthetic design and quality of streetscapes, civic spaces, and buildings.

This D, Downtown District is created with the explicit intention of retaining and attracting residents and businesses to create a distinct environment that is mixed-use, visually harmonious, and walkable. Some of the key provisions of this district include the following:

- The elimination of minimum lot sizes and lot widths to promote variety in development.
- An increase in building height to encourage variety in architecture.
- A reduction in building setbacks to ensure buildings define streets and civic spaces.
- An improved flexibility in building use.
- The introduction of building frontages to determine building typology and building use.
- The introduction of passive space to increase pedestrian activity in areas encouraging commercial and mixed-use.
- The provision of architectural standards that are derived from traditional construction technique.
- The provision of warrants to expedite development review by allowing administrative approval of deviations from the code that are justified by their purpose and consistency with the vision for Historic Downtown Mansfield.

In sum, the primary purpose of this district is to enable and encourage increased private investment in the historic downtown and in its immediate environs. It is further the purpose of this district to build on the work protecting the historic and cultural heritage of the historic downtown for the inheritance of future generations. The following policies provide further clarification on the purpose of this district:

1. That mixed-use development should be enabled and encouraged as a pattern of development to increase the residential density and the intensity of activity within the historic downtown in support of viable and diverse locally-oriented businesses and cultural institutions.

2. That development within the historic downtown should be attractive to the past, the present, and the future generations, and allow them to participate in its economic growth.
3. That small-scale, incremental development should be promoted and encouraged alongside larger development.
4. That building regulations should equitably balance the rights of the individual and the interests of the community as a whole.
5. That building form individually and collectively defines and supports the public realm.
6. That building configuration should support walkability, safe streets, and safe public spaces, creating pedestrian friendly neighborhoods.
7. That building configuration should define streets and public spaces as rooms, and should vary by context and intensity in coordination with neighboring properties.
8. That the harmonious and orderly evolution of the historic downtown and its surrounding areas should be secured through regulating the form of buildings.

Schedule of Community Outreach and Meetings:

- **August 9, 2021:** Presented the first draft of the D, Downtown District to the City Council during Work Session and received their direction and guidance.
- **August 19, 2021:** The first two community stakeholder meetings were held at the Farr Best Theater --- one in the morning and the other in the evening (invitations were mailed to all property owners about the dates and times for all community stakeholder meetings and announcements were made publicly and on various social media platforms).
- **August 26, 2021:** The third and final community stakeholder held at Farr Best Theater in the evening.
- **September 13, 2021:** A Joint City Council and Planning and Zoning Commission Work Session held regarding community feedback on the proposed district an subsequent rezoning.
- **September 20, 2021:** The Planning and Zoning Commission conducts a public hearing regarding the text of the proposed D, Downtown District and the subsequent rezoning of Historic Downtown Mansfield and portions of its immediate environs to the D, Downtown District.
- **September 27, 2021:** The City Council will conduct a First Reading and Public Hearing on the text of the proposed D, Downtown District and subsequent rezoning of Historic Downtown Mansfield and portions of its immediate environs to the D, Downtown District.
- **October 11, 2021:** The City Council will conduct a Second (Final) Reading and Second (Final) Public Hearing.

Recommendation

Staff recommends approval.

Attachments:

Draft Ordinance for D, Downtown District
Exhibit A Legal Description of Properties Being Rezoned
Exhibit B Map of Proposed Rezoning: D, Downtown Districts

Exhibit C D, Downtown District Standards
Exhibit D Changes to Section 155.055 (B)(2), table
Exhibit E Changes to 155.090 (D)(1), table

Map, Existing Zoning

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE CODE OF ORDINANCES OF THE CITY OF MANSFIELD, "ZONING", AS HERETOFORE AMENDED, BY AMENDING SPECIAL PURPOSE DISTRICT REGULATIONS AND CREATING A NEW SECTION 155.071 "FORM-BASED CODE DISTRICTS" AND SECTION 155.072 "D, DOWNTOWN DISTRICT" REGULATIONS AND THUS ADOPT BY REFRENCE A FORM-BASED CODE, CONTAINING ITS OWN USE CHART, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO "D", DOWNTOWN DISTRICT AND TO ADD SEPARATE ZONES WITHIN THE DISTRICT; AMENDING CERTAIN SECTIONS NECESSARY TO ENABLE THE D DOWNTOWN DISTRICT; REPEALING C-4 DOWNTOWN DISTRICT AND ALL REFERENCES RELATED THERETO; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Downtown Mansfield has been a part of various planning efforts including the Design Guidelines for Downtown Mansfield (1991), Downtown Design Plan (1995), Historic Resource Survey (1998), Mansfield Historic Preservation Plan (1999), Discover Historic Mansfield Action Plan (2008), Historic Mansfield Implementation Plan (2013), and the Mansfield Downtown Development Strategies (2020), and;

WHEREAS, the vision of Historic Downtown Mansfield has been identified as a vibrant destination and livable center that supports a range of businesses, housing options, and activities for all ages, within the Mansfield Downtown Development Strategies, and;

WHEREAS, the City of Mansfield Downtown Development Strategies provides for regulatory strategies including the creation of a Downtown Zoning District, and;

WHEREAS, the purpose of the D, Downtown District, is to "enable and encourage increased private investment" and to "build on the work protecting the historic and cultural heritage of the historic downtown for the inheritance of future generations, and;

WHEREAS, the Downtown District is intended to a create pedestrian oriented mixed-use district and further promote desirable development that is consistent with the urban design and economic development goals for the City of Mansfield, and;

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS AS FOLLOWS:

SECTION 1.

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new zoning classification of D, Downtown District, inclusive of separate zones, for form-based development, said property being depicted in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2.

That the D, Downtown Districts be established as shown in Exhibit "B", establishing separate zones, and retaining existing Historic Landmark Overlay designations and establishing a TOD District Overlay.

SECTION 3.

That Section 155.065 of the Code of Ordinances, "Special Purpose District Regulations", is hereby amended by adding section 155.071 "Form-Based Code Districts" and section 155.072 "D, Downtown District".

SECTION 4.

That Section 155.071 establish the use and development of the hereinabove described property shall be in accordance with the D, Downtown District Standards shown in Exhibit "C" attached hereto and made a part hereof for all purposes by reference.

SECTION 5.

That Section 155.021 of the Code of Ordinances, "Zoning," is hereby amended by deleting "C-4 Downtown Business District" and adding "D, Downtown District".

§ 155.021 ZONING DISTRICTS ENUMERATION.

For the purpose of this chapter, all land and water areas in Mansfield are hereby divided into zoning districts which shall be designated as follows:

PR	Pre-Development District
A	Agricultural District
SF-5AC/24	Single-Family Residential District - five acre lots minimum
SF-12/22	Single-Family Residential District - 12,000 sq. ft. lots minimum
SF-9.6/20	Single-Family Residential District - 9,600 sq. ft. lots minimum

SF-8.4/18	Single-Family Residential District - 8,400 sq. ft. lots minimum
SF-8.4/16	Single-Family Residential District - 8,400 sq. ft. lots minimum
SF-7.5/18	Single-Family Residential District - 7,500 sq. ft. lots minimum
SF-7.5/16	Single-Family Residential District - 7,500 sq. ft. lots minimum
SF-7.5/12	Single-Family Residential District - 7,500 sq. ft. lots minimum
SF-6/12	Garden Home District - 6,000 sq. ft. lots minimum
2F	Two Family Residential District - 3,750 sq. ft. per unit minimum
MF-1	Multi-family Residential District - 12 units per acre maximum
MF-2	Multi-family Residential District - 18 units per acre maximum
OP	Office Park District
C-1	Neighborhood Business District
C-2	Community Business District
C-3	Commercial-Manufacturing District
~~C-4~~	~~Downtown Business District~~
D	Downtown District
I-1	Light Industrial District
I-2	Heavy Industrial District
FR	Freeway Overlay District
MH	Manufactured Home District
PD	Planned Development District

SECTION 6.

That Section 155.051 of the Code of Ordinances, "Zoning," is hereby amended by replacing C-4, Downtown Business District Regulations with D, Downtown District Regulations to read as follows:

§ 155.051 D, DOWNTOWN DISTRICT REGULATIONS.

(A) *General purpose and description.*To enable and encourage increased private investment in the historic downtown and in its immediate environs. It is further the purpose of this district to build on the work protecting the historic and cultural heritage of the historic downtown for the inheritance of future generations.

(B) *Permitted uses.* Any uses permitted in the D District.

(C) *Area and height regulations.* Area and height regulations in the D, Downtown District are set forth in §155.___.

SECTION 7.

That Section 155.055(B)(2) of the Code of Ordinances, "Zoning," is hereby amended by deleting the row for the C-4 District from the "Non-Residential Districts" table as shown on Exhibit "D", attached hereto and made a part hereof for all purposes.

SECTION 8.

That Section 155.055(C)(9) of the Code of Ordinances, "Zoning," is hereby amended by deleting Sub-paragraph (9) in its entirety and renumbering the remaining sub-paragraphs accordingly.

SECTION 9.

That Section 155.056(A) of the Code of Ordinances, "Zoning," is hereby amended to read as follows:

(A) *Exterior construction materials for development in the OP, C-1 through C-3 Zoning Districts and the I-1 and I-2 Freeway Overlay Zoning Districts.*

SECTION 10.

That Section 155.056(A)(2) of the Code of Ordinances, "Zoning," is hereby amended by deleting Sub-paragraph 2 in its entirety and renumbering the remaining sub-paragraphs accordingly.

SECTION 11.

That Section 155.067(A) of the Code of Ordinances, "Zoning," is hereby amended to read as follows:

(A) General purpose and description. This district shall function as an overlay zoning district the regulations of which are superimposed and shall supersede the regulations of an approved standard zoning district; such standard zoning districts identified as the PR, A, SF-5AC/24, SF-12/22, SF-9.6/20, SF-8.4/18, SF-8.4/16, SF-7.5/18, SF-7.5/16, SF-7.5/12, SF-6/12, 2F, MF-1, MF-2, OP, C-1, C-2, C-3, I-1, I-2, MH and PD District. Where provisions of the "FR", Freeway Overlay Districts shall be applicable to any property which is adjacent to and within 300 feet of the right-of-way lines of a highway abutting a FR District in the City of Mansfield, the "FR" District is created as an overlay district whereby it is recognized that certain specific standards relative to land use, set backs, signage, etc. are appropriate and necessary that such standards shall be superimposed and shall supersede the regulation of an approved standard zoning district. Where such district regulations are in conflict with the provisions of these sections, all regulations of the approved standard zoning districts shall be in effect except as identified in this section.

SECTION 12.

That Section 155.067(C)(1) of the Code of Ordinances, "Zoning," is hereby amended to read as follows:

(1) Any use identified in the MH or I-2 district unless otherwise permitted.

SECTION 13.

That Section 155.070(A)(1) of the Code of Ordinances, "Zoning," is hereby amended to read as follows:

(1) This district shall function as an overlay zoning district the regulations of which are superimposed and shall supersede the regulations of an approved standard zoning district; such standard zoning districts identified as PR, A, SF-5AC/24, SF-12/22, SF- 9.6/20, SF-8.4/18, SF-8.4/16, SF-7.5/18, SF-7.5/16, SF-7.5/12, SF-6/12, 2F, MF-1, MF-2, OP, C-1, C-2, C-3, I-1, I-2, MH and PD District.

SECTION 14.

That Section 155.090(D)(1) of the Code of Ordinances, "Zoning," is hereby amended by revising the "Permanent Signs" table as shown on Exhibit "E", attached hereto and made a part hereof for all purposes.

SECTION 15.

That Section 155.091(B)(3) of the Code of Ordinances, "Zoning," is hereby amended to read as follows:

(3) Required off-street parking for residential uses in any PR, Single-Family Residential, 2F, MF-1 and MF-2 Districts shall be provided on the lot or tract occupied by the use being served. For non-residential uses in the aforementioned districts and for permitted uses in all other zoning districts, off-street parking shall be provided on the lot or tract occupied by the use being served or upon a tract dedicated to parking use by an instrument filed for record and consolidated under a single certificate of occupancy with the main use. Such off-premise parking facility shall be located in the same or less restrictive zoning district as the use being served, and all or part of such facility shall be located within a distance not to exceed 300 feet to an entrance to the building or use being served, measured along the shortest available pedestrian route with public access.

SECTION 16.

That Section 155.091(B)(6)(b) of the Code of Ordinances, "Zoning," is hereby amended to read as follows:

(b) The construction of head-in parking as described in division (a) above shall be prohibited hereafter. All such head-in parking facilities in existence at the time of the enactment of this section are hereby declared to be a nonconforming use of land subject to the provisions of § 155.098.

SECTION 17.

That Section 155.091(B)(13) of the Code of Ordinances, "Zoning," is hereby amended to read as follows:

(13) All facilities used for parking, loading, unloading, driveways and all other vehicular access shall have a pavement constructed of concrete and comply with all applicable Fire Code and City Engineering Standards; except those for a single-family residential property that is required to provide a fire apparatus access driveway may be constructed of alternative equivalent strength material approved by the Director of Planning, provided that the drive approach from the street be constructed of concrete. The pavement shall always be maintained in good condition and repair.

SECTION 18.

That Section 155.091(B)(34) of the Code of Ordinances, "Zoning," is hereby amended by deleting Sub-paragraph (34) in its entirety and renumbering the remaining sub-paragraphs accordingly.

SECTION 19.

That Section 155.091(F)(6) of the Code of Ordinances, "Zoning," is hereby amended by deleting Sub-paragraph (6) in its entirety.

SECTION 20.

That Section 155.092(O) of the Code of Ordinances, "Zoning," is hereby amended to read as follows:

(O) *Buffer yard and screening.* All developments are required to provide buffer yards and

screening in accordance with the provisions of this section.

SECTION 21.

That Section 155.092(R)(5) of the Code of Ordinances, "Zoning," is hereby amended to read as follows:

(5) Notwithstanding the above, parking lots for a church, school or government facility shall provide internal landscaping only when such parking lots contain 20 or more parking spaces and only at a ratio of one canopy tree for every 20 parking spaces.

SECTION 22.

That Sections 155.093(A)(2) and 155.093(A)(2)(b) of the Code of Ordinances, "Zoning," are hereby amended to read as follows:

(1) *Non-residential development.* The provisions in this section shall apply to new buildings or new developments in the OP, C-1 through C-3 Zoning Districts, Planned Developments and in the I-1 or I-2 Zoning Districts that are within the Freeway Overlay District or within 300 feet from the boundary of any property in a residential zoning classification or a PR zoning classification.

…

(b) For new buildings and developments with building permit applications submitted on or after September 14, 2004, parapet walls or other similar architectural elements shall be constructed to a height of not less than one foot above the horizontal plane of the highest (after-installation height) roof-mounted mechanical unit, HVAC and/or other equipment (e.g. satellite dishes, solar panels, etc.). If free clearance or otherwise unobstructed flow of space is required by the Fire or Building Code, equipment should be positioned within the parapet wall so as not to be visible from the street or abutting properties.

SECTION 23.

That Sections 155.101(G)(3) and 155.101(G)(5) of the Code of Ordinances, "Zoning," are hereby amended to read as follows:

(1) *Full Commercial "FC".* Property within the OP, C-1, C-2 or C-3 zoning districts, which is located more than 600 feet from an A, SF-5AC/24, SF-12/22, SF-9.6/20, SF-8.4/18, SF-8.4/16, SF-7.5/18, SF-7.5/16, SF-7.5/12, SF-6/12, 2F, MF-1, MF-2, MH or PR zoning district.

…

(5) *Edge Commercial "EC".* Property within the OP, C-1, C-2 or C-3 zoning districts, which is located within 600 feet of an A, SF-5AC/24, SF-12/22, SF-9.6/20, SF-8.4/18, SF-8.4/16, SF-7.5/18, SF-7.5/16, SF-7.5/12, SF-6/12, 2F, MF-1, MF-2, MH or PR zoning district.

SECTION 24.

This ordinance shall be cumulative of all other ordinance of the Code of Mansfield, Texas, as amended, affecting zoning and shall not repeal any of the provisions of such ordinance, except those instances where provisions of such ordinance are in direct conflict with the provisions of this ordinance.

SECTION 25.

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 26.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 27.

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars ($2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 28.

This ordinance shall take effect immediately from and after its passage on second and final reading and the publication of the caption, as the law and charter in such cases provide.

First reading approved on the _____ day of _____, 2021.

DULY PASSED on the second and final reading by the City Council of the City of Mansfield, Texas, this _____ day of _____, 2021.

_____
Michael Evans, Mayor

ATTEST:

_____

Susana Marin, City Secretary

APPROVED AS TO FORM AND LEGALITY:

_____

Allen Taylor, City Attorney

EXHIBIT "A"

Approximately 228.78 acres, being properties in the Properties in the Original Town of Mansfield filed in Volume 63, Page 53 and subsequent replats of certain lots in the Original Town of Mansfield PRTCT; Lot A, J.R. Kelly Addition PRTCT; a portion of Lot 3, Block 1, Nowell Addition filed in Cabinet B, Slide 838 PRTCT; Lot 6R, Block 45, Perez Addition filed in Instrument No. D219085669 PRTCT; Lot 1, Velma Smith Estates filed in Cabinet A, Slide 255 PRTCT; Lot 1, Block 1, Rountree Addition filed in Cabinet A, Slide 771 PRTCT; Lot 2 Block 1, Rountree Addition filed in Cabinet A, Slide 1060 PRTCT; Lot 3, Block 1, Rountree Addition filed in Cabinet A, Slide 1635 PRTCT; Lot 1-R-1, Block 2, Rountree Addition filed in Cabinet A, Slide 6164, PRTCT; Lot 1, Block 1, Hardin's Station Addition filed in Instrument No. D220192615; and tracts situated in the F.B. Waddnell Survey, Abstract No. 1658 and the T.J. Hanks Survey, Abstract No. 644; City of Mansfield, Tarrant County, Texas, including the properties listed below as identified on the Tarrant County Appraisal District tax roll and further indicated by the attached map.

PARCEL ID NUMBER	PROPERTY ADDRESS	SUBDIVISION OR SURVEY NAME	BLOCK OR ABSTRACT NUMBER	LOT OR TRACT NUMBER	ADDITIONAL INFORMATION
22388--A1	718 NORTH ST	KELLY, J R ADDITION	LOT A1	HOMESTEAD	
A 644-16C	715 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 16C	
A 644-17A01	606 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 17A01	ABST 644 TR 17A1
36629-1-2B	320 N MAIN ST	ROUNTREE ADDITION	BLK 1	LOT 2B	
A 644-17B01	604 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 17B01	ABST 644 TR 17B1
A 644-17B	600 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 17B	
A1658-8	320 SMITH ST	WADDELL, F B SURVEY	A 1658	TR 8	ABST 1658 TR 8 HS
A 644-16A	605 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 16A,	16G & 17D
A 644-17	408 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 17	HS PORTION
24750-44-11	205 VAN WORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 11	& 12
24750-44-10	205 NORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 10	
24750-45-A	206 NORTH ST	MANSFIELD, CITY OF	BLK 45	LOT A	
24750-45-E4A	209 N MAIN ST	MANSFIELD, CITY OF	BLK 45	LOT E4A	
24750-45-B	204 NORTH ST	MANSFIELD, CITY OF	BLK 45	LOT B	
24750-14-2C	307 E BROAD ST	MANSFIELD, CITY OF	BLK 14	LOT 2C	
24750-14-2A	309 E BROAD ST	MANSFIELD, CITY OF	BLK 14	LOT 2A	
24750-16-3-10	507 E BROAD ST	MANSFIELD, CITY OF	BLK 16	LOT 3	S 172' LOT 3
24750-13-5B	301 E BROAD ST	MANSFIELD, CITY OF	BLK 13	LOT 5B	
24750-1-8A	108 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 8A	
24750-2-8B	107 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 8B	
24750-12-5	102 SMITH ST	MANSFIELD, CITY OF	BLK 12	LOT 5	& 7A
24750-1-8B	104 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 8B	& 9A
24750-2-9A	103 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 9A	
24750-15-2	403 E BROAD ST	MANSFIELD, CITY OF	BLK 15	LOT 2	
24750-5-16A	106 E KIMBALL ST	MANSFIELD, CITY OF	BLK 5	LOT 16A	
13840--2	307 GRAVES ST	FIRST BAPT CHURCH-MANSFIELD	LOT 2		
24750-5-1A	100 W KIMBALL ST	MANSFIELD, CITY OF	BLK 5	LOT 1A	1B & 2A
24750-22-16B	301 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 16B,17B,18B,	& 19B S 95' OF LOTS 16-19
A 644-16D	611 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 16D	& 16E
A 644-17C	412 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 17C	ABST 644 TR 17C
A 644-16A	605 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 16A,	16G & 17D

PARCEL ID NUMBER	PROPERTY ADDRESS	SUBDIVISION OR SURVEY NAME	BLOCK OR ABSTRACT NUMBER	LOT OR TRACT NUMBER	ADDITIONAL INFORMATION
36629-1-2A	309 SMITH ST	ROUNTREE ADDITION	BLK 1	LOT 2A	
A 644-16A	605 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 16A,	16G & 17D
36629-2-1R1	302 SMITH ST	ROUNTREE ADDITION	BLK 2	LOT 1R1	
36629-1-1B	305 SMITH ST	ROUNTREE ADDITION	BLK 1	LOT 1B	
36629-1-3	301 SMITH ST	ROUNTREE ADDITION	BLK 1	LOT 3	
24750-45-11B	110 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 11B	12 13 & 17
24750-62-2A	219 SMITH ST	MANSFIELD, CITY OF	BLK 62	LOT 2A,	3 & ABANDON ST ORD # 315
A1658-22	115 DEPOT ST	WADDELL, F B SURVEY	A 1658	TR 22	
24750-62-1A	100 VAN WORTH ST	MANSFIELD, CITY OF	BLK 62	LOT 1A	& 4A
24750-45-11A	106 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 11A	
24750-44-25	303 NORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 25	
24750-45-15	112 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 15	& 16
24750-63-3	200 SYCAMORE ST	MANSFIELD, CITY OF	BLK 63	LOT 3	THRU 5
24750-63-6	223 DEPOT ST	MANSFIELD, CITY OF	BLK 63	LOT 6	7 & 8
24750-61-4A	213 SMITH ST	MANSFIELD, CITY OF	BLK 61	LOT 4A	
24750-45-3A	103 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 3A	4A & 5B & BLK 61 LTS PART OF LTS
24750-45-4B	107 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 4B	5A 6A & 7B
24750-63-1	210 SMITH ST	MANSFIELD, CITY OF	BLK 63	LOT 1	& 2A
24750-63-2B	217 SYCAMORE ST	MANSFIELD, CITY OF	BLK 63	LOT 2B	& BLK 64 LOT 4A1
24750-61-3A	209 SMITH ST	MANSFIELD, CITY OF	BLK 61	LOT 3A	
24750-44-16	309 VAN WORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 16	& 15B
24750-44-14A	305 VAN WORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 14A	& 15A
24750-44-17	W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 17	
24750-44-13	301 VAN WORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 13	& 14B
24750-64-4B	206 SMITH ST	MANSFIELD, CITY OF	BLK 64	LOT 4B	& 4C
24750-61-2A	207 SMITH ST	MANSFIELD, CITY OF	BLK 61	LOT 2A	& 3B (N 8' LT2 & S 42' LT 3)
24750-45-C	202 NORTH ST	MANSFIELD, CITY OF	BLK 45	LOT C	
24750-44-8	306 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 8	& 9
24750-44-7	304 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 7	& 6B
24750-44-6A	302 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 6A	
24750-45-E1	205 N MAIN ST	MANSFIELD, CITY OF	BLK 45	LOT E1	
24750-44-5	300 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 5	
24750-44-4	210 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 4	
24750-44-3	208 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 3	
24750-44-2	206 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 2	
24750-44-00	204 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 00	
24750-44-1B	202 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 1B	
24750-44-1A	200 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 1A	
24750-61-2B	202 N MAIN ST	MANSFIELD, CITY OF	BLK 61	LOT 2B	& BLK 45 LT 2A (S 70' N 80' LT
24750-45-E2	102 W OAK ST	MANSFIELD, CITY OF	BLK 45	LOT E2	& E4B
24750-45-E3	201 N MAIN ST	MANSFIELD, CITY OF	BLK 45	LOT E3	
24750-45-D	104 W OAK ST	MANSFIELD, CITY OF	BLK 45	LOT D	

PARCEL ID NUMBER	PROPERTY ADDRESS	SUBDIVISION OR SURVEY NAME	BLOCK OR ABSTRACT NUMBER	LOT OR TRACT NUMBER	ADDITIONAL INFORMATION
24750-45-2B	105 E OAK ST	MANSFIELD, CITY OF	BLK 45	LOT 2B	& BLK 61 LT 2C (BLK 45 S 70' LO
24750-39-1A	115 N 4TH AVE	MANSFIELD, CITY OF	BLK 39	LOT 1A	& PT CLOSED ST
24750-38-1A	108 N 4TH AVE	MANSFIELD, CITY OF	BLK 38	LOT 1A	& LOT 2A & 2B & PT CLOSED ST
24750-64-4E	109 ELM ST	MANSFIELD, CITY OF	BLK 64	LOT 4E	
24750-64-3A	118 SMITH ST	MANSFIELD, CITY OF	BLK 64	LOT 3A	& 4D (N 57' OF LOT 3)
24750-4-16	305 W OAK ST # A	MANSFIELD, CITY OF	BLK 4	LOT 16	
24750-4-15	113 N 2ND AVE	MANSFIELD, CITY OF	BLK 4	LOT 15	
24750-4-4	107 N 1ST AVE	MANSFIELD, CITY OF	BLK 4	LOT 4	THRU 7
24750-3-15A	107 W OAK ST # A	MANSFIELD, CITY OF	BLK 3	LOT 15A	& 14A1
24750-3-7C	111 WALNUT ST	MANSFIELD, CITY OF	BLK 3	LOT 7C	8 9 10 11 & LOTS 13B1 14B & 15B
24750-2-1A	139 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 1A	
24750-1-1	138 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 1	
24750-4-14B	109 N 2ND AVE	MANSFIELD, CITY OF	BLK 4	LOT 14B	
24750-39-2B	111 N 4TH AVE	MANSFIELD, CITY OF	BLK 39	LOT 2B	
24750-4-17	108 N 3RD AVE	MANSFIELD, CITY OF	BLK 4	LOT 17	
24750-3-13B	110 N 1ST AVE # A	MANSFIELD, CITY OF	BLK 3	LOT 13B	& 14A2
24750-3-12	108 N 1ST AVE	MANSFIELD, CITY OF	BLK 3	LOT 12	& 13A
24750-4-14A	107 N 2ND AVE	MANSFIELD, CITY OF	BLK 4	LOT 14A	
24750-39-3	109 N 4TH AVE	MANSFIELD, CITY OF	BLK 39	LOT 3	& 7
24750-2-1B	137 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 1B	
24750-64-1	109 SMITH ST	MANSFIELD, CITY OF	BLK 64	LOT 1	
24750-2-2A	131 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 2A	
24750-4-13	105 N 2ND AVE	MANSFIELD, CITY OF	BLK 4	LOT 13	& 18
24750-38-1A	108 N 4TH AVE	MANSFIELD, CITY OF	BLK 38	LOT 1A	2A & 2B & PT CLOSED ST
24750-2-2B	127 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 2B	& 3A
24750-3-7A	106 N 1ST AVE	MANSFIELD, CITY OF	BLK 3	LOT 7A	
24750-2-3B	123 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 3B	
24750-1-3B	128 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 3B	
24750-2-4A	119 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 4A	
24750-38-2C	406 W BROAD ST	MANSFIELD, CITY OF	BLK 38	LOT 2C	& 3A
24750-1-4A	126 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 4A	
24750-2-4B	117 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 4B	& 5A
24750-38-3C	103 N 3RD AVE	MANSFIELD, CITY OF	BLK 38	LOT 3C	
24750-39-8A	105 N 4TH AVE	MANSFIELD, CITY OF	BLK 39	LOT 8A	
24750-3-6A1	104 N 1ST AVE	MANSFIELD, CITY OF	BLK 3	LOT 6A1	& 7B
24750-1-4B	124 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 4B	
24750-12-4R	110 ELM ST	MANSFIELD, CITY OF	BLK 12	LOT 4R	
24750-13R-1	201 E BROAD ST	MANSFIELD, CITY OF	BLK 13R	LOT 1	
24750-3-7A1	105 WALNUT ST	MANSFIELD, CITY OF	BLK 3	LOT 7A1	6B & 7A2
24750-1-5A	118 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 5A	& 5B
24750-2-5B	115 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 5B	& 6A

PARCEL ID NUMBER	PROPERTY ADDRESS	SUBDIVISION OR SURVEY NAME	BLOCK OR ABSTRACT NUMBER	LOT OR TRACT NUMBER	ADDITIONAL INFORMATION
24750-4-2	103 N 1ST AVE	MANSFIELD, CITY OF	BLK 4	LOT 2	
24750-38-3C1	400 W BROAD ST	MANSFIELD, CITY OF	BLK 38	LOT 3C1	
24750-39-5B	103 N 4TH AVE	MANSFIELD, CITY OF	BLK 39	LOT 5B	
24750-15-3	400 ELM ST	MANSFIELD, CITY OF	BLK 15	LOT 3	
24750-1-5C	116 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 5C	
24750-3-5B	102 N 1ST AVE	MANSFIELD, CITY OF	BLK 3	LOT 5B	& 6A
24750-12-9A	106 SMITH ST	MANSFIELD, CITY OF	BLK 12	LOT 9A	& 10
24750-12-9B	106 SMITH ST	MANSFIELD, CITY OF	BLK 12	LOT 9B	& 12B
24750-39-5A	101 N 4TH AVE	MANSFIELD, CITY OF	BLK 39	LOT 5A	
24750-1-6	114 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 6	7A & 5D
24750-2-6B	113 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 6B	
24750-38-3B	404 W BROAD ST	MANSFIELD, CITY OF	BLK 38	LOT 3B	
24750-38-3C2	304 W BROAD ST	MANSFIELD, CITY OF	BLK 38	LOT 3C2	
24750-16-3-30	107 BROWN ST	MANSFIELD, CITY OF	BLK 16	LOT 3	N 31' LOT 3 & S 47' LT 4
24750-3-4	108 W BROAD ST	MANSFIELD, CITY OF	BLK 3	LOT 4	
24750-2-7A	111 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 7A	
24750-16-2A	503 E BROAD ST	MANSFIELD, CITY OF	BLK 16	LOT 2A	
24750-4-1	204 W BROAD ST	MANSFIELD, CITY OF	BLK 4	LOT 1	
24750-12-7B	104 SMITH ST	MANSFIELD, CITY OF	BLK 12	LOT 7B	& 8
24750-14-3B	303 E BROAD ST	MANSFIELD, CITY OF	BLK 14	LOT 3B	& 4
24750-1-7B	110 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 7B	
24750-2-7B	109 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 7B	& 8A
24750-3-5A	108 W BROAD ST	MANSFIELD, CITY OF	BLK 3	LOT 5A	
24750-2-9B	101 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 9B	
39095--1	608 E BROAD ST	SMITH, VELMA EST	LOT 1		
24750-1-9B	102 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 9B	
24750-35-B	501 W BROAD ST	MANSFIELD, CITY OF	BLK 35	LOT B	(N 150' E 100')
24750-34-4	405 W BROAD ST	MANSFIELD, CITY OF	BLK 34	LOT 4	& 6A (N 55' OF LOT 6)
24750-21-3R	604 E BROAD ST	MANSFIELD, CITY OF	BLK 21	LOT 3R	
24750-34-1	401 W BROAD ST	MANSFIELD, CITY OF	BLK 34	LOT 1	
24750-29-2A	305 W BROAD ST	MANSFIELD, CITY OF	BLK 29	LOT 2A	(N 175' W 100')
24750-21-1R1	600 E BROAD ST	MANSFIELD, CITY OF	BLK 21	LOT 1R1	& 2R
24750-29-3A1	303 W BROAD ST	MANSFIELD, CITY OF	BLK 29	LOT 3A1	
24750-29-3B	301 W BROAD ST	MANSFIELD, CITY OF	BLK 29	LOT 3B	
24750-28-3D	205 W BROAD ST	MANSFIELD, CITY OF	BLK 28	LOT 3D	
24750-28-1A	201 W BROAD ST	MANSFIELD, CITY OF	BLK 28	LOT 1A,	2A & 3A
24750-23-7	109 W BROAD ST	MANSFIELD, CITY OF	BLK 23	LOT 7	
24750-23-5B	103 W BROAD ST	MANSFIELD, CITY OF	BLK 23	LOT 5B	& 6B (W 1/2 OF LOTS 5 & 6)
24750-23-5A	100 S MAIN ST	MANSFIELD, CITY OF	BLK 23	LOT 5A	& 6A (E 1/2 OF LOTS 5 & 6)
24750-22-1A	508 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 1A,2A	& 3A N 130' OF LOTS 1 & 2 N 130'
24750-34-1A	102 S 3RD AVE	MANSFIELD, CITY OF	BLK 34	LOT 1A	& 5

PARCEL ID NUMBER	PROPERTY ADDRESS	SUBDIVISION OR SURVEY NAME	BLOCK OR ABSTRACT NUMBER	LOT OR TRACT NUMBER	ADDITIONAL INFORMATION
24750-5-2R	101 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 2R	
24750-21-4R1	105 GRAVES ST	MANSFIELD, CITY OF	BLK 21	LOT 4R1	& 5R1
24750-5-1R	150 E BROAD ST	MANSFIELD, CITY OF	BLK 5	LOT 1R	
24750-22-4	506 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 4,3C,5C,6B,7C,10D,	LTS 11,20,21C, & PT OF ALLEY & P
24750-5-37B	200 E BROAD ST	MANSFIELD, CITY OF	BLK 5	LOT 37B	
24750-5-37C	208 E BROAD ST	MANSFIELD, CITY OF	BLK 5	LOT 37C	38 & 39B
24750-22-27	502 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 27	
24750-28-1B	102 S 1ST AVE	MANSFIELD, CITY OF	BLK 28	LOT 1B,	2B & 3B
24750-11-1A	302 E BROAD ST	MANSFIELD, CITY OF	BLK 11	LOT 1A	N 220' OF LOT 1
24750-11-2A	304 E BROAD ST	MANSFIELD, CITY OF	BLK 11	LOT 2A	N 1/2 OF LOT 2
24750-29-3A	102 S 2ND AVE	MANSFIELD, CITY OF	BLK 29	LOT 3A	
24750-22-26A	500 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 26A	NW 134' W 125' LOT 26
24750-10-A	306 E BROAD ST	MANSFIELD, CITY OF	BLK 10	LOT A	N 160' W90' OF BLK 10
24750-35-D	500 ALVARADO ST	MANSFIELD, CITY OF	BLK 35	LOT D	(S 150' E 100')
24750-9-9D	400 E BROAD ST	MANSFIELD, CITY OF	BLK 9	LOT 9D	
24750-23-1	202 S MAIN ST	MANSFIELD, CITY OF	BLK 23	LOT 1	2 & 4B BLK 24 LT A & CLOSED ST
24750-9-9E	404 E BROAD ST	MANSFIELD, CITY OF	BLK 9	LOT 9E	
24750-23-3	104 S MAIN ST	MANSFIELD, CITY OF	BLK 23	LOT 3	& 4A (E 25' OF LOT 4)
24750-28-1C	104 S 1ST AVE	MANSFIELD, CITY OF	BLK 28	LOT 1C,	2C, 3C & LOTS 5A, 6A, 7A, & 8A
24750-22-1B	102 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 1B,2B,3B,5A	& 1/2 OF ALLEY ON SOUTH S20' LTS
24750-29-2B	103 S 3RD AVE	MANSFIELD, CITY OF	BLK 29	LOT 2B	(S 50' N 225')
24750-28-4A	103 S 2ND AVE	MANSFIELD, CITY OF	BLK 28	LOT 4A	& 5B
24750-34-6B	406 ALVARADO ST	MANSFIELD, CITY OF	BLK 34	LOT 6B	(S 95' OF LOT 6)
24750-34-2	106 S 3RD AVE	MANSFIELD, CITY OF	BLK 34	LOT 2	
24750-29-2C	306 ALVARADO ST	MANSFIELD, CITY OF	BLK 29	LOT 2C	(S 75' E 100')
24750-29-4	106 S 2ND AVE	MANSFIELD, CITY OF	BLK 29	LOT 4	
24750-5-39A	106 POND ST	MANSFIELD, CITY OF	BLK 5	LOT 39A	
24750-5-36R2	103 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 36R2	
24750-21-A1	107 GRAVES ST	MANSFIELD, CITY OF	BLK 21	LOT A1	
24750-22-5B	104 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 5B,6A	& 7A S 7' E 120' LT 5,E 120' LT
24750-11-2B	307 E KIMBALL ST	MANSFIELD, CITY OF	BLK 11	LOT 2B	S 1/2 OF LOT 2
24750-10-C	309 E KIMBALL ST	MANSFIELD, CITY OF	BLK 10	LOT C	S 140' W 90 OF BLK 10
24750-10-D	403 E KIMBALL ST	MANSFIELD, CITY OF	BLK 10	LOT D	S 150' E 100' BLK 10
24750-9-9A	407 E KIMBALL ST	MANSFIELD, CITY OF	BLK 9	LOT 9A	50% UNDIVIDED INTEREST
24750-5-39	108 POND ST	MANSFIELD, CITY OF	BLK 5	LOT 39	

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24750-33-F	407 ALVARADO ST	MANSFIELD, CITY OF	BLK 33	LOT F	(W 75' N 175')
24750-22-24	111 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 24,12A,13A,14A	& LTS 15A & PT OF ALLEY N 16' OF
24750-21-B1	203 GRAVES ST	MANSFIELD, CITY OF	BLK 21	LOT B1	
24750-33-E	403 ALVARADO ST	MANSFIELD, CITY OF	BLK 33	LOT E	
24750-33-C1	200 S 3RD AVE	MANSFIELD, CITY OF	BLK 33	LOT C1	& D
24750-11-1B	107 POND ST	MANSFIELD, CITY OF	BLK 11	LOT 1B	S80' OF LOT 1
24750-30-D	201 S 3RD AVE	MANSFIELD, CITY OF	BLK 30	LOT D	(N 75' W 125')
24750-22-7B	106 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 7B,8A,9A,10A	& E PT OF ALLEY SE PT 7,N PT 8-9
24750-30-A	200 S 2ND AVE	MANSFIELD, CITY OF	BLK 30	LOT A	(N 75' E 125')
24750-9-9B	501 E KIMBALL ST	MANSFIELD, CITY OF	BLK 9	LOT 9B	
24750-5-34	113 E KIMBALL ST	MANSFIELD, CITY OF	BLK 5	LOT 34	37D & 37E
24750-9-9C	108 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 9	LOT 9C	
24750-27-A	201 ALVARADO ST	MANSFIELD, CITY OF	BLK 27	LOT A	(E 125' N 71')
24750-5-35	203 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 35	
24750-33-C	204 S 3RD AVE	MANSFIELD, CITY OF	BLK 33	LOT C	
24750-22-12B	201 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 12B,13B,14B	& 15B MID 70' OF LTS 12-15
24750-21-C1	301 GRAVES ST	MANSFIELD, CITY OF	BLK 21	LOT C1	
24750-22-8B	202 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 8B,9B	& 10B MID PT LTS 8 & 9 E MID PT
24750-30-E	203 S 3RD AVE	MANSFIELD, CITY OF	BLK 30	LOT E	(S 75' W 75' N 150')
24750-30-B	202 S 2ND AVE	MANSFIELD, CITY OF	BLK 30	LOT B	(S 75' W 175' N 75' E 175')
24750-27-B	204 S 1ST AVE	MANSFIELD, CITY OF	BLK 27	LOT B	(E 125' S 54' N125')
24750-6-1A	300 E KIMBALL ST	MANSFIELD, CITY OF	BLK 6	LOT 1A,	2A & 3A W 60' LTS 1, 2 & 3
24750-6-1B	304 E KIMBALL ST	MANSFIELD, CITY OF	BLK 6	LOT 1B,	2B & 3B E 50' LTS 1, 2 & 3
24750-6-24	200 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 24	& 23A N 30' OF LOT 23
24750-33-G	404 W KIMBALL ST	MANSFIELD, CITY OF	BLK 33	LOT G	(W 75' S 125')
24750-33-H	402 W KIMBALL ST	MANSFIELD, CITY OF	BLK 33	LOT H	(E 75' W 150' S 1/2)
24750-5-33A	209 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 33A	
24750-33-B	206 S 3RD AVE	MANSFIELD, CITY OF	BLK 33	LOT B	
24750-7-14B	400 E KIMBALL ST	MANSFIELD, CITY OF	BLK 7	LOT 14B	& 15B N 92' LTS 14 & 15
24750-22-8C	300 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 8C,9C,10C,21A,	LTS 22A,23A & PT OF CLSD ST S PT
24750-5-33B	107 E KIMBALL ST	MANSFIELD, CITY OF	BLK 5	LOT 33B	
24750-21-D1	303 GRAVES ST	MANSFIELD, CITY OF	BLK 21	LOT D1	
24750-30-3	205 S 3RD AVE	MANSFIELD, CITY OF	BLK 30	LOT 3	
24750-7-13B	408 E KIMBALL ST	MANSFIELD, CITY OF	BLK 7	LOT 13B	N 112' LOT 13

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24750-27-F	205 S 2ND AVE	MANSFIELD, CITY OF	BLK 27	LOT F	(N 93' S 175' W 120')
24750-8-20A	200 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 8	LOT 20A	& 22
24750-27-D	206 S 1ST AVE	MANSFIELD, CITY OF	BLK 27	LOT D	& C
24750-36-D	206 S 4TH AVE	MANSFIELD, CITY OF	BLK 36	LOT D	(S 75' E 100')
24750-33-A	210 S 3RD AVE	MANSFIELD, CITY OF	BLK 33	LOT A	
24750-6-21	204 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 21,	22 & 23B LESS N 30' OF LOT 23
24750-22-16A	205 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 16A,17A,18A,19A	& PT OF CLSD ST N36.8' 16-19,S 2
24750-24-B	210 S MAIN ST	MANSFIELD, CITY OF	BLK 24	LOT B	(N57' S128' W125' E125' S128')
24750-22-22B	302 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 22B,21B	& 23B S 100' LTS 22-23 S 100' E
24750-7-14A	205 TARRANT ST	MANSFIELD, CITY OF	BLK 7	LOT 14A	& 15A S 90' LTS 14 & 15
24750-27-E	200 W KIMBALL ST	MANSFIELD, CITY OF	BLK 27	LOT E	(S 82' E 130')
24750-8-20B	205 SHORT ST	MANSFIELD, CITY OF	BLK 8	LOT 20B	
A1240-3D	603 E DALLAS ST	PRICE, WILLIAM C SURVEY	A 1240	TR 3D	
24750-5-17A	200 E KIMBALL ST	MANSFIELD, CITY OF	BLK 5	LOT 17A	& 32A1
24750-30-C1A	208 S 2ND AVE	MANSFIELD, CITY OF	BLK 30	LOT C01A	
24750-8-20C	503 LAKE ST	MANSFIELD, CITY OF	BLK 8	LOT 20C	& 21B
24750-8-21A	505 LAKE ST	MANSFIELD, CITY OF	BLK 8	LOT 21A	
24750-7-13A	204 SHORT ST	MANSFIELD, CITY OF	BLK 7	LOT 13A	S 70' LOT 13
24750-8-21	202 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 8	LOT 21	
24750-6-4	301 POND ST	MANSFIELD, CITY OF	BLK 6	LOT 4	
24750-24-C	209 S 1ST AVE	MANSFIELD, CITY OF	BLK 24	LOT C	(S 71' W 125') 50% UNDIVIDED I
24750-8-17	307 SHORT ST	MANSFIELD, CITY OF	BLK 8	LOT 17	& 17A
24750-26-1E	305 S 2ND AVE	MANSFIELD, CITY OF	BLK 26	LOT 1E	(S 65' W 125')
24750-55-1A	308 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 1A	
24750-46-3A	402 S 2ND AVE	MANSFIELD, CITY OF	BLK 46	LOT 3A	
24750-55-1B	406 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 1B	& 1C
24750-55-1C	406 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 1C	& 1B
24750-48-1C	405 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 1C	& PT CL ST
24750-32-A	405 W KIMBALL ST	MANSFIELD, CITY OF	BLK 32	LOT A	(W 78')
24750-32-B	403 W KIMBALL ST	MANSFIELD, CITY OF	BLK 32	LOT B	(E 172')
24750-6-5	303 POND ST	MANSFIELD, CITY OF	BLK 6	LOT 5	
24750-6-19	300 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 19	& 20
24750-31-C	300 S 2ND AVE	MANSFIELD, CITY OF	BLK 31	LOT C	(E 140' N 100')
24750-5-R1	310 POND ST	MANSFIELD, CITY OF	BLK 5	LOT R1	
24750-26-1D	205 W KIMBALL ST	MANSFIELD, CITY OF	BLK 26	LOT 1D	(W 70' N 155')
24750-7-12	301 TARRANT ST	MANSFIELD, CITY OF	BLK 7	LOT 12	
24750-5-17B	301 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 17B	& 18A1
24750-7-11A	300 SHORT ST	MANSFIELD, CITY OF	BLK 7	LOT 11A	N 1/2 OF LOT 11

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24750-26-3B	201 W KIMBALL ST	MANSFIELD, CITY OF	BLK 26	LOT 3B	(N 88' OF LOT 3)
24750-6-6	305 POND ST	MANSFIELD, CITY OF	BLK 6	LOT 6	
24750-5-2B	301 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 2B	3 4 13 14 & 15
24750-8-18A	301 SHORT ST	MANSFIELD, CITY OF	BLK 8	LOT 18A	E 70' OF LOT 18
24750-25-1	306 S MAIN ST	MANSFIELD, CITY OF	BLK 25	LOT 1	
24750-8-18B	502 LAKE ST	MANSFIELD, CITY OF	BLK 8	LOT 18B	E 70' OF LOT 18
24750-8-19	300 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 8	LOT 19	
24750-5-18A	305 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 18A	19A1 & R2
24750-5-18A	305 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 18A	19A1 & R2
24750-6-7R	307 POND ST	MANSFIELD, CITY OF	BLK 6	LOT 7R	
24750-6-17	306 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 17	& 18
24750-7-11B	302 SHORT ST	MANSFIELD, CITY OF	BLK 7	LOT 11B	S 1/2 OF LOT 11
24750-5-19A	307 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 19A	
24750-8-2R1	302 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 8	LOT 2R1	
24750-8-17A1	305 SHORT ST	MANSFIELD, CITY OF	BLK 8	LOT 17A1	& 17B
24750-7-10B	305 TARRANT ST	MANSFIELD, CITY OF	BLK 7	LOT 10B	& 10C
24750-7-10A	304 SHORT ST	MANSFIELD, CITY OF	BLK 7	LOT 10A	
24750-26-1B	302 S 1ST AVE	MANSFIELD, CITY OF	BLK 26	LOT 1B	2A & 3A
24750-5-5	315 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 5	6 11B & 12B
24750-5-20A	309 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 20A	
24750-5-12A	310 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 12A	
24750-31-E	304 W DALLAS ST	MANSFIELD, CITY OF	BLK 31	LOT E	(S 100' W 118')
24750-26-1C	304 S 1ST AVE	MANSFIELD, CITY OF	BLK 26	LOT 1C	& 2B (S PTS OF LTS 1 & 2)
24750-8-2B	304 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 8	LOT 2B	S 1/2 OF LOT 2
24750-5-21	311 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 21	
24750-6-9	313 POND ST	MANSFIELD, CITY OF	BLK 6	LOT 9	10 & E 1/2 ALLEY E
24750-5-11A	306 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 11A	
24750-7-2	311 TARRANT ST	MANSFIELD, CITY OF	BLK 7	LOT 2	
24750-26-4	210 W DALLAS ST	MANSFIELD, CITY OF	BLK 26	LOT 4	
24750-7-8	308 SHORT ST	MANSFIELD, CITY OF	BLK 7	LOT 8,	9 & 7A N 4' OF LOT 7
24750-5-22	313 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 22	
24750-26-5	200 W DALLAS ST	MANSFIELD, CITY OF	BLK 26	LOT 5	
24750-8-3-30	309 SHORT ST	MANSFIELD, CITY OF	BLK 8	LOT 3	& 20'STR E&W 50'N&S BLK 8
24750-5-7A	317 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 7A	& 8A
24750-8-12A	308 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 8	LOT 12A	13 14B & 15A
24750-5-7B	103 E DALLAS ST	MANSFIELD, CITY OF	BLK 5	LOT 7B	8B 9B & 10B
24750-5-9A	105 E DALLAS ST	MANSFIELD, CITY OF	BLK 5	LOT 9A	& 10A
24750-7-3	313 TARRANT ST	MANSFIELD, CITY OF	BLK 7	LOT 3	& 4A
24750-5-23	201 E DALLAS ST	MANSFIELD, CITY OF	BLK 5	LOT 23	THRU 26
24750-6-12-30	221 E DALLAS ST	MANSFIELD, CITY OF	BLK 6	LOT 11	& 12 PLUS ALLEY E
24750-8-5-30	501 E DALLAS ST	MANSFIELD, CITY OF	BLK 8	LOT 5	6 & S 35' 4

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24750-6-13	314 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 13	14 & ALLEY
24750-46-1	400 S 2ND AVE	MANSFIELD, CITY OF	BLK 46	LOT 1	& 2
24750-7-6R	407 E DALLAS ST	MANSFIELD, CITY OF	BLK 7	LOT 6R	
24750-8-9	507 E DALLAS ST	MANSFIELD, CITY OF	BLK 8	LOT 9	10B 11B 12B1 & 14A
24750-8-10A	312 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 8	LOT 10A	11A & 12B
24750-7-4B	315 TARRANT ST	MANSFIELD, CITY OF	BLK 7	LOT 4B	& 5
24750-6-12-30	221 E DALLAS ST	MANSFIELD, CITY OF	BLK 6	LOT 11	& 12 PLUS ALLEY E
24750-47-3	201 W DALLAS ST	MANSFIELD, CITY OF	BLK 47	LOT 3	9 10A & 11A
24750-48-6A	105 W DALLAS ST	MANSFIELD, CITY OF	BLK 48	LOT 6A	& 7A
24750-48-3D	101 W DALLAS ST	MANSFIELD, CITY OF	BLK 48	LOT 3D	4B 4C & 5B
24750-48-1D	401 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 1D	& PT CL ST
24750-55-2B	104 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 2B	
24750-55-2A	108 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 2A	3 & PT CL ST
24750-55-8A	204 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 8A	& 4B
24750-47-14B1	401 S 2ND AVE	MANSFIELD, CITY OF	BLK 47	LOT 14B1	1985 28 X 50 ID#
24750-55-7	206 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 7	7A 7A1 & 9
24750-48-3C	400 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 3C	4A 5A 8C & 9H
24750-46-3B	404 S 2ND AVE	MANSFIELD, CITY OF	BLK 46	LOT 3B	
24750-47-15A1	403 S 2ND AVE	MANSFIELD, CITY OF	BLK 47	LOT 15A1	
24750-48-8A	404 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 8A	9F 3B & 2B & PT OF CLOSED ALLEY
24750-48-1B	407 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 1B	1A1 & PT CL ST
24750-46-4A	406 S 2ND AVE	MANSFIELD, CITY OF	BLK 46	LOT 4A	
24750-47-15B1	208 HUNT ST	MANSFIELD, CITY OF	BLK 47	LOT 15B1	
24750-47-15C	206 HUNT ST	MANSFIELD, CITY OF	BLK 47	LOT 15C	
24750-47-11C	204 HUNT ST	MANSFIELD, CITY OF	BLK 47	LOT 11C	12A & 13A
24750-48-9A	200 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9A	10A 11A BLK 47 LTS 10C 11B 12B &
24750-48-9B	102 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9B	10B & 11B
24750-48-9C	100 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9C	10C 11C 9D 10D & 11D
A 644-18B05	202 E DALLAS ST	HANKS, THOMAS J SURVEY	A 644	TR 18B05	
24750-48-9E	408 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 9E	10E 11E 3A 2A1 & PT OF CLOSED AL
24750-46-4B	408 S 2ND AVE	MANSFIELD, CITY OF	BLK 46	LOT 4B	& 5A
24750-48-1A	409 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 1A	& PT CL ST
24750-46-5B	412 S 2ND AVE	MANSFIELD, CITY OF	BLK 46	LOT 5B	
24750-23-1	202 S MAIN ST	MANSFIELD, CITY OF	BLK 23	LOT 1	2 & 4B BLK 24 LT A & CLOSED ST
24750-23-1	202 S MAIN ST	MANSFIELD, CITY OF	BLK 23	LOT 1	2 & 4B BLK 24 LT A & CLOSED ST
24750-23-1	202 S MAIN ST	MANSFIELD, CITY OF	BLK 23	LOT 1	2 & 4B BLK 24 LT A & CLOSED ST
24750-4-9	104 N 2ND AVE	MANSFIELD, CITY OF	BLK 4	LOT 9	

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24750-4-10	206 W BROAD ST	MANSFIELD, CITY OF	BLK 4	LOT 10	
A 644-16E01	613 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 16E01	
A 644-16D	611 NORTH ST	HANKS, THOMAS J SURVEY	A 644	TR 16D	& 16E
24750-44-23	312 VAN WORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 23	& 24
24750-44-23	312 VAN WORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 23	& 24
24750-25-2R	106 W DALLAS ST	MANSFIELD, CITY OF	BLK 25	LOT 2R	
24750-25-1R	316 S MAIN ST	MANSFIELD, CITY OF	BLK 25	LOT 1R	
24750-21-4R1	105 GRAVES ST	MANSFIELD, CITY OF	BLK 21	LOT 4R1	& 5R1
A 644-12A	107 W DALLAS ST	HANKS, THOMAS J SURVEY	A 644	TR 12A	& MANSFIELD BLK 47 LT 16 & 10B
24750-64-2R	116 SMITH ST	MANSFIELD, CITY OF	BLK 64	LOT 2R	
24750-5-18A	305 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 18A	19A1 & R2
24750-5-17B	301 STEWART ST	MANSFIELD, CITY OF	BLK 5	LOT 17B	& 18A1
24750-5-23	201 E DALLAS ST	MANSFIELD, CITY OF	BLK 5	LOT 23	THRU 26
24750-5-23	201 E DALLAS ST	MANSFIELD, CITY OF	BLK 5	LOT 23	THRU 26
24750-5-23	201 E DALLAS ST	MANSFIELD, CITY OF	BLK 5	LOT 23	THRU 26
24750-64-3R	114 SMITH ST	MANSFIELD, CITY OF	BLK 64	LOT 3R	
22388--A1	718 NORTH ST	KELLY, J R ADDITION	LOT A1	HOMESTEAD	
24750-61-3A	209 SMITH ST	MANSFIELD, CITY OF	BLK 61	LOT 3A	
24750-6-9	313 POND ST	MANSFIELD, CITY OF	BLK 6	LOT 9	10 & E 1/2 ALLEY E
36629-1-1A	305 SMITH ST	ROUNTREE ADDITION	BLK 1	LOT 1A	
A1658-8	320 SMITH ST	WADDELL, F B SURVEY	A 1658	TR 8	ABST 1658 TR 8 HS
24750-36-2R	202 S 4TH AVE	MANSFIELD, CITY OF	BLK 36	LOT 2R	
24750-36-1R	200 S 4TH AVE	MANSFIELD, CITY OF	BLK 36	LOT 1R	
24750-27-1R1A	219 ALVARADO ST	MANSFIELD, CITY OF	BLK 27	LOT 1R1A	
24750-55-4A	200 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 4A	& 8B
24750-23-3	104 S MAIN ST	MANSFIELD, CITY OF	BLK 23	LOT 3	& 4A (E 25' OF LOT 4)
24750-23-5A	100 S MAIN ST	MANSFIELD, CITY OF	BLK 23	LOT 5A	& 6A (E 1/2 OF LOTS 5 & 6)
24750-23-5B	103 W BROAD ST	MANSFIELD, CITY OF	BLK 23	LOT 5B	& 6B (W 1/2 OF LOTS 5 & 6)
24750-22-12C	203 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 12C,13C,14C,15C	& PT OF CLSD ST S 43' 12-15,N20.
24750-62-1A	100 VAN WORTH ST	MANSFIELD, CITY OF	BLK 62	LOT 1A	& 4A
24750-45-11B	110 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 11B	12 13 & 17
24750-45-15	112 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 15	& 16
24750-45-11B	110 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 11B	12 13 & 17
24750-45-11B	110 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 11B	12 13 & 17
24750-1-4A	126 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 4A	
24750-22-26B	109 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 26B	S 91' W 125' OF LOT 26
24750-21-1R1	600 E BROAD ST	MANSFIELD, CITY OF	BLK 21	LOT 1R1	& 2R
24750-44-19	W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 19	

PARCEL ID NUMBER	PROPERTY ADDRESS	SUBDIVISION OR SURVEY NAME	BLOCK OR ABSTRACT NUMBER	LOT OR TRACT NUMBER	ADDITIONAL INFORMATION
24750-44-18	W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 18	
24750-44-8	306 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 8	& 9
24750-44-7	304 W OAK ST	MANSFIELD, CITY OF	BLK 44	LOT 7	& 6B
24750-44-16	309 VAN WORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 16	& 15B
24750-44-14A	305 VAN WORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 14A	& 15A
24750-44-13	301 VAN WORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 13	& 14B
24750-44-11	205 VAN WORTH ST	MANSFIELD, CITY OF	BLK 44	LOT 11	& 12
24750-45-6B	111 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 6B	Lot 4B 5A 6A & 7B
24750-45-4B	107 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 4B	5A 6A & 7B
24750-45-4B	107 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 4B	5A 6A & 7B
24750-45-4B	107 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 4B	5A 6A & 7B
24750-45-3A	103 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 3A	4A & 5B & BLK 61 LTS PART OF LTS
24750-45-3A	103 VAN WORTH ST	MANSFIELD, CITY OF	BLK 45	LOT 3A	4A & 5B & BLK 61 LTS PART OF LTS
24750-45-E2	102 W OAK ST	MANSFIELD, CITY OF	BLK 45	LOT E2	& E4B
24750-61-2B	202 N MAIN ST	MANSFIELD, CITY OF	BLK 61	LOT 2B	& BLK 45 LT 2A (S 70' N 80' LT
24750-45-2B	105 E OAK ST	MANSFIELD, CITY OF	BLK 45	LOT 2B	& BLK 61 LT 2C (BLK 45 S 70' LO
24750-61-2A	207 SMITH ST	MANSFIELD, CITY OF	BLK 61	LOT 2A	& 3B (N 8' LT2 & S 42' LT 3)
24750-62-2A	219 SMITH ST	MANSFIELD, CITY OF	BLK 62	LOT 2A,	3 & ABANDON ST ORD # 315
A1658-22C	217 SMITH ST	WADDELL, F B SURVEY	A 1658	TR 22C	
24750-63-3	200 SYCAMORE ST	MANSFIELD, CITY OF	BLK 63	LOT 3	THRU 5
24750-63-3	200 SYCAMORE ST	MANSFIELD, CITY OF	BLK 63	LOT 3	THRU 5
24750-63-6	223 DEPOT ST	MANSFIELD, CITY OF	BLK 63	LOT 6	7 & 8
24750-63-6	223 DEPOT ST	MANSFIELD, CITY OF	BLK 63	LOT 6	7 & 8
24750-63-1	210 SMITH ST	MANSFIELD, CITY OF	BLK 63	LOT 1	& 2A
24750-64-4B	206 SMITH ST	MANSFIELD, CITY OF	BLK 64	LOT 4B	& 4C
24750-64-3A	118 SMITH ST	MANSFIELD, CITY OF	BLK 64	LOT 3A	& 4D (N 57' OF LOT 3)
24750-12-7B	104 SMITH ST	MANSFIELD, CITY OF	BLK 12	LOT 7B	& 8
24750-12-6	100 SMITH ST	MANSFIELD, CITY OF	BLK 12	LOT 6	
24750-12-5	102 SMITH ST	MANSFIELD, CITY OF	BLK 12	LOT 5	& 7A
24750-12-9A	106 SMITH ST	MANSFIELD, CITY OF	BLK 12	LOT 9A	& 10
24750-12-9B	106 SMITH ST	MANSFIELD, CITY OF	BLK 12	LOT 9B	& 12B
24750-12-11	108 SMITH ST	MANSFIELD, CITY OF	BLK 12	LOT 11	& 12A
24750-2-2B	127 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 2B	& 3A
24750-2-4B	117 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 4B	& 5A
24750-2-5B	115 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 5B	& 6A
24750-2-7A	111 N MAIN ST	MANSFIELD, CITY OF	BLK 2	LOT 7A	
24750-1-5A	118 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 5A	& 5B
24750-1-6	114 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 6	7A & 5D
24750-1-8B	104 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 8B	& 9A

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24750-3-5B	102 N 1ST AVE	MANSFIELD, CITY OF	BLK 3	LOT 5B	& 6A
24750-3-6A1	104 N 1ST AVE	MANSFIELD, CITY OF	BLK 3	LOT 6A1	& 7B
24750-3-12	108 N 1ST AVE	MANSFIELD, CITY OF	BLK 3	LOT 12	& 13A
24750-3-7C	111 WALNUT ST	MANSFIELD, CITY OF	BLK 3	LOT 7C	8 9 10 11 & LOTS 13B1 14B & 15B
24750-3-15A	107 W OAK ST # A	MANSFIELD, CITY OF	BLK 3	LOT 15A	& 14A1
24750-3-13B	110 N 1ST AVE # A	MANSFIELD, CITY OF	BLK 3	LOT 13B	& 14A2
24750-3-7C	111 WALNUT ST	MANSFIELD, CITY OF	BLK 3	LOT 7C	8 9 10 11 & LOTS 13B1 14B & 15B
24750-3-7C	111 WALNUT ST	MANSFIELD, CITY OF	BLK 3	LOT 7C	8 9 10 11 & LOTS 13B1 14B & 15B
24750-3-7C	111 WALNUT ST	MANSFIELD, CITY OF	BLK 3	LOT 7C	8 9 10 11 & LOTS 13B1 14B & 15B
24750-3-7C	111 WALNUT ST	MANSFIELD, CITY OF	BLK 3	LOT 7C	8 9 10 11 & LOTS 13B1 14B & 15B
24750-3-7C	111 WALNUT ST	MANSFIELD, CITY OF	BLK 3	LOT 7C	8 9 10 11 & LOTS 13B1 14B & 15B
24750-3-7C	111 WALNUT ST	MANSFIELD, CITY OF	BLK 3	LOT 7C	8 9 10 11 & LOTS 13B1 14B & 15B
24750-4-4	107 N 1ST AVE	MANSFIELD, CITY OF	BLK 4	LOT 4	THRU 7
24750-4-4	107 N 1ST AVE	MANSFIELD, CITY OF	BLK 4	LOT 4	THRU 7
24750-4-4	107 N 1ST AVE	MANSFIELD, CITY OF	BLK 4	LOT 4	THRU 7
24750-4-13	105 N 2ND AVE	MANSFIELD, CITY OF	BLK 4	LOT 13	& 18
24750-38-2C	406 W BROAD ST	MANSFIELD, CITY OF	BLK 38	LOT 2C	& 3A
24750-38-1	108 N 4TH AVE	MANSFIELD, CITY OF	BLK 38	LOT 2A	Lot 1A & 2B & PT CLOSED ST
24750-39-3	109 N 4TH AVE	MANSFIELD, CITY OF	BLK 39	LOT 3	& 7
24750-47-3	201 W DALLAS ST	MANSFIELD, CITY OF	BLK 47	LOT 3	9 10A & 11A
24750-47-3	201 W DALLAS ST	MANSFIELD, CITY OF	BLK 47	LOT 3	9 10A & 11A
24750-47-3	201 W DALLAS ST	MANSFIELD, CITY OF	BLK 47	LOT 3	9 10A & 11A
24750-48-9B	102 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9B	10B & 11B
24750-48-9B	102 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9B	10B & 11B
24750-48-9C	100 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9C	10C 11C 9D 10D & 11D
24750-48-9C	100 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9C	10C 11C 9D 10D & 11D
24750-48-9E	408 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 9E	10E 11E 3A 2A1 & PT OF CLOSED AL
24750-48-9E	408 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 9E	10E 11E 3A 2A1 & PT OF CLOSED AL
24750-48-9E	408 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 9E	10E 11E 3A 2A1 & PT OF CLOSED AL
24750-48-9E	408 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 9E	10E 11E 3A 2A1 & PT OF CLOSED AL
24750-47-11C	204 HUNT ST	MANSFIELD, CITY OF	BLK 47	LOT 11C	12A & 13A
24750-47-11C	204 HUNT ST	MANSFIELD, CITY OF	BLK 47	LOT 11C	12A & 13A
24750-48-9A	200 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9A	10A 11A BLK 47 LTS 10C 11B 12B &

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24750-48-9A	200 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9A	10A 11A BLK 47 LTS 10C 11B 12B &
24750-48-9A	200 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9A	10A 11A BLK 47 LTS 10C 11B 12B &
24750-48-9A	200 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9A	10A 11A BLK 47 LTS 10C 11B 12B &
24750-48-9A	200 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9A	10A 11A BLK 47 LTS 10C 11B 12B &
24750-48-9A	200 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9A	10A 11A BLK 47 LTS 10C 11B 12B &
24750-48-9A	200 HUNT ST	MANSFIELD, CITY OF	BLK 48	LOT 9A	10A 11A BLK 47 LTS 10C 11B 12B &
24750-48-6B	103 W DALLAS ST	MANSFIELD, CITY OF	BLK 48	LOT 6B	7B 8B & 9G
24750-48-3D	101 W DALLAS ST	MANSFIELD, CITY OF	BLK 48	LOT 3D	4B 4C & 5B
24750-48-3C	400 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 3C	4A 5A 8C & 9H
24750-48-3D	101 W DALLAS ST	MANSFIELD, CITY OF	BLK 48	LOT 3D	4B 4C & 5B
24750-48-3D	101 W DALLAS ST	MANSFIELD, CITY OF	BLK 48	LOT 3D	4B 4C & 5B
24750-48-3C	400 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 3C	4A 5A 8C & 9H
24750-48-3C	400 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 3C	4A 5A 8C & 9H
24750-48-8A	404 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 8A	9F 3B & 2B & PT OF CLOSED ALLEY
24750-48-8A	404 S MAIN ST	MANSFIELD, CITY OF	BLK 48	LOT 8A	9F 3B & 2B & PT OF CLOSED ALLEY
24750-48-6A	105 W DALLAS ST	MANSFIELD, CITY OF	BLK 48	LOT 6A	& 7A
A 644-12A	107 W DALLAS ST	HANKS, THOMAS J SURVEY	A 644	TR 12A	& MANSFIELD BLK 47 LT 16 & 10B
A 644-12A	107 W DALLAS ST	HANKS, THOMAS J SURVEY	A 644	TR 12A	& MANSFIELD BLK 47 LT 16 & 10B
24750-5-9A	105 E DALLAS ST	MANSFIELD, CITY OF	BLK 5	LOT 9A	& 10A
24750-5-7A	317 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 7A	& 8A
24750-5-7B	103 E DALLAS ST	MANSFIELD, CITY OF	BLK 5	LOT 7B	8B 9B & 10B
24750-5-7B	103 E DALLAS ST	MANSFIELD, CITY OF	BLK 5	LOT 7B	8B 9B & 10B
24750-5-7B	103 E DALLAS ST	MANSFIELD, CITY OF	BLK 5	LOT 7B	8B 9B & 10B
24750-5-5	315 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 5	6 11B & 12B
24750-5-5	315 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 5	6 11B & 12B
24750-5-5	315 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 5	6 11B & 12B
24750-5-1A	100 W KIMBALL ST	MANSFIELD, CITY OF	BLK 5	LOT 1A	1B & 2A
24750-5-1A	100 W KIMBALL ST	MANSFIELD, CITY OF	BLK 5	LOT 1A	1B & 2A
24750-5-2B	301 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 2B	3 4 13 14 & 15
24750-5-2B	301 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 2B	3 4 13 14 & 15
24750-5-2B	301 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 2B	3 4 13 14 & 15

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24750-5-2B	301 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 2B	3 4 13 14 & 15
24750-5-2B	301 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 2B	3 4 13 14 & 15
24750-6-9	313 POND ST	MANSFIELD, CITY OF	BLK 6	LOT 9	10 & E 1/2 ALLEY E
24750-6-13	314 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 13	14 & ALLEY
24750-6-9	313 POND ST	MANSFIELD, CITY OF	BLK 6	LOT 9	10 & E 1/2 ALLEY E
24750-6-17	306 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 17	& 18
24750-6-19	300 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 19	& 20
24750-6-21	204 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 21,	22 & 23B LESS N 30' OF LOT 23
24750-6-21	204 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 21,	22 & 23B LESS N 30' OF LOT 23
24750-6-1A	300 E KIMBALL ST	MANSFIELD, CITY OF	BLK 6	LOT 1A,	2A & 3A W 60' LTS 1, 2 & 3
24750-6-1B	304 E KIMBALL ST	MANSFIELD, CITY OF	BLK 6	LOT 1B,	2B & 3B E 50' LTS 1, 2 & 3
24750-6-1B	304 E KIMBALL ST	MANSFIELD, CITY OF	BLK 6	LOT 1B,	2B & 3B E 50' LTS 1, 2 & 3
24750-6-1A	300 E KIMBALL ST	MANSFIELD, CITY OF	BLK 6	LOT 1A,	2A & 3A W 60' LTS 1, 2 & 3
24750-6-24	200 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 24	& 23A N 30' OF LOT 23
24750-7-14B	400 E KIMBALL ST	MANSFIELD, CITY OF	BLK 7	LOT 14B	& 15B N 92' LTS 14 & 15
24750-7-14A	205 TARRANT ST	MANSFIELD, CITY OF	BLK 7	LOT 14A	& 15A S 90' LTS 14 & 15
24750-8-20A	200 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 8	LOT 20A	& 22
24750-8-20C	503 LAKE ST	MANSFIELD, CITY OF	BLK 8	LOT 20C	& 21B
24750-7-8	308 SHORT ST	MANSFIELD, CITY OF	BLK 7	LOT 8,	9 & 7A N 4' OF LOT 7
24750-7-8	308 SHORT ST	MANSFIELD, CITY OF	BLK 7	LOT 8,	9 & 7A N 4' OF LOT 7
24750-7-4B	315 TARRANT ST	MANSFIELD, CITY OF	BLK 7	LOT 4B	& 5
24750-7-3	313 TARRANT ST	MANSFIELD, CITY OF	BLK 7	LOT 3	& 4A
24750-7-10B	305 TARRANT ST	MANSFIELD, CITY OF	BLK 7	LOT 10B	& 10C
24750-8-17	307 SHORT ST	MANSFIELD, CITY OF	BLK 8	LOT 17	& 17A
24750-8-17A1	305 SHORT ST	MANSFIELD, CITY OF	BLK 8	LOT 17A1	& 17B
24750-8-7	505 E DALLAS ST	MANSFIELD, CITY OF	BLK 8	LOT 7	8 15B & 16 A1240 TR 9A & PT CL A
24750-8-5-30	501 E DALLAS ST	MANSFIELD, CITY OF	BLK 8	LOT 5	6 & S 35' 4
24750-8-5-30	501 E DALLAS ST	MANSFIELD, CITY OF	BLK 8	LOT 5	6 & S 35' 4
24750-8-7	505 E DALLAS ST	MANSFIELD, CITY OF	BLK 8	LOT 7	8 15B & 16 A1240 TR 9A & PT CL A
24750-8-7	505 E DALLAS ST	MANSFIELD, CITY OF	BLK 8	LOT 7	8 15B & 16 A1240 TR 9A & PT CL A
24750-8-7	505 E DALLAS ST	MANSFIELD, CITY OF	BLK 8	LOT 7	8 15B & 16 A1240 TR 9A & PT CL A
24750-8-7	505 E DALLAS ST	MANSFIELD, CITY OF	BLK 8	LOT 7	8 15B & 16 A1240 TR 9A & PT CL A

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24750-22-16B	301 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 16B,17B,18B,	& 19B S 95' OF LOTS 16-19
24750-22-16B	301 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 16B,17B,18B,	& 19B S 95' OF LOTS 16-19
24750-22-16B	301 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 16B,17B,18B,	& 19B S 95' OF LOTS 16-19
24750-22-16B	301 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 16B,17B,18B,	& 19B S 95' OF LOTS 16-19
24750-22-12B	201 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 12B,13B,14B	& 15B MID 70' OF LTS 12-15
24750-22-12C	203 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 12C,13C,14C,15C	& PT OF CLSD ST S 43' 12-15,N20.
24750-22-16A	205 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 16A,17A,18A,19A	& PT OF CLSD ST N36.8' 16-19,S 2
24750-22-12B	201 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 12B,13B,14B	& 15B MID 70' OF LTS 12-15
24750-22-16A	205 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 16A,17A,18A,19A	& PT OF CLSD ST N36.8' 16-19,S 2
24750-22-12B	201 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 12B,13B,14B	& 15B MID 70' OF LTS 12-15
24750-22-16A	205 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 16A,17A,18A,19A	& PT OF CLSD ST N36.8' 16-19,S 2
24750-22-12C	203 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 12C,13C,14C,15C	& PT OF CLSD ST S 43' 12-15,N20.
24750-22-12C	203 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 12C,13C,14C,15C	& PT OF CLSD ST S 43' 12-15,N20.
24750-22-24	111 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 24,12A,13A,14A	& LTS 15A & PT OF ALLEY N 16' OF
24750-22-24	111 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 24,12A,13A,14A	& LTS 15A & PT OF ALLEY N 16' OF
24750-22-24	111 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 24,12A,13A,14A	& LTS 15A & PT OF ALLEY N 16' OF
24750-22-24	111 S WAXAHACHIE ST	MANSFIELD, CITY OF	BLK 22	LOT 24,12A,13A,14A	& LTS 15A & PT OF ALLEY N 16' OF
24750-22-1A	508 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 1A,2A	& 3A N 130' OF LOTS 1 & 2 N 130'
24750-22-1A	508 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 1A,2A	& 3A N 130' OF LOTS 1 & 2 N 130'
24750-22-5B	104 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 5B,6A	& 7A S 7' E 120' LT 5,E 120' LT
24750-22-1B	102 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 1B,2B,3B,5A	& 1/2 OF ALLEY ON SOUTH S20' LTS
24750-22-1B	102 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 1B,2B,3B,5A	& 1/2 OF ALLEY ON SOUTH S20' LTS
24750-22-1B	102 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 1B,2B,3B,5A	& 1/2 OF ALLEY ON SOUTH S20' LTS
24750-5-34	113 E KIMBALL ST	MANSFIELD, CITY OF	BLK 5	LOT 34	37D & 37E

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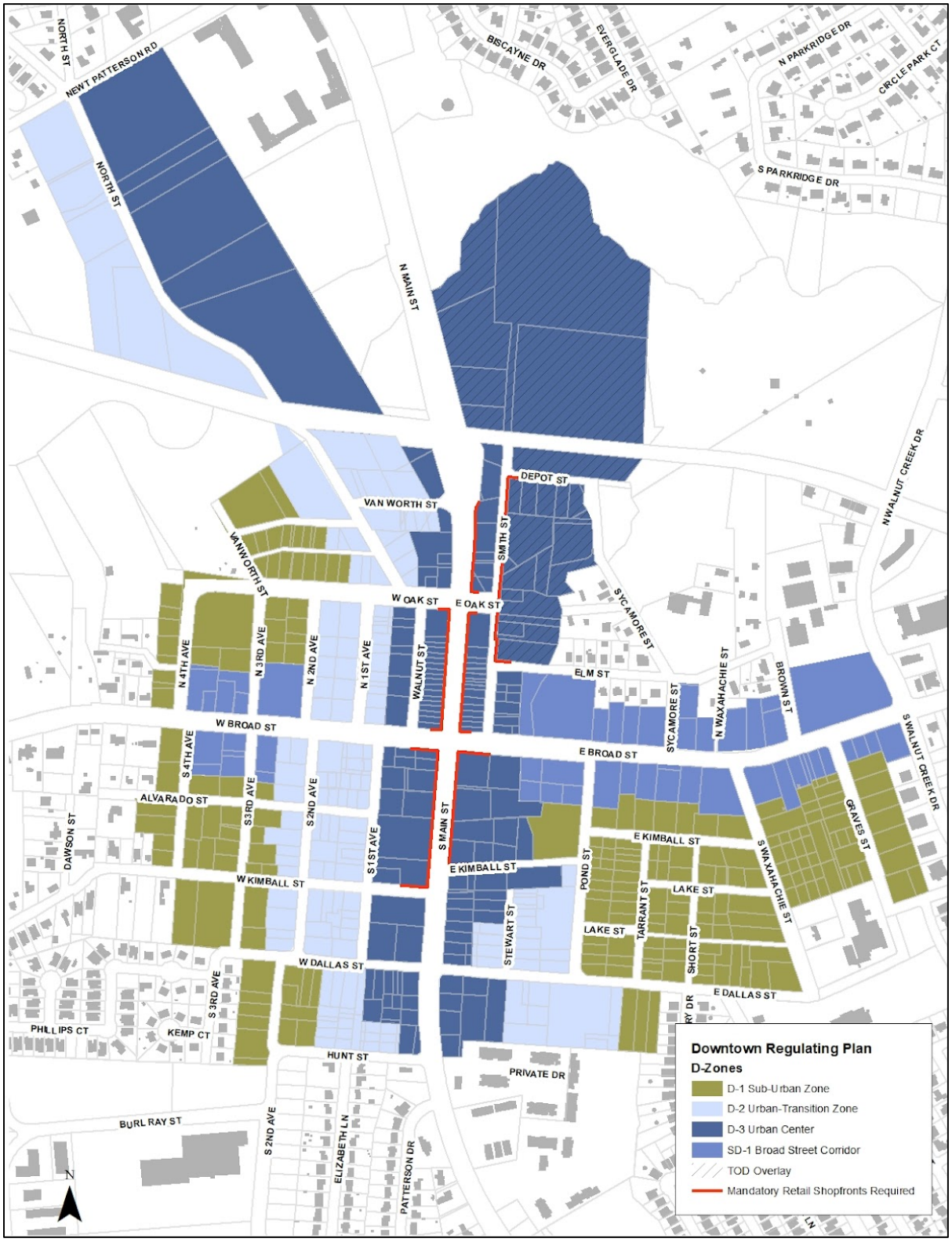
24750-5-37C	208 E BROAD ST	MANSFIELD, CITY OF	BLK 5	LOT 37C	38 & 39B
24750-5-37C	208 E BROAD ST	MANSFIELD, CITY OF	BLK 5	LOT 37C	38 & 39B
24750-5-34	113 E KIMBALL ST	MANSFIELD, CITY OF	BLK 5	LOT 34	37D & 37E
24750-28-4A	103 S 2ND AVE	MANSFIELD, CITY OF	BLK 28	LOT 4A	& 5B
24750-28-1C	104 S 1ST AVE	MANSFIELD, CITY OF	BLK 28	LOT 1C,	2C, 3C & LOTS 5A, 6A, 7A, & 8A
24750-28-1C	104 S 1ST AVE	MANSFIELD, CITY OF	BLK 28	LOT 1C,	2C, 3C & LOTS 5A, 6A, 7A, & 8A
24750-28-1C	104 S 1ST AVE	MANSFIELD, CITY OF	BLK 28	LOT 1C,	2C, 3C & LOTS 5A, 6A, 7A, & 8A
24750-28-1C	104 S 1ST AVE	MANSFIELD, CITY OF	BLK 28	LOT 1C,	2C, 3C & LOTS 5A, 6A, 7A, & 8A
24750-28-1C	104 S 1ST AVE	MANSFIELD, CITY OF	BLK 28	LOT 1C,	2C, 3C & LOTS 5A, 6A, 7A, & 8A
24750-28-1C	104 S 1ST AVE	MANSFIELD, CITY OF	BLK 28	LOT 1C,	2C, 3C & LOTS 5A, 6A, 7A, & 8A
24750-28-1A	201 W BROAD ST	MANSFIELD, CITY OF	BLK 28	LOT 1A,	2A & 3A
24750-28-1A	201 W BROAD ST	MANSFIELD, CITY OF	BLK 28	LOT 1A,	2A & 3A
24750-28-1B	102 S 1ST AVE	MANSFIELD, CITY OF	BLK 28	LOT 1B,	2B & 3B
24750-28-1B	102 S 1ST AVE	MANSFIELD, CITY OF	BLK 28	LOT 1B,	2B & 3B
24750-34-4	405 W BROAD ST	MANSFIELD, CITY OF	BLK 34	LOT 4	& 6A (N 55' OF LOT 6)
24750-34-1A	102 S 3RD AVE	MANSFIELD, CITY OF	BLK 34	LOT 1A	& 5
24750-33-C1	200 S 3RD AVE	MANSFIELD, CITY OF	BLK 33	LOT C1	& D
24750-26-1B	302 S 1ST AVE	MANSFIELD, CITY OF	BLK 26	LOT 1B	2A & 3A
24750-26-1B	302 S 1ST AVE	MANSFIELD, CITY OF	BLK 26	LOT 1B	2A & 3A
24750-26-1C	304 S 1ST AVE	MANSFIELD, CITY OF	BLK 26	LOT 1C	& 2B (S PTS OF LTS 1 & 2)
24750-27-D	206 S 1ST AVE	MANSFIELD, CITY OF	BLK 27	LOT D	& C
24750-55-2A	108 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 2A	3 & PT CL ST
24750-55-8A	204 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 8A	& 4B
24750-55-4A	200 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 4A	& 8B
24750-55-7	206 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 7	7A 7A1 & 9
24750-55-7	206 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 7	7A 7A1 & 9
24750-55-7	206 E DALLAS ST	MANSFIELD, CITY OF	BLK 55	LOT 7	7A 7A1 & 9
24750-22-4	506 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 4,3C,5C,6B,7C,10D,	LTS 11,20,21C, & PT OF ALLEY & P
24750-22-4	506 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 4,3C,5C,6B,7C,10D,	LTS 11,20,21C, & PT OF ALLEY & P
24750-22-4	506 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 4,3C,5C,6B,7C,10D,	LTS 11,20,21C, & PT OF ALLEY & P
24750-22-4	506 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 4,3C,5C,6B,7C,10D,	LTS 11,20,21C, & PT OF ALLEY & P
24750-22-4	506 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 4,3C,5C,6B,7C,10D,	LTS 11,20,21C, & PT OF ALLEY & P

PARCEL ID NUMBER	PROPERTY ADDRESS	SUBDIVISION OR SURVEY NAME	BLOCK OR ABSTRACT NUMBER	LOT OR TRACT NUMBER	ADDITIONAL INFORMATION
24750-22-4	506 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 4,3C,5C,6B,7C,10D,	LTS 11,20,21C, & PT OF ALLEY & P
24750-22-4	506 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 4,3C,5C,6B,7C,10D,	LTS 11,20,21C, & PT OF ALLEY & P
24750-22-4	506 E BROAD ST	MANSFIELD, CITY OF	BLK 22	LOT 4,3C,5C,6B,7C,10D,	LTS 11,20,21C, & PT OF ALLEY & P
24750-22-22B	302 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 22B,21B	& 23B S 100' LTS 22-23 S 100' E
24750-22-22B	302 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 22B,21B	& 23B S 100' LTS 22-23 S 100' E
24750-22-8B	202 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 8B,9B	& 10B MID PT LTS 8 & 9 E MID PT
24750-22-8B	202 GRAVES ST	MANSFIELD, CITY OF	BLK 22	LOT 8B,9B	& 10B MID PT LTS 8 & 9 E MID PT
24750-4-11R	302 W BROAD ST	MANSFIELD, CITY OF	BLK 4	LOT 11R	PER PLAT D214124067
24750-28-8R	200 ALVARADO ST	MANSFIELD, CITY OF	BLK 28	LOT 8R	
24750-28-4R	216 ALVARADO ST	MANSFIELD, CITY OF	BLK 28	LOT 4R	
24750-28-5R	212 ALVARADO ST	MANSFIELD, CITY OF	BLK 28	LOT 5R	
24750-28-6R	208 ALVARADO ST	MANSFIELD, CITY OF	BLK 28	LOT 6R	
24750-28-7R	204 ALVARADO ST	MANSFIELD, CITY OF	BLK 28	LOT 7R	
24750-27-1R2A	215 ALVARADO ST	MANSFIELD, CITY OF	BLK 27	LOT 1R2A	
24750-27-1R2B	211 ALVARADO ST	MANSFIELD, CITY OF	BLK 27	LOT 1R2B	
24750-30-2R	304 W KIMBALL ST	MANSFIELD, CITY OF	BLK 30	LOT 2R	
24750-30-1R	209 S 3RD AVE	MANSFIELD, CITY OF	BLK 30	LOT 1R	
24750-63-2B1	SYCAMORE ST	MANSFIELD, CITY OF	BLK 63	LOT 2B1	
24750-5-36R1	109 S MAIN ST	MANSFIELD, CITY OF	BLK 5	LOT 36R1	
24750-64-4A2	SYCAMORE ST	MANSFIELD, CITY OF	BLK 64	LOT 4A2	
24750-30-4R2	206 S 2ND AVE	MANSFIELD, CITY OF	BLK 30	LOT 4R2	
24750-30-4R1	204 S 2ND AVE	MANSFIELD, CITY OF	BLK 30	LOT 4R1	
24750-27-2R2	204 W KIMBALL ST	MANSFIELD, CITY OF	BLK 27	LOT 2R2	
24750-27-2R1	206 W KIMBALL ST	MANSFIELD, CITY OF	BLK 27	LOT 2R1	
24750-31-1R	307 W KIMBALL ST	MANSFIELD, CITY OF	BLK 31	LOT 1R	
24750-31-2R	304 S 2ND AVE	MANSFIELD, CITY OF	BLK 31	LOT 2R	
24750-6-15R	312 TARRANT ST	MANSFIELD, CITY OF	BLK 6	LOT 15R	
24750-47-14AR1	211 W DALLAS ST	MANSFIELD, CITY OF	BLK 47	LOT 14AR1	
24750-47-14AR2	209 W DALLAS ST	MANSFIELD, CITY OF	BLK 47	LOT 14AR2	
24750-47-14AR3	207 W DALLAS ST	MANSFIELD, CITY OF	BLK 47	LOT 14AR3	
32132-45-6R	111 VAN WORTH ST	PEREZ ADDITION	BLK 45	LOT 6R	
24750-36-3R	204 S 4TH AVE	MANSFIELD, CITY OF	BLK 36	LOT 3R	
24750-5-32A1A	E KIMBALL ST	MANSFIELD, CITY OF	BLK 5	LOT 32A1A	
24750-1-2R1	132 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 2R1	
24750-1-2R2	130 N MAIN ST	MANSFIELD, CITY OF	BLK 1	LOT 2R2	
24750-31-3R	308 S 2ND AVE	MANSFIELD, CITY OF	BLK 31	LOT 3R	
24750-31-4R	310 S 2ND AVE	MANSFIELD, CITY OF	BLK 31	LOT 4R	

PARCEL ID NUMBER	PROPERTY ADDRESS	SUBDIVISION OR SURVEY NAME	BLOCK OR ABSTRACT NUMBER	LOT OR TRACT NUMBER	ADDITIONAL INFORMATION
24750-26-1R1	203 W KIMBALL ST B	MANSFIELD, CITY OF	BLK 26	LOT 1R1	
24750-26-1R2	203 W KIMBALL ST A	MANSFIELD, CITY OF	BLK 26	LOT 1R2	
24750-16-1R	501 E BROAD ST	MANSFIELD, CITY OF	BLK 16	LOT 1R	
24750-10-1R	310 E BROAD ST	MANSFIELD, CITY OF	BLK 10	LOT 1R	
24750-4-3	105 N 1ST AVE	MANSFIELD, CITY OF	BLK 4	LOT 3	& 8
30353-1-3	451 NEWT PATTERSON RD	NOWELL ADD	BLK 1	LOT 3	19.94' by 270.52' PORTION OF LOT 3

TABLE 1: REGULATING PLAN. The allocation of D-zones.



Proposed D, Downtown Districts Exhibit "B"

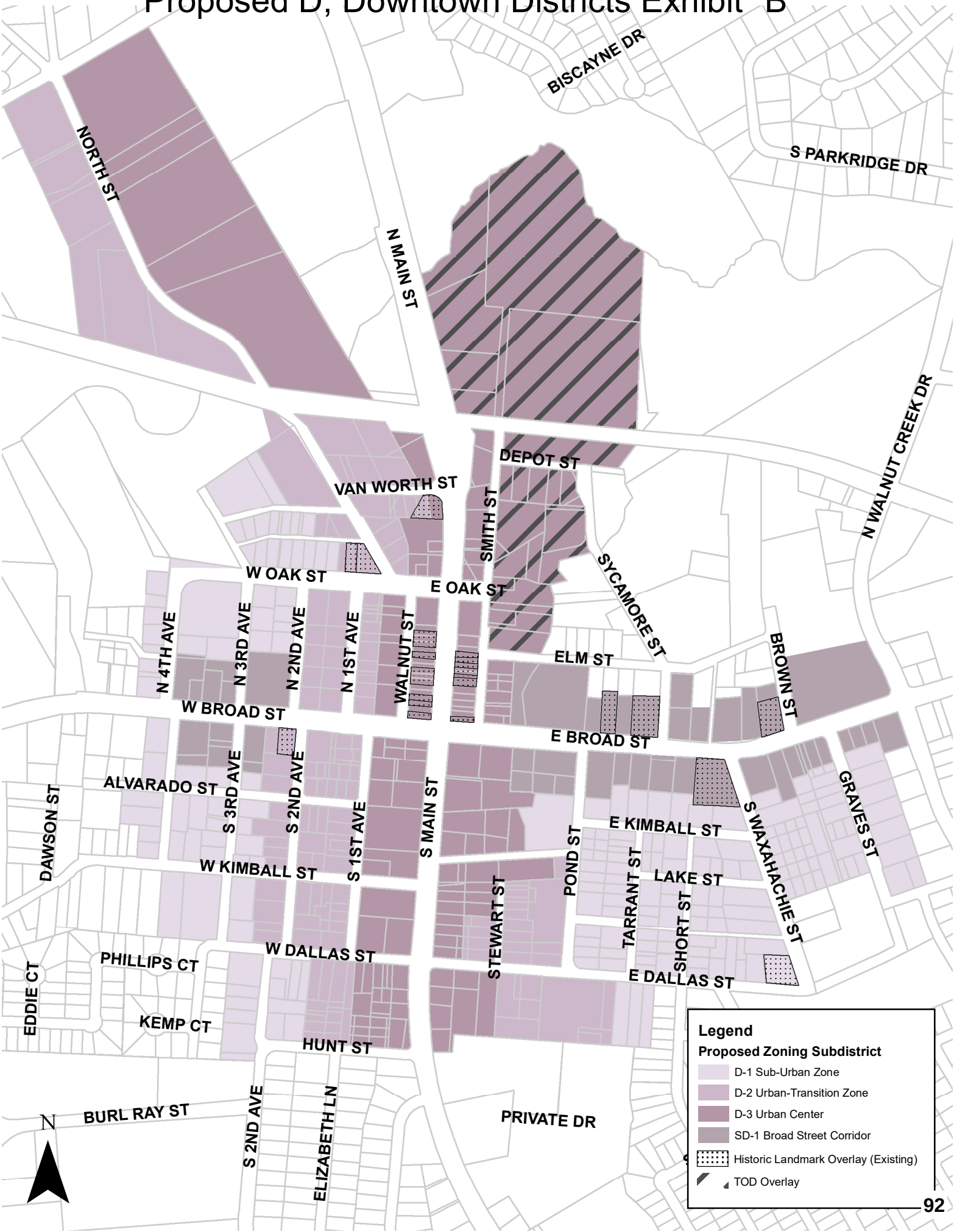


Exhibit “C” D, Downtown District Standards

(Subject to Change, 9-13-21)

SECTION 155.072.

D, DOWNTOWN DISTRICT

CITY OF MANSFIELD, TEXAS

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A. PURPOSE.

The primary purpose of this district is to enable and encourage increased private investment in the historic downtown and in its immediate environs. It is further the purpose of this district to build on the work protecting the historic and cultural heritage of the historic downtown for the inheritance of future generations. The following policies provide further clarification on the purpose of this district:

1. That mixed-use development should be enabled and encouraged as a pattern of development to increase the residential density and the intensity of activity within the historic downtown in support of viable and diverse locally-oriented businesses and cultural institutions.

2. That development within the historic downtown should be attractive to the past, the present, and the future generations, and allow them to participate in its economic growth.

3. That small-scale, incremental development should be promoted and encouraged alongside larger development.

4. That building regulations should equitably balance the rights of the individual and the interests of the community as a whole.

5. That building form individually and collectively defines and supports the public realm.

6. That building configuration should support walkability, safe streets, and safe public spaces, creating pedestrian friendly neighborhoods.

7. That building configuration should define streets and public spaces as rooms, and should vary by context and intensity in coordination with neighboring properties.

8. That the harmonious and orderly evolution of the historic downtown and its surrounding areas should be secured through regulating the form of buildings.

B. DEFINITIONS.

This Section provides the specific definitions for terms in this Section that are either technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Section, then the Director of Planning shall determine the correct definition.

A-STREETS:

Those streets that by virtue of their pre-existing pedestrian-supportive qualities, or their future importance to pedestrian connectivity, are held to the highest standards prescribed by this Section.

ACCESSORY UNIT:

A dwelling unit not greater than 800 square feet, and sharing ownership and utility connections with a principal building; and the dwelling may or may not be within an outbuilding and it may or may not be for rent.

ALLEY:

A way designated to be a second means of vehicular access to the rear or side of properties; an alley may connect to a vehicular driveway located to the rear of

lots providing access to outbuildings, service areas, or parking areas, and containing utility easements.

ATTIC:

The interior part of a building contained within a pitched roof structure.

AWNING:

A shading structure, cantilevered or otherwise entirely supported from a building, and used to protect outdoor spaces from sun, rain, and other natural conditions. Awnings are typically used to provide cover for outdoor seating for cafés and restaurants.

B-STREETS:

Those streets that by virtue of their use, location, or absence of pre-existing pedestrian-supportive qualities, may meet a standard lower than that of A-Streets.

BED AND BREAKFAST:

Is an owner-occupied lodging type offering one to five bedrooms, permitted to serve breakfast in the mornings to guests.

BUILDING HEIGHT:

The vertical extent of a building measured in stories.

C-STREETS:

Those streets that may meet a standard lower than that of B-Streets.

CIVIC SPACE:

An outdoor area permanently dedicated for public use.

COMMERCIAL:

The term collectively defining lodging, office, and retail functions.

DOWNTOWN ZONES (D-ZONES):

One of several areas that are on a zoning map regulated by this Section. D-zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, density, height, and setback requirements, other elements of the intended human habitat are integrated, including those of the private lot and the building and its frontage.

DRIVEWAY:

A vehicular lane within a lot, often leading to a garage.

ENCROACH:

To break the plane of either a vertical or horizontal regulatory limit with a structural element, so that it extends into a setback, into the public right-of-way, or above a height limit.

FAÇADE:

The exterior wall of a building that is set parallel or nearly parallel to a lot line bordering a street or civic space. Façades facing streets and civic space define the public realm and are therefore more regulated than the exterior walls facing the other property lines.

FOOD TRUCK SALES PARK:

A site approved through a specific use permit that allows for a permanent location for four or more food trucks. All such sites shall include required infrastructure and public seating for all food trucks serving guests in the park.

FRONT SETBACK:

Is the distance from the front lot line to the point where a building may be constructed. This area shall be maintained clear of permanent structures with the exception of encroachments.

FRONTAGE:

The area between a building façade and vehicular lanes, and it is inclusive of its built and planted components.

FRONTAGE BUILDOUT:

The percentage of the lot width that is occupied by the building façade within the front setback.

FUNCTION:

The use or the uses accommodated by a building and its lot.

GALLERY:

Frontage wherein the façade is aligned close to the lot line abutting a street or civic space with an attached cantilevered shed or lightweight colonnade overlapping the sidewalk. *See DIAGRAM 7.*

GLAZING:

The transparent area of a building façade.

INN:

A type of lodging function, offering up to 10 bedrooms, permitted to serve breakfast in the mornings to guests.

INTERCOLUMNIATION:

The distance between two columns.

LINER BUILDING:

A building specifically designed to mask a parking lot or parking structure from a street or civic space.

LIVE-WORK:

A mixed-use unit consisting of a residential and a commercial function. It is intended to be occupied by a business operator who lives in the same structure that contains the commercial activity.

LODGING:

A function available for daily and weekly renting of bedrooms.

LOT:

A parcel of land accommodating a building or buildings under single ownership.

LOT COVERAGE:

The percentage of a lot covered by buildings and other roofed structures.

LOT LINE:

The boundary that legally and geometrically demarcates a lot.

MANOR HOUSE:

A small two-story multi-family residential building of two to four dwelling units that reads visually like a detached single-family residence. The habitable area of the units shall not be greater than 1,200 square feet; and may be for rent, or for sale as a condominium. *See DIAGRAM 5*.

MIXED-USE:

Multiple functions permitted within the same building through superimposition or adjacency, or in multiple buildings by adjacency, or at a proximity determined by warrant.

MURAL:

Any piece of artwork painted, tiled, or otherwise applied directly on or affixed to an exterior wall.

OFFICE:

Characterizing premises available for the transaction of general business, but excluding retail use.

OTHER FUNCTION:

Any function other than residential.

OUTBUILDING:

An accessory building, and usually located toward the rear of the same lot as a principal building.

PARKING STRUCTURE:

A building containing one or more stories of vehicular parking above or below grade.

PASSIVE SPACE:

An outdoor area within a private lot dedicated for pedestrian-oriented uses and visibly accessible from a street or civic space; it is privately owned and maintained. *See DIAGRAM 6.*

PATIO:

A floor encroaching from a first story door that is enclosed by a fence or wall and may or may not be elevated from the sidewalk. *See DIAGRAM 8*.

PLANTER:

The element of the public right-of-way which accommodates trees and public lighting.

PORCH:

An open-air room appended to a building, with floor and roof, but no walls on the sides facing frontages. *See DIAGRAM 9*.

PRINCIPAL BUILDING:

The main building on a lot, usually located toward the front of the lot.

PRINCIPAL ENTRANCE:

The main point of access for pedestrians into a building.

RESIDENTIAL:

Premises available for long-term human dwelling.

RETAIL:

Premises available for the sale of merchandise and food service.

RETAIL FRONTAGE:

A frontage designated on the regulating plan that requires the provision of a shopfront, encouraging the first story to be made available for retail use.

ROW HOUSE:

A single-family dwelling that shares a party wall with another of the same type and occupies the full width of the front setback.

SHOPFRONT:

A frontage conventional for retail use with substantial glazing wherein the façade is aligned relatively close to the lot line bordering a street or civic space with the building entrance at sidewalk grade. *See DIAGRAM 10*.

STOOP:

A frontage wherein the façade is aligned close to the front lot line with the first story elevated from the sidewalk for privacy, with an exterior stair and landing at the entrance. *See DIAGRAM 11*.

STORY:

A habitable level within a building by which height is measured, excluding an attic or a raised basement.

STREETSCREEN:

A freestanding wall required to be built within a frontage, or co-planar with a façade.

VARIANCE:

A ruling that would permit a practice that is not consistent with either a

specific provision or the purpose of this Section.

WARRANT:

A ruling that would permit a practice that is not consistent with a specific provision of this Section but is justified by its intent.

C. APPLICABILITY.

1. The provisions of this Section are activated by "shall" when required, and by "may" when optional.

2. The provisions of this Section, when in conflict, shall take precedence over those of other codes, ordinances, regulations, and standards except for:

   a. Section 91 (Fire Protection and Prevention).

   b. Section 150 (Building Regulations).

   c. The Subdivision Control Ordinance.

3. The provisions of this Section or the numerical metrics of its tables, when in conflict with any of its diagrams and illustrations, shall take precedence.

4. The boundaries of this district shall be as shown in Table 1; and the boundaries of this district may be expanded to areas located outside of this district, provided that their boundaries are added to Table 1. Unless otherwise noted in this Section, boundaries of D-zones shall be mapped along street centerlines and along rear lot lines and side lot lines.

5. Planned unit development district regulations, as set forth in Section 155.066, shall not be applicable within this district.

D. NON-CONFORMITIES.

1. When a building or structure is proposed to be constructed or to be modified, the building or structure shall comply with the provisions of this Section. Any non-conforming building or structure may only be

expanded or modified, if the expansion or modification decreases the non-conformity and thereby results in greater conformance with the provisions of this Section.

2. The temporary or the illegal use of property shall not be sufficient to establish the existence of a non-conformity or to create rights in the continuation of a non-conformity.

3. Where buildings exist on adjacent lots, the Director of Planning may require that a proposed building match the setbacks and heights of adjacent buildings rather than the provisions of this Section.

4. Where sidewalks exist on adjacent lots, the Director of Planning may require that a proposed sidewalk match the width and materials of existing sidewalks rather than the provisions of this Section.

5. Any addition to or modification of a property located in this district, and also located in the H, Historic Landmark Overlay District, shall be subject to approval by the Historic Landmark Commission prior to review by the Director of Planning.

E. WARRANTS AND VARIANCES.

1. There shall be two types of deviations from the requirements of this Section: (i) warrants and (ii) variances.

2. A warrant shall allow a practice that is not consistent with a specific provision of this Section, but is justified by the purpose. The Director of Planning shall have the authority to administratively approve or disapprove any request for a warrant. Director of Planning decisions may

only be appealed to the City Manager or his/her designee within 15 days of the Director of Planning decision. Appeals shall be filed with the Department of Planning.

3. A variance is a ruling on a deviation other than a warrant. Variances may be granted by the Board of Adjustments with a recommendation provided by the Department of Planning.

4. Variance requests heard by the Board of Adjustments shall be heard as per the rules set forth in Section 155.113.

F. INSTRUCTIONS.

This Section sets forth the standards applicable to the development and to the modification of structures and other elements of the built environment within private lots.

1. The plans and the applications for proposed projects in this Section shall require a pre-development meeting. This meeting shall include the applicant and their design professionals and the associated City Departments.

2. The plans and applications required by this Section shall be subject to administrative approval.

3. This Section requires two types of plan submittals: (i) site plans and (ii) building plans. The building plans required for zoning review do not include any of the construction documents that are required for building permits. Both building plans and construction plans shall be submitted together for review.

4. Site and building plans submitted for approval shall demonstrate compliance with:

   a. Streetscape standards.

   b. Lot standards.

   c. Building requirements.

   d. Building function.

   e. Parking standards.

   f. Landscape standards.

   g. Building frontage.

   h. Building massing.

   i. Building materials and configuration.

   j. Signage standards.

   k. Passive space.

   l. Special building requirements, if any.

   m. Special lot assemblage plans, if applicable.

   n. TOD, transit overlay district, if applicable.

   o. Warrants, if any.

G. DESCRIPTION OF DOWNTOWN ZONES.

The D, Downtown District, is further divided into three distinct downtown zones and one special district (D-zones) using the rural-to-urban transect to provide neighborhood structure for the historic downtown and environs. The rural-to-

urban transect is a means for considering and organizing the human environment according to intensities ranging from the most rural condition to the most urban condition. The D-zones are primarily classified by the: (i) physical intensity of the built form, (ii) complexity of uses within the zone, and (iii) relationship between the natural and built environment. The D-zones are calibrated to reflect existing and future contexts and their descriptions shall be as follows:

1. **D-1, SUB-URBAN ZONE:** this zone consists of residential areas with some commercial and mixed-use activity adjacent to higher intensity zones. The character of this zone consists of detached single-family residential surrounded by lawns and landscaped yards with limited office. Pedestrians may be occasionally present, and trees are within the public right-of-way.

2. **D-2, URBAN TRANSITION ZONE:** this zone consists of a mixed-use, but a primarily residential urban fabric. The character of D-2 zones consists predominately of attached buildings accommodating office, restaurant, and retail mixed with row houses and small multi-family residential buildings. There is substantial pedestrian activity in this zone and trees and public lighting are within the public right-of-way.

3. **D-3, URBAN CENTER ZONE:** this zone consists of mixed-use of the greatest variety and the highest intensity. The character of this zone consists of attached buildings that form a continuous street wall and accommodate diverse entertainment, multi-family residential, office, restaurant, and retail. The D-3 zone has the highest pedestrian and

transit activities; and trees and public lighting are within the public right-of-way.

4. **SD-1, BROAD STREET CORRIDOR:** this special district is intended to direct the re-use of historic buildings and their lots along portions of Broad Street from residential to office, restaurant, and retail uses. This special district is further intended to incubate and nurture new and distinct businesses for the historic downtown and its immediate environs.

H. STREETSCAPE STANDARDS.

Streets in D-zones shall be assigned their designations according to Table 2. The following standards shall apply to the design and streetscape of new streets and to the modification of existing streets within D-zones.

1. A-Streets.

   a. The streetscape standards for A-Streets shall be in accordance with the Historic Mansfield Downtown Design Plan and other plans and policies adopted by the City Council.

2. B-Streets.

   a. The minimum public right-of-way width shall be 50 feet.

   b. The minimum pavement width shall be 29 feet (i.e., measured from back of curb to back of curb).

   c. The planter width shall be a minimum of four-and-a-half feet.

   d. Trees shall be planted at 40 feet on center average within the planter.

e. Public lighting shall be installed at 60 feet on center average within the planter.

f. Public lighting shall be a post type fixture.

I. Public lighting shall be a maximum of 16 feet in height.

II. Public lighting shall be 30 feet from the intersection of two streets.

g. The design of public lighting shall be approved by the Director of Planning.

3. C-Streets.

a. The minimum public right-of-way width shall be 50 feet.

b. The minimum pavement width shall be 29 feet (i.e., measured from the back of curb to back of curb).

c. The planter width shall be a minimum of four feet.

d. Trees shall be planted at 40 feet on center average within the planter.

4. Smith Street.

a. The future modification of Smith Street is envisioned to safely accommodate pedestrians, cyclists, and transit users, and to provide an attractive public realm able to support community events including festivals and outdoor food sales. Streetscape standards for Smith Street shall be in accordance with the plans and policies adopted by the City Council.

5. Alleys.

   a. The minimum alley public easement right-of-way width shall be 20 feet.

   b. The minimum pavement width shall be 14 feet.

   c. Buildings and structures shall be set back a minimum of 10 feet from the centerline of the alley, except as provided below.

      I. Garages accessed by an alley shall be set back from the centerline of the alley a minimum of 15 feet.

      II. The design of alleys and the setbacks of structures from alleys shall accommodate utilities and refuse collection. Paved areas for utilities and refuse collection shall be a minimum of 10 feet from the centerline of the alley.

   d. Alleys shall terminate at streets.

   e. The minimum curb radius at the intersection of a street shall be determined by warrant.

6. Walkways. One walkway no wider than five feet and providing access from the principal entrance to the street shall be permitted.

   a. Walkways shall be paved in brick, concrete, or stone.

7. Pedestrian connections to trail network. All multi-family residential, mixed-use, or commercial buildings to be developed or redeveloped on lots abutting Pond Branch Linear Park Trail, Walnut Creek Linear Park Trail, or any other future trail network funded by the City shall provide a paved pedestrian connection directly to the trail. The width of the

pedestrian connection and paving materials shall be subject to approval by the Director of Parks and Recreation.

8. Utilities. Utilities shall be placed underground, and within the public right-of-way, including alleys.

9. Except for streetscape standards adopted for A-Streets and Smith Street, the streetscape standards may be modified by a warrant.

I. LOT STANDARDS.

This Section regulates lots within D-zones, and standards shall be applied as follows:

1. Lots in D-zones shall front on a street or a civic space.

2. Lots in D-zones may be of any width and of any depth.

3. Lot coverage by buildings shall not exceed the maximum percentage by D-zone as provided in below:

   a. D-1 zones: 50 percent maximum.

   b. D-2 zones: 60 percent maximum.

   c. D-3 zones: 70 percent maximum.

   d. SD-1: none.

J. BUILDING REQUIREMENTS.

This section regulates the placement, height, and construction of buildings within D-zones, and standards shall be applied as follows:

1. Principal buildings. All principal buildings shall be setback from the boundaries of their lots by D-zone as provided in below:

a. Front:

I. D-1 zones: a minimum of 15 feet and a maximum of 30 feet.

II. D-2 zones: no minimum and a maximum of 30 feet.

III. D-3 zones: no minimum and a maximum of 30 feet.

IV. SD-1: shall be determined by warrant.

b. Side: no minimum and no maximum in any D-zone.

c. Rear: a minimum of 15 feet (except as provided above for alley loaded configurations in Section 155.072(H)(5).

d. The front setback requirements may be modified by warrant to accommodate slopes over 10 percent.

2. Outbuildings. All outbuildings shall be setback as follows:

a. The side setback shall be a minimum of five feet as measured from the side lot line.

b. The rear setback shall be a minimum of five feet as measured from the rear lot line.

3. Setback considerations for utilities. The front, rear, and side setback requirements in this Section may be modified to accommodate utility easements and utility services (e.g., meters, pedestals, and other equipment).

4. Building height. Building height shall be as follows:

a. Building height is measured in stories for each habitable level above-ground level according to the following:

   I. Stories shall be measured from finished floor to finished ceiling.

   II. Stories above the ground floor are limited to a maximum height of 14 feet.

   III. Stories combined to exceed a maximum height of 14 feet shall be counted as multiple stories.

   IV. Attics are not included in building height measurement and shall not exceed a maximum height of 14 feet.

b. Principal buildings shall not exceed a maximum of four stories in height in all D-zones, except that principal buildings in the TOD shall not exceed a maximum of six stories in height.

c. Outbuildings shall not exceed two stories in height and shall be no higher than the principal building on the same lot.

d. For free-standing parking structures, building height shall be measured in feet. Free-standing parking structures shall not exceed 30 feet in height.

e. For parking structures attached to a building or buildings for at least 50 percent of their perimeter, stories may exceed the limit for parking structure height provided they do not exceed the eave height of the attached building or buildings.

f. Height limits for belfries, clock towers, chimney flues, elevator bulkheads, or masts shall be determined by warrant.

5. Habitable Area.

a. The habitable area for a single-family residence or a row house shall be a minimum of 1,800 square feet.

b. The habitable area for a multi-family residence shall be a minimum of 700 square feet.

c. The habitable area for an accessory unit within a principal building or an outbuilding shall not exceed 800 square feet.

6. Tenant flexibility.

a. The design of commercial spaces at the first and second story shall anticipate restaurant requirements. Accommodation for restaurant venting and sewage utilities such as grease traps and interceptors shall be designed into the building.

b. Buildings shall provide maximum clear space between interior columns for first story retail and activity space.

K. BUILDING FUNCTION.

This Section delegates the use or the uses of buildings and their lots within D-zones, and standards shall be applied as follows:

1. Building use shall be limited to the allowable building functions by D-zone according to Table 3.

2. The following building uses are modified, and additional restrictions shall be applied as follows:

a. Bed and Breakfast.

I. The maximum length of stay shall not exceed 10 days.

b. Live-work.

I. The commercial function is restricted to the first story.

II. The specific use shall be determined by warrant.

III. The business operator shall reside at the unit.

IV. The floor area assigned to the commercial function shall not exceed 1,000 square feet.

3. The following specific uses are not allowed within D-zones:

a. Adult entertainment or adult-themed retail sales.

b. Automotive sales, automotive repair, or automotive service.

c. Body piercing parlors or tattoo parlors.

d. Car wash.

e. Check cashing.

f. Drive-through window or drive-through service.

g. Gas station.

h. Liquor store.

i. Pawn shop, secondhand shop, or thrift store.

j. Retail sales of tobacco products as a primary use.

k. Wholesale business.

L. PARKING STANDARDS.

1. Required parking. Parking requirements shall be determined by use as provided below:

    a. A residential function with one bedroom (including accessory units) shall require 1.0 assigned parking spaces per unit.

    b. A residential function with two or more bedrooms shall require 2.0 assigned parking spaces per unit.

    c. A lodging function shall require 1.0 assigned parking spaces per bedroom.

    d. An office function shall require 3.0 assigned parking spaces per 1,000 square feet.

    e. A retail function shall require 4.0 assigned parking spaces per 1,000 square feet, except that retail spaces with 1,500 square feet of space or less shall be exempt from the required parking in this Section.

    f. Other functions shall require parking in accordance with the provisions existing in Section 155.091.

    g. In D-3 zones, the parking provided for multi-family residential buildings, mixed-use buildings, or commercial functions shall include the actual parking spaces provided within the lot and along the parking lane corresponding to the lot.

h. In D-3 zones, 100 percent of the required parking for office or retail functions may be provided by a parking lot or parking structure within 800 feet of the lot.

2. Parking access.

a. Parking shall be accessed by alleys where available.

b. Parking may be accessed by driveways for lots at least 60 feet wide.

c. Driveways for single-family residences only, shall be limited to 12 feet in width. Portions of the driveways for the first 30 feet of depth shall not be used for parking.

d. Vehicular entrances to all parking lots and parking structures shall be no wider than 24 feet at the front lot line setback.

3. Garages.

a. Garages for single-family residences shall be detached, except as provided in below. All garages for single-family residences shall be located to the rear or side of the lot.

b. Front-facing attached garages shall only be permitted on lots for less than 60 feet in width.

c. Front-facing attached garages shall be set back at least 20 feet behind the façade and shall not exceed 40 percent of the width of that façade.

I. On all front-facing attached garages, a minimum of one opening for a window shall be provided.

d. Garages for row houses may be attached to or detached from the dwelling, and shall be rear-facing.

4. Physical requirements for parking lots and parking structures.

a. All parking lots shall be masked from thoroughfares streets and civic spaces by a building or streetscreen.

b. All parking structures shall be masked by liner buildings at the first two stories.

5. A minimum of one bicycle rack place shall be provided in proximity to the principal entrance for every ten vehicular parking spaces.

M. LANDSCAPE STANDARDS.

The landscaping standards existing in the provisions of Section 155.092 shall apply to development and redevelopment within D-zones.

N. BUILDING FRONTAGE.

This Section prescribes standards that regulate the quality and the design of building frontages in support of pedestrian activity and a vibrant public realm. The standards of this Section are intended to ensure that buildings are designed with a clear sense of enclosure for all streets and civic spaces and enable streets and civic spaces to function as human-scaled outdoor rooms.

1. Lots fronting two or more streets or civic spaces shall have building frontages provided along each street or civic space.

2. All buildings shall have their principal entrance along streets or civic spaces.

3. All single-family residences at the first story shall provide a porch or stoop at the building frontage.

4. All row houses at the first story shall provide a stoop at the building frontage.

5. All multi-family residential buildings shall provide a patio or porch for each dwelling at the first story.

6. All office and retail functions at the first story shall have a shopfront at the building frontage at a minimum.

7. All loading docks and service areas shall be located towards the rear of the lot.

8. All building frontages shall occupy a minimum percentage of the lot line as provided below as frontage buildout:

    a. D-1 zones: 60 percent.

    b. D-2 zones: 70 percent.

    c. D-3 zones: 80 percent.

    d. SD-1: None.

9. Awnings shall be permitted to may encroach to within two feet of a curb with approval by the Director of Planning.

10. Balconies and bay windows shall be permitted to encroach to within five feet from the lot line.

    a. All balconies and bay windows shall be no less than three feet deep.

11. Porches:

    a. Porches shall be no less than six feet deep.

    b. Porches shall be permitted to encroach to within five feet from the lot line.

        I. Stairs to porches may encroach up to the lot line.

        II. Stairs to porches shall not be permitted to encroach into the public right-of-way.

12. Stoops:

    a. Stoops shall be no less than five feet in depth.

    b. Stoops shall be between four feet and six feet in width.

    c. Stoops shall be covered by a pitched roof structure.

    d. Stoops may be recessed into the main volume of the building where setbacks are less than five feet.

    e. Stoops shall be permitted to encroach to within five feet from the lot line.

        I. Stairs to stoops may encroach up to the lot line.

        II. Stairs to stoops shall not be permitted to encroach into the public right-of-way.

13. Patios.

    a. Patios shall be no less than four feet in depth.

    b. Patios shall be covered by a pitched roof structure or a balcony above.

14. Shopfronts:

a. Shopfronts shall be glazed with clear glass for no less than 70 percent of the total building wall area between two feet and 12 feet above the adjacent sidewalk, calculated independently for each building frontage.

b. Shopfronts shall be designed with a bulkhead and display and transom windows.

c. All bulkheads shall be between two feet and three-and-a-half feet in height.

d. All display windows shall be placed above the bulkheads, and below the transom windows.

e. All transom windows shall have dividing muntins and be free of signage.

I. Wall signs, if permitted, may be installed above transom windows.

f. Shopfront doors, windows, awnings, details, and lighting shall be designed and constructed as a unified composition.

15. Galleries:

a. Galleries shall be no less than 10 feet in depth.

b. Galleries may encroach to within two feet of the curb with approval by the Director of Planning.

c. Galleries shall clear a minimum of 10 feet above the sidewalk.

16. In the absence of a building façade along any part of a lot line within D-2 and D-3 zones, a free-standing wall shall be built co-planar with the façade. All streetscreens shall be between two and four feet in height, and shall have openings no larger than necessary to allow automobile and pedestrian access.

17. Commercial functions may utilize the public right-of-way for outdoor seating, serving, display of merchandise, and other business-related activities provided a contiguous clear path that is a minimum of six feet in width be maintained within the private lot, the public right-of-way, or a combination of both.

O. BUILDING MASSING.

1. Building façades along streets and civic spaces shall not exceed 200 feet in length.

2. Building façades along streets and civic spaces shall have openings for doors or windows or articulations such as projections or recesses every 20 feet.

P. BUILDING MATERIALS AND CONFIGURATION.

BUILDING WALLS.

1. Material.

   a. Exterior finish shall be brick, stone, stucco, or wood within D-zones.

I. Synthetic exterior finish shall be permitted provided the finish has the same appearance as the materials noted above and except as provided below.

II. Exterior insulated finishing systems (E.I.F.S.) shall not be permitted as an exterior finish.

b. Bulkheads for shopfronts shall be brick, stone, or stucco.

c. Foundations shall be brick, poured concrete, or stone.

d. Arches and piers shall be constructed of brick or stone.

e. Columns shall be brick, concrete, stone, or stucco.

f. Posts shall be composite wood, metal, or wood.

g. Stoops shall be constructed of brick or stone and shall match the adjacent building façade.

h. Streetscreens shall be constructed of brick or stone and shall match the adjacent building façade.

i. Building color shall be selected according to building style and regional precedent.

2. Configuration.

a. Where multiple exterior finishes are used on a single building, they shall only be combined on each façade horizontally, with the heavier material below the lighter (e.g., stone below brick and stucco, brick below stucco and wood, and stucco below wood).

b. No more than two exterior finishes shall be used on a building, not including the foundation or trim.

c. Building walls shall show the same exterior finish and designs on all sides.

d. Brick or stone shall be integral color and unpainted.

e. Stucco shall be cement with smooth-sand finish.

f. Exposed exterior wood shall be painted or stained.

g. Trim shall not exceed one inch in depth or six inches in width at corners and around openings. The front entrance trim may be any size or configuration.

h. Arches and piers shall be no less than 12 inches by 12 inches.

i. Columns and posts shall be no less than six inches by six inches at finished dimension.

j. Upper story columns and posts shall align with the columns and posts below.

k. Intercolumniation shall be vertically proportioned.

OPENINGS.

1. Material.

a. Windows shall be made of painted aluminum, wood, or vinyl, and shall have clear glass.

b. Garage doors shall be of metal, wood, or composite wood.

2. Configuration.

a. Openings for doors and windows along streets or civic spaces shall be rectangular or square in proportion.

b. Openings for doors and windows above the first story shall not exceed 50 percent of the total building wall area, each building façade shall be calculated independently.

c. Openings above the first story shall be centered directly above the openings on the first story.

d. Doors and windows that operate as sliders shall be prohibited along streets or civic space.

e. Windows shall be single-, double-, or triple-hung or operable casements. Windows shall be rectangular with either vertical or square proportion. Transoms shall be oriented horizontally with vertically proportioned panes of glass. Multiple windows in the same rough opening shall be separated by a four-inch minimum post. The centerline of the window sash shall align within the centerline of the wall (no flush-mounted windows).

    I. Windows in building façades of brick, stone, or stucco shall be recessed a minimum of three inches in depth.

f. Muntins shall be true divided panes or be fixed on the interior and exterior surfaces. Panes shall be similar square or vertical proportions throughout the building.

g. Garage doors, if visible, shall not exceed 10 feet in width.

ATTACHMENTS.

1. Material.

   a. Balcony floors shall be of metal or wood plank.

   b. Patio floors shall be of brick, concrete slab, or stone.

   c. Porch floors shall be of concrete slab, stone, or wood plank.

   d. Stoop floors shall be of brick or stone.

   e. Awnings shall be of canvas or metal.

   f. Galleries shall be constructed of metal or wood.

   g. Chimneys, if visible, shall be brick, stone, or stucco.

2. Configuration.

   a. The finished floor elevation for stoops shall be a minimum of two feet from the average sidewalk grade.

   b. Chimneys, if visible, shall extend to the ground and shall have a projecting cap.

   c. Bay windows shall extend to the floor inside and to the ground outside or be supported by visible brackets.

   d. Balconies that face streets or civic space and cantilever shall be supported by visible brackets.

   e. Awnings shall be sloping rectangles without bottom or side soffit panels.

ROOFS.

1. Material.

a. Pitched roofs shall be asphalt shingles, metal, or slate.

b. Low-slope (flat) roofs shall be commercial quality roofing.

2. Configuration.

a. Roofs shall be symmetrically pitched with a minimum angle 6 in 12, except that roofs provided for patios, porches, or stoops may be symmetrically pitched with a minimum angle 3 in 12. Low-slope (flat) roofs shall be permitted in D-2 and D-3 zones. Flat roofs shall be surrounded by a parapet wall no less than three-and-a-half feet high where the roof deck meets the parapet wall.

b. Skylights shall be flat to the roof plane.

c. Eaves shall be a minimum of 12 inches deep.

d. Rafter tails shall not exceed 6 inches in height at their ends.

e. Roof penetrations, including vent stacks, shall be placed on the roof slope that does not face a street or civic space.

FENCES AND WALLS.

1. Fences, walls, and other suitable visual screens in accordance with the provisions in Section 155.094 may be provided along the rear lot lines and the side lot lines except where both adjoining lot areas are used for surface parking or outdoor commercial uses.

2. All fences along streets and civic spaces shall not exceed four feet in height and shall be made of wood picket, iron, steel, or aluminum that appears to be iron.

a. Fences along streets and civic spaces may have columns that are constructed of brick, stone, or stucco.

3. All streetscreens along streets and civic spaces shall be brick, stone, or stucco and match the adjacent building façade.

4. All fences, streetscreens, and walls along streets and civic spaces shall have designs different than the adjacent lots.

SCREENING.

1. Building mechanical equipment and refuse storage shall be visually screened and not located along streets or civic spaces.

2. Building mechanical equipment on all roof tops shall be screened in a manner consistent with the architectural design of the building on all sides. All screening shall be a minimum of 12 inches higher than the building mechanical equipment to be screened on all sides.

Q. SIGNAGE STANDARDS.

1. Unless otherwise noted below, all the provisions existing in Section 155.090, Sign Standards, shall apply to any property developed or redeveloped in accordance with the provisions of this Section.

2. The following permanent signs shall be prohibited within D-zones:

a. Advertising sign.

b. Electronic message sign and electronic reader board sign.

3. Except as provided below, the following signs shall be permitted for residential functions:

a. One address sign, no more than six inches measured vertically, may be attached to the building in proximity to the principal entrance or at a mailbox.

4. Except as provided below, the following signs shall be permitted for other functions:

a. One wall sign may be applied above tenant shopfronts, below second story windows, and beneath the building cornice line. Wall signs shall not exceed three feet in height and shall not exceed 90 percent of the width of the building façade. Tenant shopfronts located at corner lots may have one wall sign per building façade.

b. One name plate sign, no more than two square feet, may be provided for each tenant.

c. One blade sign for each first story tenant, no more than six square feet, may be permanently installed perpendicular to the façade. Blade signs shall clear a minimum of eight feet above the sidewalk and project no more than two feet from the building façade. Tenants on corner lots may install one blade sign per building façade.

d. One window sign for each first story tenant, no more than nine square feet, may be installed within the store interior in neon tubing or applied directly to the glazing. Tenants on corner lots may install one window sign per building façade. Opaque signs are not permitted.

e. Awnings may include signage in the form of text or graphics printed or applied directly to the top of the awning. Awnings may include signage in the form of text or graphics along the flap no more than eight inches measured vertically by the awning length.

f. One directory sign may be installed in accordance with the provisions existing in Section 155.090, Sign Standards.

g. One institutional sign may be installed in accordance with the provisions existing in Section 155.090, Sign Standards.

5. A-frame sidewalk signs may be permitted for retail functions in D-3 zones and shall be subject to the following standards:

a. A-frame sidewalk signs shall not exceed three-and-a-half feet in height.

b. A-frame sidewalk signs shall not exceed two-and-a-half feet in width.

c. A-frame sidewalk signs shall not be located within three feet of a curb.

d. One A-frame sidewalk sign shall be permitted for each retail tenant at the first story.

6. Marquee signs may be permitted for live theaters in D-3 zones and shall be subject to the following standards:

a. One marquee sign shall be permitted for each live theater.

b. Marquee signs shall clear 10 feet above the sidewalk.

c. Marquee signs may project to within three feet of curbs.

7. Ground-based, monument-type signs may be permitted for multi-family residential buildings in D-3 zones and commercial buildings in SD-1 zones and shall be subject to the following standards:

   a. One ground-based, monument-type sign setback a minimum of five feet from the front lot line.

   b. Ground-based, monument-type signs shall be constructed of brick, stone, or stucco.

   c. Ground-based, monument-type signs shall be a maximum of six feet in height and a maximum of eight feet in width.

   d. Each sign face of a ground-based, monument-type sign shall be a maximum of 25 square feet; and the total signage on all sign faces shall not exceed 50 square feet.

8. Murals may only be permitted for multi-family residential, mixed-use, and commercial buildings in D-3 zones.

9. Temporary signs shall comply with all the applicable regulations and restrictions found in Section 155.090.

R. PASSIVE SPACE.

This Section provides standards for locating and designing passive spaces in D-2 and D-3 zones, and standards shall be applied as follows:

1. Commercial and mixed-use development shall be required to provide passive space. Passive spaces shall be directly entered from a street or a civic space, except that such space may be directly entered from the side of the lot if visible from a street.

2. Passive space may be enclosed with a fence, hedge, or wall.

3. Passive space shall be paved in brick, concrete, gravel, or grass.

4. Passive space shall be privately owned and maintained.

5. Passive space shall be dedicated to one or more of the following:

    a. Fountain.

    b. Furniture games.

    c. Multi-activity area.

    d. Outdoor dining.

    e. Public art.

    f. Water feature.

    g. Other similar activities to be determined by warrant.

S. SPECIAL BUILDING REQUIREMENTS.

To the extent that a Regulating Plan designates any of the following special requirements, standards shall be applied as follows:

1. A mandatory retail frontage designation requires a building provide a shopfront at the first story along the entire length of its frontage. The shopfront may be combined with an awning or gallery.

T. SPECIAL LOT ASSEMBLAGE PLANS.

Where multiple lots are assembled into single ownership, and will result in a land area of four or more contiguous acres, then it may be developed as a single project. Standards shall be applied as follows:

1. All streets shall terminate at other streets in intersections, forming a network.

2. All projects shall allocate at least 10 percent of its area to civic space. Civic space shall be designed as provided in below and as generally described in Table 5.

    a. GREEN: shall be a minimum of 0.5 acres in size and provide the following improvements at a minimum:

        I. One bike rack.

        II. One bench per 1,500 square feet.

        III. One canopy tree per 4,000 square feet.

        IV. Lighting and trash receptacles shall be required.

    b. PARK: shall be a minimum of 1.0 acres in size and provide the following improvements at a minimum:

        I. One bike rack.

        II. One bench per 2,000 square feet.

        III. One canopy tree per 8,000 square feet.

        IV. Lighting shall be required along all paths and trails and trash receptacles shall be required.

    c. POCKET PARK: shall be a minimum of 1,000 square feet and a maximum of 0.25 acres in size and provide the following improvements at a minimum:

        I. One bike rack.

II. One bench per 1,000 square feet.

III. One canopy tree per 1,000 square feet.

IV. Lighting and trash receptacles shall be required.

d. SQUARE: shall be a minimum of 0.2 acres in size and provide the following improvements at a minimum:

I. One bike rack.

II. Two benches per 1,000 square feet.

III. One canopy tree per 1,000 square feet.

IV. Lighting and trash receptacles shall be required.

3. All civic spaces, with the exception of squares, shall front on at least one street.

4. All furnishings in civic spaces shall meet applicable City standards.

5. All principal buildings shall be within 800 feet of a civic space.

U. TOD, TRANSIT OVERLAY DISTRICT.

The TOD, Transit Overlay District, is assigned to land located in proximity to an existing or funded rail transit station. The provisions of this Section shall be modified as follows:

1. All multi-family residential and mixed-use buildings shall be at least four stories in height.

2. All office and retail functions within 660 feet of the future rail station may be exempted from required parking.

TABLE 1: REGULATING PLAN.

The allocation of D-zones.

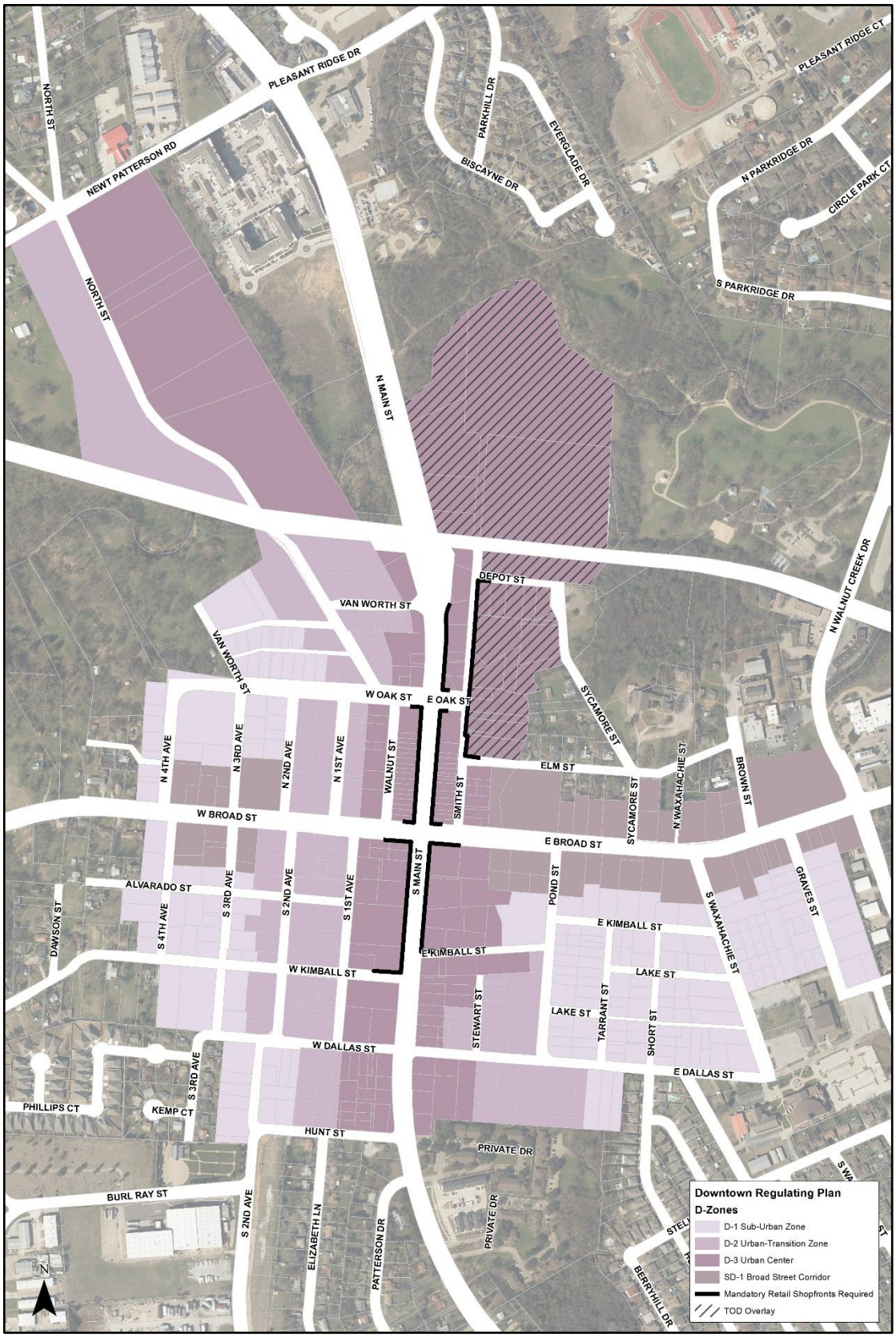


TABLE 2: STREET HIERARCHY.

Regulating plan street hierarchy.

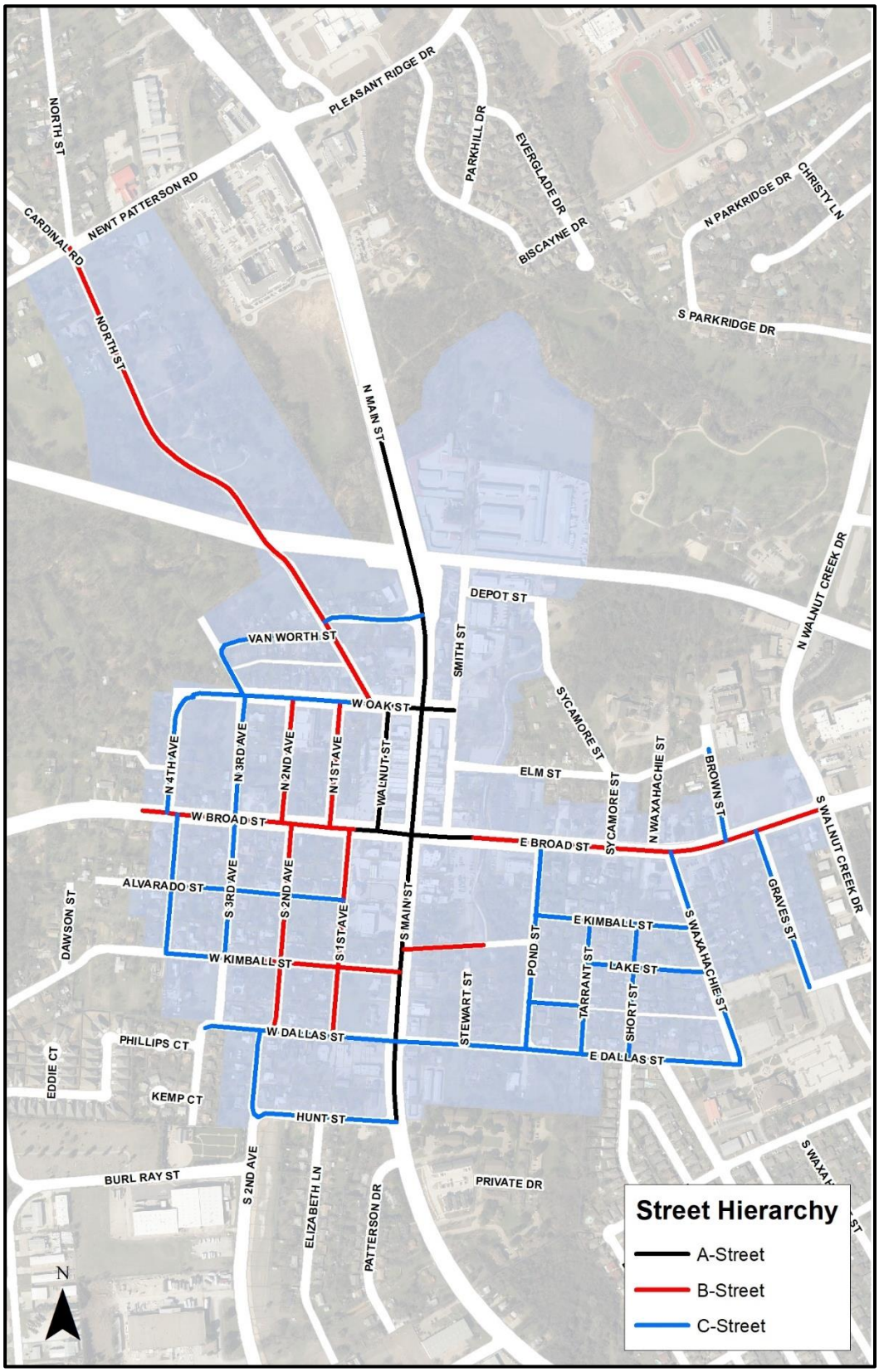


TABLE 3: BUILDING FUNCTION AND SPECIFIC USE.

This table delegates the building functions and specific uses within D-zones.

BUILDING FUNCTION AND SPECIFIC USE				
	D-1	**D-2**	**D-3**	**SD-1**
A. RESIDENTIAL.				
ACCESSORY UNIT	■	■	■	■
MANOR HOUSE (UP TO FOUR UNITS)	■	■	■	■
MIXED-USE BUILDING		◘	■	
MULTI-FAMILY RESIDENTIAL BUILDING		◘	■	
ROW HOUSE	◘	◘	■	
SINGLE-FAMILY RESIDENTIAL (DETACHED)	■	■	■	■
B. LODGING.				
BED AND BREAKFAST (UP TO FIVE ROOMS)	◘	■	■	■
INN (UP TO TEN ROOMS)		◘	■	■
C. OFFICE.				
BUSINESS INCUBATOR			■	■
LIVE-WORK	■	■	■	■
OFFICE BUILDING		■	■	■
D. RETAIL.				
BREWERY OR BREWPUB			■	◘
CAFÉ		■	■	■

BUILDING FUNCTION AND SPECIFIC USE				
	D-1	D-2	D-3	SD-1
ENTERTAINMENT VENUE			■	
FARMERS MARKET		◘	■	■
FOOD TRUCK SALES PARK		◘	◘	
PERSONAL SERVICE		■	■	■
RESTAURANT		■	■	■
RETAIL BUILDING		◘	■	■
E. OTHER.				
CHILDCARE CENTER	■	■	■	■
CONFERENCE CENTER			■	■
LIVE THEATER			■	
MUSEUM			■	■
PARKING LOT			■	
PARKING STRUCTURE			■	
RELIGIOUS ASSEMBLY	◘	◘	◘	◘

KEY:

■ **Permitted by right**

◘ **Permitted by specific use permit**

The use is not permitted

TABLE 4-A: WALL SIGN.

The wall sign type illustrated.

TABLE 4-B: AWNING SIGN.

The awning sign type illustrated.

TABLE 4-C: BLADE SIGN.

The blade sign type illustrated.

TABLE 4-D: A-FRAME SIGN.

The A-frame sign type illustrated.

TABLE 4-E: MARQUEE SIGN.

The marquee sign type illustrated.

TABLE 4-F: BLADE SIGN.

The blade sign type illustrated.

TABLE 5: CIVIC SPACE.

This table delegates the building functions and specific uses within D-zones.

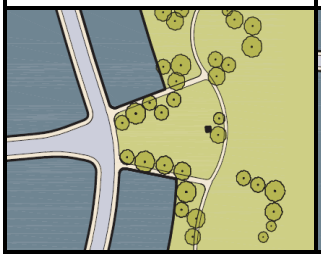
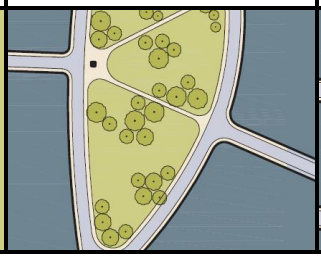
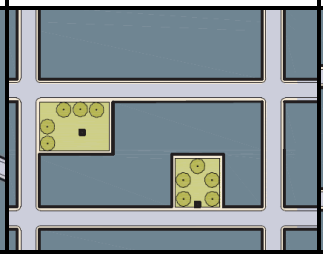
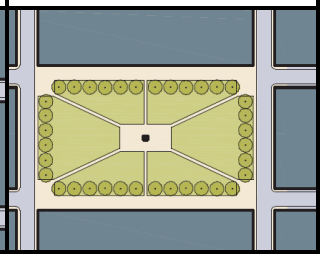
CIVIC SPACE			
PARK	**GREEN**	**POCKET PARK**	**SQUARE**
			

DIAGRAM 1.

Images are for illustrative purposes only and demonstrate physical intensities and complexities of land use in D-1 zones.

DIAGRAM 2.

Images are for illustrative purposes only and demonstrate physical intensities and complexities of land use in D-2 zones.

DIAGRAM 3.

Images are for illustrative purposes only and demonstrate physical intensities and complexities of land use in D-3 zones.

DIAGRAM 4.

Images are for illustrative purposes only and demonstrate physical intensities and complexities of land use in SD-1 zones.

DIAGRAM 5.

Image is for illustrative purposes only, showing a manor house.

DIAGRAM 6.

Image is for illustrative purposes only, showing a passive space in the form of public art.

DIAGRAM 7.

Image is for illustrative purposes only, showing a gallery frontage.

DIAGRAM 8.

Image is for illustrative purposes only, showing a patio frontage.

DIAGRAM 9.

Image is for illustrative purposes only, showing a porch frontage.

DIAGRAM 10.

Image is for illustrative purposes only, showing a shopfront frontage.

DIAGRAM 11.

Image is for illustrative purposes only, showing a stoop frontage.

(2) *Non-residential districts.*

Zoning Districts (Numbers in brackets refer to exceptions in §155.055(C))	***Lot Dimension (i.e. area, width, depth)***	***Maximum Floor Area Ratio***	***Minimum Building Setback (feet) (7) (10) (12)***			***Masonry Construction Requirement***	***Maximum Height (Feet) (2) (6)***
			When abutting street right-of-way	***When abutting other property lines (1) (3)***			
				In a non-residential district	***In a residential district***		
OP	None	0.6	25	None	Refer to §155.095(C)	Refer to §155.056	35
C-1	None	0.6	25	None	Refer to §155.095(C)	Refer to §155.056	35
C-2	None	2.0	25	None	Refer to §155.095(C)	Refer to §155.056	50
C-3	None	2.0	25	None	Refer to §155.095(C)	Refer to §155.056	50
~~C-4~~	~~None~~	~~2.0~~	~~None~~	~~None~~	~~10~~	~~Refer to §155.056~~	~~40~~
I-1	None	2.0	30	None	40	Refer to §155.056	None
I-2	None	1.0	30	None	40	Refer to §155.056	None

EXHIBIT E

Table (D): Schedule of Sign Standards

(1) *Permanent signs.*

Type of Sign	*Zoning District Where Permitted**	*Sign Classification Permitted*	*Max. Area in Square Feet*	*Max. Height in Feet*	*Max. Width in Feet*	*Min. Setback from Street Right-of-way Line in Feet **	*Min. Setback from Side or Rear Property Line in Feet**	*Max. Quantity / Min. Spacing*	*Lighting*	*Flashing*	*Motion*	*Additional Regulations*
Institutional	All Districts	M, W	50	10	10	10	15	One per street frontage plus one wall sign on the principal building	Yes	No	No	See notes (2) (6) (7) (10) & (11)
Apartment name	MF-1, MF-2	M, W	50	10	10	10	15	One per street entrance	Yes	No	No	See notes (2) (3) (4) (7) (10) & (11)
Name plate	All Districts	P, W	2	N/A	None	N/A	N/A	None	No	No	No	See note (6)
General business	C-1, C- 2, C-3, ~~C-4,~~ I-1, I-2	W	None	N/A	See note (1)	N/A	N/A	One per street frontage per individually owned lot or tract plus one wall sign per tenant who occupies such lot or tract	Yes	No	Yes	See § 155.090(E)
		M, PR	50	10	10	10	15		Yes	No	Yes	See notes (7) (10) & (11)
Advertising	C-3, I-1, I-2	P,G	600	40	None	10	15	See § 155.090(F)	Yes	No	Yes	See note (5)
Agricultural	A	M, W	32	10	10	10	15	One per street frontage	No	No	No	See note (10)
Subdivision	All Districts	M, W	32	6	10	N/A	N/A	One sign per street entrance to the subdivision	No	No	No	See notes (6) & (10)
Directory	OP	M, W	32	6	10	10	15	One per street frontage	Yes	No	No	See notes (10) & (11)
Window	All non-residential districts	N/A	See note (12)	N/A	N/A	N/A	N/A	N/A	Yes	No	No	Temporary

Electronic Message Center/Reader Board Sign	C-2, C-3, I-1, I-2	M	Limited to 50% of the sign area	See notes (8) (9) (10) & (11)

NOTES:

1. Width not to exceed 75% of building or store front.
2. Permitted on face of fence or wall in required front setback.
3. For building identification only.
4. Not applicable to rental single-family or two-family dwellings.
5. Specific use permit required.
6. Signs permitted in residential districts are also permitted in the PR district.
7. On lots with direct frontage along U.S. 287 and S.H. 360 monument signs may have a maximum height of 15 feet and a maximum sign area of 75 square feet. The sign must be located along the highway frontage of the lot.
8. Electronic message centers/reader boards may be used by institutional uses in any zoning district.
9. Signs for theaters advertising current and coming attractions shall be exempt from the percentage restriction on electronic message center and reader board signs.
10. See § 155.099(K)(13) for further regulations on monument signs.
11. No freestanding sign may be located within 400 feet of another freestanding sign on the same lot or tract, measured along the street right-of-way lines.

* Signs in any Historic Landmark District must comply with the provisions and approval procedures shown in § 155.069.

12. The total sign area of window sign(s) shall not obscure more than 25% of the total window area on each facade. Doors shall not contain signage for any message other than business name, hours of operation and payment method, and such signage shall not exceed four square feet in total area.

** Where the width of an easement is greater than the required setback, the sign must be located outside of the easement.

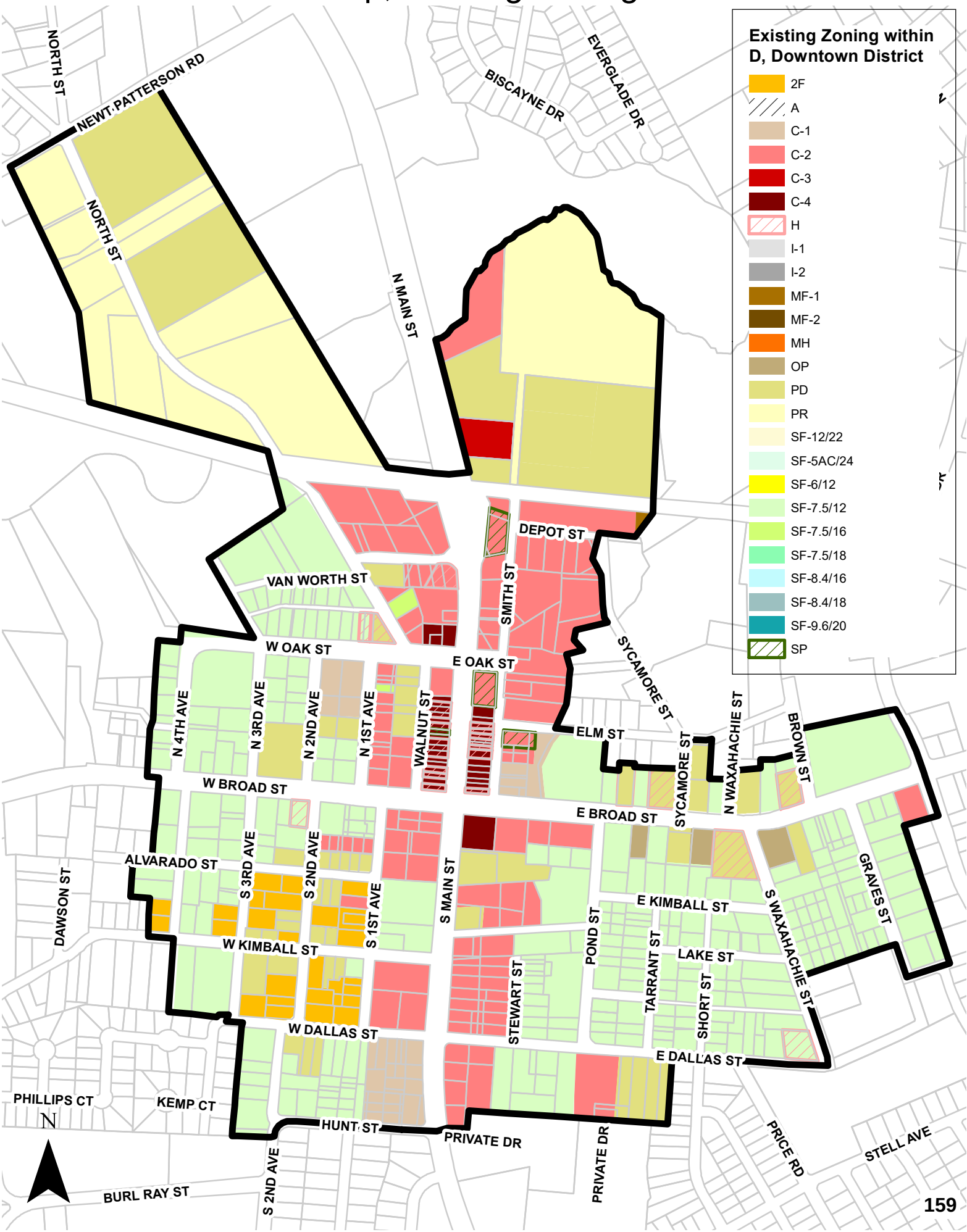
LEGEN D:

M - Monument sign

P - Pole sign

W - Wall sign

G - Ground sign

PR - Projecti on sign

Map, Existing Zoning