



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## Meeting Agenda

### City Council

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Monday, November 8, 2021

4:00 PM

Council Chambers

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#### REGULAR MEETING

1. **4:00 P.M. - CALL MEETING TO ORDER**

2. **RECESS INTO EXECUTIVE SESSION**

*Pursuant to Section 551.071, Texas Government Code, the Council reserves the right to convene in Executive Session(s), from time to time as deemed necessary during this meeting for any posted agenda item, to receive advice from its attorney as permitted by law.*

**A. Pending or Contemplated Litigation or to Seek the Advice of the City Attorney Pursuant to Section 551.071**

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. 348-270155-14

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. DC-20-16161

**B. Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072**

Land Acquisition for Future Development

**C. Personnel Matters Pursuant to Section 551.074**

**D. Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087**

Economic Development Project #15-02

Economic Development Project #21-31

Economic Development Project #21-33

Economic Development Project #21-35



Economic Development Project #21-37

3. **6:30 P.M. – My Mansfield Muni-Versity Class 2 Reception with City Council**

4. **7:00 PM OR IMMEDIATELY FOLLOWING RECEPTION - RECONVENE INTO  
REGULAR BUSINESS SESSION**

5. **INVOCATION**

6. **PLEDGE OF ALLEGIANCE**

7. **TEXAS PLEDGE**

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

8. **PRESENTATION**

Presentation of the Tarrant County 2020 Coronavirus Pandemic Historical Book to the Mansfield Public Library by Tarrant County Clerk Mary Louise Nicholson

Veterans Day Parade Trophy Presentation

9. **RECOGNITION**

Recognition of Emerging Leaders Class 1

Recognition of My Mansfield Muni-Versity Class 2

10. **CITIZEN COMMENTS**

*Citizens wishing to address the Council on non-public hearing agenda items and items not on the agenda may do so at this time. Due to regulations of the Texas Open Meetings Act, please do not expect a response from the Council as they are not able to do so. THIS WILL BE YOUR ONLY OPPORTUNITY TO SPEAK UNLESS YOU ARE SPEAKING ON A SCHEDULED PUBLIC HEARING ITEM. After the close of the citizen comments portion of the meeting only comments related to public hearings will be heard. All comments are limited to five (5) minutes.*

*In order to be recognized during the "Citizen Comments" or during a Public Hearing (applicants included), please complete a blue or yellow card located at the entrance of the Council Chambers. Please present the card to the Assistant City Secretary prior to the start of the meeting.*

11. **COUNCIL ANNOUNCEMENTS**

12. **STAFF COMMENTS**



*In addition to matters specifically listed below, Staff comments may include updates on ongoing or proposed projects and address of posted agenda items.*

**A. City Manager Report or Authorized Representative**

Current/Future Agenda Items

**13. TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION**

**14. CONSENT AGENDA**

*All matters listed under consent agenda have been previously discussed, require little or no deliberation, or are considered to be routine by the council. If discussion is desired, then an item will be removed from the consent agenda and considered separately. Otherwise, approval of the consent agenda authorizes the City Manager to implement each item in accordance with staff's recommendation.*

**ITEMS TO BE REMOVED FROM THE CONSENT AGENDA**

[21-4382](#)

Ordinance - Consideration of an Ordinance to Amend the Mansfield, Texas Code of Ordinances: Chapter 156: Park Land Dedication and Development Fee

**Presenters:** Matt Young

**Attachments:** [Ordinance](#)

[Redlined Ordinance](#)

[21-4380](#)

Resolution - A Resolution of the City Council of the City of Mansfield, Texas, Approving an Economic Development and Performance Agreement by and Between the Mansfield Economic Development Corporation ("MEDC") and Mouser Electronics, Inc. and Authorizing its Execution by the President of the MEDC; and Providing an Effective Date

**Presenters:** Richard Nevins

**Attachments:** [Resolution](#)

[Agreement](#)

[21-4384](#)

Resolution - A Resolution Authorizing a Contract Modification to the Bud Ervin Water Treatment Plant (BEWTP) Control System Replacement Project with Plummer Associates Inc. for Control System Upgrades of 15 Lift Stations for an Amount not to Exceed \$88,445.00 (Utility Fund)

**Presenters:** Jeff Price and Alex Whiteway

**Attachments:** [Resolution](#)

[21-4385](#)

Resolution - A Resolution to Consider Awarding the Contract for the New Public Safety Burn Tower Foundation and Skills Pad Project to Tegrity Contractors, Inc. in the amount of \$3,546,666.00

**Presenters:** Wade McLaurin

**Attachments:** [Resolution](#)



[21-4386](#) Request For Special Event Permit: Mansfield Turkey Trot

**Presenters:** Jason Alexander

**Attachments:** [2021 Mansfield Turkey Trot Application](#)

[21-4377](#) Minutes - Approval of the October 25, 2021 Regular City Council Meeting Minutes

**Presenters:** Susana Marin

**Attachments:** [10-25-21 DRAFT Meeting Minutes](#)

[21-4378](#) Minutes - Approval of the Minutes of the October 26, 2021 Joint Work Session Meeting Between the City Council, Mansfield Economic Development Corporation, Mansfield Park Facilities Development Corporation, and Planning and Zoning Commission Minutes

**Presenters:** Susana Marin

**Attachments:** [10-26-21 DRAFT Meeting Minutes](#)

**END OF CONSENT AGENDA**

**15. PUBLIC HEARING**

[21-4387](#) Public Hearing and Consideration of a Request for a Specific Use Permit for a Gasoline Service Station on Approximately 1.483 Acres Known as Lot 1, Block 2, Newport Addition, Located at 2919 N. Main St.; Cody Brooks of Bannister Engineering, LLC (engineer), Jack Romigh of Knight Group Architects (Architect), and Mark Feuling of Turnkey Construction and Development Group (Developer) on Behalf of Akram H. Chowdhury (Owner) (SUP#20-006)

**Presenters:** Jason Alexander and Andrew Bogda

**Attachments:** [Maps and Supporting Information](#)

[Exhibit A - Property Description](#)

[Exhibit B - Site Plan](#)

[Exhibit C - Floor Plans, Elevations, and Perspectives](#)

[Exhibit D - Landscape Plan](#)

[Exhibit E - Sign Plan](#)

[Letter of Opposition](#)

**16. PUBLIC HEARING AND FIRST READING**

[21-4381](#) Ordinance - Public Hearing and First Reading on an Ordinance Approving a Historic Landmark Overlay District Classification for the 1894 Post Office Building at 130 N. Main Street; Jeff Delavega Investments LLC, owner

**Presenters:** Jason Alexander and Art Wright

**Attachments:** [Ordinance](#)

[Exhibit A](#)



[Maps and Supporting Information](#)

[Photograph of Building](#)

[21-4383](#)

Ordinance - Public Hearing and First Reading on an Ordinance Approving on a Zoning Change from PR Pre-Development District to PD, Planned Development District for Light Industrial Use on Approximately 146.48 Acre Tract of Land Situated in the William Styles Survey, Abstract No. 791; JQ Wheeler Survey, Abstract 903; and SM Kemp Survey, Abstract 492 Located in the City of Mansfield, Johnson County., TX, Generally Bounded by S 7th Ave on the East, Jessica Dr. on the East Hank St on the North and the Northern Boundary of M3 Ranch to the South. Blake Wilson, Stonelake Capital Partners (developer) on Behalf of Mansfield ISD, Ira T. Kimbrough and Andree E. Kimbrough Real Estate LLC (owner) (ZC#21-009)

**Presenters:** Jason Alexander and Arty Wheaton-Rodriguez

**Attachments:** [Ordinance](#)

[Maps and Supporting](#)

[Exhibit A - Legal Description](#)

[Exhibit B - Development Site Plan](#)

[Exhibit C - Building Elevations](#)

[Exhibit D - Landscape Plan](#)

[Exhibit E - Sign Plan](#)

## 17. **PUBLIC HEARING CONTINUATION AND SECOND AND FINAL READING**

[21-4364](#)

Ordinance - Public Hearing and Second and Final Reading on an Ordinance Approving a Zoning Change from C-2 Community Business District to PD, Planned Development District for 2F, Two Family Residential District Plus Triplex for a Duplex and Triplex, Attached Single-Family Development on Approximately 6.56 Acre Tract of Land Situated in the Henry Mcgehee Survey, Abstract Number 998, Located in the City of Mansfield, Tarrant Co., TX, Being all of Lots 6,7,8, And 9, Matlock Center Addition and Being Part of a Called 12.974 Acre Tract in Substitute Trustee's Deed to Kingdom Work Foundation, Recorded in Instrument D214023663 Located in the City of Mansfield, Tarrant Co., TX, Generally Located at 1701 Country Club Drive and 1107-1110 Alexis Court; Brian Cotter of Cotter Associates, planner on Behalf of Louis Scoma of Kingdom Work Foundation, owner (ZC#21-015)

**Presenters:** Jason Alexander and Arty Wheaton-Rodriguez

**Attachments:** [Ordinance](#)

[Exhibit A - Property Description](#)

[Exhibit B - Site Plan](#)

[Exhibit C - Enhanced Entry Plan](#)

[Exhibit D - Landscape Plan](#)

[Exhibit E - Residential Elevations](#)



[Maps and Supporting Information](#)

**18. NEW BUSINESS**

- [21-4369](#) Consideration and Possible Action to Suspend the Procedural Rules of Council and Reschedule the Regular Scheduled City Council Meeting of December 27, 2021 to December 13, 2021

**Presenters:** Susana Marin

**Attachments:** [Suspension of Rules - Procedural Rules of Council](#)

- [21-4389](#) Discussion and Possible Action Regarding the Cancellation of the November 22, 2021 Regular City Council Meeting and Rescheduling of the Public Hearing Continuation and Second Reading Agenda Items to the December 13, 2021 Regular City Council Meeting

**Presenters:** City Council

- [21-4390](#) Discussion and Possible Action Regarding the Ballot for Voting of Candidates to Serve on the Board of Directors for the Tarrant Appraisal District, Johnson County Appraisal District and Ellis County Appraisal District for the Calendar Years 2022 and 2023

**Presenters:** Troy Lestina

**Attachments:** [Tarrant County](#)

[Johnson County](#)

[Ellis County](#)

**19. ADJOURN**

**CERTIFICATION**

THIS IS TO CERTIFY THAT A COPY OF THE NOTICE OF the November 8, 2021 Regular City Council Agenda was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, mansfieldtexas.gov, on Thursday, November 4, 2021 prior to 5:00 p.m., in compliance with Chapter 551, Texas Government Code.

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Susana Marin, City Secretary

Approved as to form:

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City Attorney

This facility is ADA compliant. If you plan to attend this public meeting and have a disability that requires special arrangements, please call (817) 473-0211 at least 48 hours in advance. Reasonable accommodation will be made to assist your needs. PLEASE SILENCE ALL PAGERS, CELL PHONES & OTHER ELECTRONIC EQUIPMENT WHILE THE CITY COUNCIL MEETING IS IN SESSION.





# CITY OF MANSFIELD

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Mansfield, TX 76063  
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## STAFF REPORT

File Number: 21-4382

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** Consent

**In Control:** City Council

**File Type:** Ordinance

### Title

Ordinance - Consideration of an Ordinance to Amend the Mansfield, Texas Code of Ordinances: Chapter 156: Park Land Dedication and Development Fee

### Requested Action

Consider Approving Ordinance

### Recommendation

Approve Ordinance

### Description/History

The Park Land Dedication and Development Fee Chapter was created in 2003 and has not been updated since that time. It was adopted to provide adequate recreational areas and amenities in the form of neighborhood parks as a function of subdivision development in the city and to make the park land dedication and park development fee requirements an integral part of the review and approval of residential developments, whether the developments consist of new construction on previously vacant land or rebuilding and redeveloping existing residential areas.

New developments or redevelopments that involve only the replacement or reconstruction of pre-existing dwelling units are exempt from the provisions of this chapter, provided that the developments do not increase the density of the preexisting dwelling units or involve a replat of the property.

Following the adoption of the 2020 Parks, Recreation, Open Space and Trails Master Plan, staff began the review process to update the park land dedication ordinance to comply with the new standards identified in the master plan. Sample ordinances from more than 50 cities were collected and reviewed through the process. A gross market study of vacant tracts of land was completed in each of the city's geographic quadrants to provide a current land value for fee calculations. In addition, staff updated the average development cost of a typical neighborhood park for the development fee portion.

Three new sections were added to the chapter. Section 156.10 adds a requirement for dedication of land and trail construction for non-residential developments that are proposed in area that falls along the City's Trails Master Plan. Section 156.11 requires that the Director shall review the chapter every two years. Section 156.12 adds definitions for the chapter.

In addition to the proposed, updated fee schedule in Exhibit B, staff is proposing a revision of the park quadrant boundaries as shown in Exhibit A. By moving the east-west boundary line from Walnut Creek to Broad Street, the buildout population in each of the four geographic quadrants will be more equitable.

Section 156.04 was revised to require two acres of floodplain to equal one acre of



non-floodplain land for conveyance purposes. Finally, the criteria for private park fee credit was revised in Section 156.07.

Following work sessions with the City Council on July 12th and August 9th, the Mansfield Park Facilities Development Corporation reviewed the proposed changes at numerous meetings and recommended adoption of the changes at their October 21, 2021 regular meeting.

**Justification**

The Park Land Dedication and Development Fee chapter has not been updated since adoption in 2003. A routine review of the ordinance is necessary to stay current with changes in park master plan standards, land values and park development costs.

**Funding Source**

N/A

**Prepared By**

Matt Young, Director of Community Services

[Matt.Young@mansfieldtexas.gov](mailto:Matt.Young@mansfieldtexas.gov) <<mailto:Matt.Young@mansfieldtexas.gov>>

817-728-3397



**ORDINANCE NO. \_\_\_\_\_****AN ORDINANCE AMENDING CHAPTER 156, "PARK LAND DEDICATION AND DEVELOPMENT FEE" OF TITLE XV "LAND USAGE" OF THE CODE OF MANSFIELD, TEXAS IN ITS ENTIRETY; PROVIDING A CUMULATIVE CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS**, the City of Mansfield is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and,

**WHEREAS**, the City Council of the City of Mansfield, Texas has investigated and determined that it would be advantageous and beneficial to the citizens of the City of Mansfield to amend Chapter 156 "Park Land Dedication and Development Fee" of the Code of Mansfield, Texas as set forth below; and,

**WHEREAS**, the City Council finds that recreational areas in the form of public parks are necessary for the wellbeing of Mansfield's citizens and that new development impacts the need for additional parkland and park amenities to serve new development so that adequate service levels for park facilities in Mansfield may be maintained; and,

**WHEREAS**, the City Council finds that the provisions of this Ordinance reflect a fair method for determining parkland dedication, or cash in lieu of dedication, and assessment of park development fees in an amount proportionate to the new development to meet established levels of service; and,

**WHEREAS**, the City Council has determined that the amendments to the Code of Mansfield, Texas as set forth herein are in the best interest of the health, safety and general welfare of the citizens of the City of Mansfield and the public.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:**

**SECTION 1.**

Chapter 156 of Title XV "Land Usage" of the Code of Mansfield, Texas is hereby amended to read as follows:

**"CHAPTER 156: PARK LAND DEDICATION AND DEVELOPMENT FEE****§ 156.01      SHORT TITLE.**

This chapter shall be known and cited as the Park Land Dedication and Development Fee Chapter.

**§ 156.02      PURPOSE AND APPLICABILITY.**

(A) This chapter is adopted to provide adequate recreational areas and amenities in the form of neighborhood parks as a function of subdivision development in the city and to make the



park land dedication and park development fee requirements an integral part of the review and approval of residential developments, whether the developments consist of new construction on previously vacant land or rebuilding and redeveloping existing residential areas.

(B) New developments or redevelopments that involve only the replacement or reconstruction of pre-existing dwelling units shall be exempt from the provisions of this chapter, provided that the developments do not increase the density of the preexisting dwelling units or involve a replat of the property.

(C) Neighborhood parks are those parks that provide a variety of outdoor, recreational facilities and within convenient distances from a majority of the residences to be served by such parks, the standards for which are set forth in the Parks Master Plan.

(D) The park quadrants established by the Department and shown in the Parks Master Plan and as attached in Exhibit "A", shall be prima facie evidence that any park located therein is within a convenient distance from the majority of residences to be served thereby. The cost of the neighborhood parks should be borne by the ultimate residential property owners who, by reason of the proximity of their property to such parks, shall be the primary beneficiaries of such parks.

(E) The provisions of this chapter shall apply to the corporate limits as well as the extraterritorial jurisdiction of the city as a portion of the subdivision regulation process.

(F) The provisions of this chapter shall not apply to properties that are included in a valid preliminary or final plat application that was submitted before the effective date of this chapter.

### **§ 156.03 PARK LAND DEDICATION.**

(A) The city has adopted by City Council action the Parks Master Plan, which provides planning policy and guidance for the development of a municipal park and recreation system for the city. The plan has assessed the need for park land and park improvements to serve the citizens of Mansfield. The plan has carefully assessed the impact on the park and recreation system created by each new development and has established a dedication and/or cost requirement based upon individual dwelling units. The plan constitutes an individualized fact based determination of the impact of new living units on the park and recreation system and establishes an exaction system designed to ensure that new living units bear their proportional share of the cost of providing park and recreation related services. Park land dedication requirements and park development fee assessments are based upon the mathematical formulas and allocations set forth within the plan. A summary table of the dedication and cost requirements is set forth in a park land dedication table attached hereto and incorporated herein for all purposes as attached in Exhibit "B".

(B) When developing residential properties, the owner or developer shall be responsible for a fee simple dedication of park land for each proposed dwelling unit in an amount established in the attached Exhibit "B".

(C) Any proposed plat submitted to the city for approval shall show the area required to be dedicated under this section. In the event a plat is not required, the dedication of land required



under this section shall be conveyed to the city through a warranty deed, approved by the city as to form and substance, prior to the issuance of a building permit.

(D) Each corner of the park land dedication shall have an iron rod or pin set, in accordance with other lot corners in the subdivision. In the absence of a plat, the location of iron rods or pins set for corners shall be identified on a recordable land survey completed by a land surveyor registered in the State of Texas, provided to the city by the developer, and approved by the city as to form and substance.

(E) The owner or developer shall meet with the Director of Parks and Recreation or his/her designee (hereinafter referred to the "Director") to ensure compliance with the requirements in this section prior to platting. An application for plat approval shall not be accepted unless it is accompanied by written review comments from the Director.

(F) The City Council and the Mansfield Park Facilities Development Corporation generally consider that development of an area less than five acres for neighborhood park purposes may be inefficient for public maintenance. Therefore, if fewer than five acres are proposed as park land dedication, the Director shall have the option to: (1) accept the land dedication; (2) require the developer to pay the applicable cash in lieu of land amount as provided in § 156.05 below; or (3) reject the land dedication and grant credit for a private park as provided in § 156.07.

(G) The Director, prior to plat submittal, will define the optimum location of the required park land dedication based upon the proposed park being located adjacent to current or future park land and based on the Parks Master Plan. If there is not an opportunity for the proposed park land dedication to be adjacent to current or future park land, then the Director and Developer will work together to define an optimum location for the park land dedication. If an optimum location cannot be determined, then the Director shall accept the cash in lieu of land option as outlined in § 156.05.

(H) In the case of a multi-phase development, if the developer dedicates all the park land required by this chapter in the first or early phase(s) of the development, no additional park land dedication will be required in later phases unless additional lots that are not shown in the original preliminary plat are included in the later phases of the development.

(I) Unless approved by the Director, no construction materials shall be disposed of or deposited within the dedicated park land by the developer or its contractors, subcontractors, employees, or agents, at any time while the subdivision is being built. If materials are deposited or disposed of within the park, the developer shall remove such materials within 72 hours of written notice by the city. If the developer fails to remove the materials after notice, the city may do so at the developer's expense and no building permits shall be issued for the subdivision(s) until that debt is paid to the city by the developer.

#### **156.04 PARK LAND DEDICATION ACCEPTANCE CRITERIA**

(A) Land dedicated for a park or recreational area shall be of such size, dimensions, topography, and general character as is reasonably required by the city for the type of use necessary to meet the demand and need of future residents. Recreational needs for which land is dedicated



must include multipurpose trails, open space buffer areas, active recreation for team or individual sports, playgrounds with unitary rubber surfacing, picnic areas with grills, pavilions and similar uses. Swimming pools or aquatic facilities do not meet the criteria for neighborhood parks.

(B) Rare, unique, endangered, historic or other significant natural areas will be given a high priority for dedication pursuant to this chapter. Areas that provide an opportunity for linkages between parks or that preserve the natural character of the surrounding environment may be required by the city to be included in the park land dedication.

(C) The city shall not accept land dedication pursuant to this chapter if it is subject to one or more of the following disqualification unless individually and expressly approved by the Director:

(1) Land within floodplain and floodway designated areas, based upon 100-year floodplain as defined by the Mansfield Master Drainage Plans, unless such land dedication contains an open area as part of the total park land dedication property that is topographically suitable for the installation of the park amenities as defined in § 156.04 (A)-(B) for neighborhood parks. In cases where floodplain land or property is proposed to be conveyed to satisfy the parkland requirements, a credit may be given upon the following ratio: two acres of floodplain shall equal one acre of non-floodplain land;

(2) Park land dedication sites which do not have ready access to public streets;

(3) Park land dedication sites abutted by private properties on more than two-thirds of the total boundary dimension of such site; or

(4) Areas encumbered by overhead utility lines or easements of any type which might limit the opportunity for park and recreation development.

(D) The city will not accept park land dedication sites encumbered by hazardous and or municipal waste materials or dump sites.

(E) If a developer proposes to dedicate land for park development purposes pursuant to the terms, conditions and requirements of this chapter, he or she shall permit the Director to make an onsite inspection of the property for the purposes of determining site suitability and identification of any visual hazards or impediments to park development and use. If the property owner has any form of environmental assessment on the tract, a copy of that assessment shall be provided to the Director. The Director may initiate and/or require the developer to initiate specific environmental studies or assessments if the visual inspection of the site gives rise to the belief that an environmental problem may exist on the site. The Director may require the employment of those consultants necessary to evaluate any environmental issues relating to the site providing that the Director makes such determination in good faith. If an environmental hazard is identified on the site, the developer must either remove the hazard prior to its acceptance into the park and recreation system of the City or pay the fee in § 156.05.

(F) The intention of this chapter is not to discourage the creation of parks and amenities in subdivisions that will be maintained by homeowners' associations.



**§ 156.05 CASH IN LIEU OF LAND.**

(A) An owner or developer responsible for park land dedication under this chapter may be required, at the Director's option, to meet the dedication requirements in whole or in part by a cash payment in lieu of land in the amount set forth below. Such payment in lieu of land dedication shall be made prior to filing the plat for record or prior to the issuance of a building permit where a plat is not required. All funds collected pursuant to this section shall be used solely for the acquisition or leasing of park land in the park quadrant in which the subdivision or development is located.

(B) In instances where land is required to be dedicated, the Director shall have the right to reject the park land dedication and require a cash payment in lieu of land in the amount set forth below, if the Director determines that:

(1) The park land dedication site is such a small area that it is inefficient to maintain;

(2) Sufficient park area is already in the public domain for the park quadrant where the proposed development is located, and the recreation needs of the citizens will be better served by expanding or improving existing parks in said park quadrant; or

(3) The development project is located within the extraterritorial jurisdiction of the City and the Director determines that maintaining the park land will be financially impractical.

(C) The City may from time to time acquire land for parks in or near an area of actual or potential development. If the City does acquire park land in a park quadrant, the City may require subsequent dedications within the quadrant to be cash payments in lieu of dedication only in order to reimburse the City for the costs of acquisition.

(D) The cash payment in lieu of land dedication shall be met by the payment of a fee set from time to time by city ordinance sufficient to acquire neighborhood park land. Unless and until changed by city ordinance, the cash payment shall be computed on the basis of the fee per dwelling unit as set forth in the attached Exhibit "B".

(E) A cash payment in lieu of land dedication, as set forth in this section, does not relieve the owner or developer of the obligation to pay the park development fee set forth in § 156.06. The cash payment in lieu of land dedication is in addition to the required park development fee.

**§ 156.06 PARK DEVELOPMENT FEE.**

(A) In addition to the required dedication of land, as set forth above and based upon the study referenced in § 156.03(A), the developer or his or her successor shall pay a park development fee to the city as a condition to building permit issuance. However, for developments in the extra-territorial jurisdiction that are not subject to building permit requirement, the developer shall pay the park development fee prior to the recording of the final plat at the county. The park



development fee shall be set from time to time by city ordinance and shall be sufficient to provide for the development of amenities and improvements on dedicated neighborhood park land in the park quadrant in which the subdivision or development is located. Unless and until changed by city ordinance, the park development fee shall be calculated on the basis of the fee per dwelling unit as set forth in the attached Exhibit "B".

(B) In lieu of payment of the required park development fee, the developer, with written approval of the Director prior to initiation of work, may have the option to construct the neighborhood park and improvements. All public park improvements shall meet the minimum requirements set forth in the Parks Master Plan or amendment thereof. All development plans and specifications for the construction of said park improvements shall meet the minimum design and construction standards as provided by the Department, be sealed by a landscape architect registered in the State of Texas and be reviewed and approved by the Director prior to construction. The developer shall financially guarantee the construction of such park improvements by providing performance and payment bonds, an irrevocable letter of credit, or other similar security that is deemed acceptable by the Director prior to the recording of the plat for the subdivision. Performance and payment bonds shall name the city as dual obligee and shall cover 100% of the estimated construction cost of such park improvements as shown in a construction contract executed by the developer. The developer shall be required to provide a two year maintenance bond that is equal in amount to 100% of the construction cost of said park improvements and a manufacturers letter stating the main play structure and safety surface was installed in accordance with the manufacturers installation requirements. The developer shall also provide a copy of the application and subsequent inspection report prepared by the Texas Department of Licensing and Regulation or their contracted reviewer for compliance with the Architectural Barriers Act, codified as Article 9102, Texas Civil Statutes. All park improvements must be inspected by the city while construction is in progress. Once the park improvements are constructed, and after the Director has accepted such improvements, the developer shall deed and convey such improvements to the city and clear of any lien or other encumbrances.

**§ 156.07 CREDIT AGAINST PARK LAND DEDICATION AND PARK DEVELOPMENT FEE**

(A) The developer of a subdivision may receive a credit against the park land dedication and park development fee requirements if the subdivision includes a private park or recreational facility. The amount of land in such private park or recreational facility shall count towards meeting the park land dedication requirement imposed on the developer, provided that the land meets the Park Land Dedication Acceptance Criteria in § 156.04 above.

(B) The Director shall grant a maximum credit of 100 percent of the total dedication requirement for publicly accessible private park land provided within the subdivision or development generating the dedication requirement that meets the requirements of this paragraph.

(1) To be eligible for credit, publicly accessible private park land must:

(a) be made accessible to the public on an instrument approved by the city attorney;



(b) be of a size approved by the Director to appropriately meet the needs of the development;

(c) provide landscaping and recreational amenities approved by the Director; and

(d) be open to the public during all times it is accessible to the residents of the development.

(2) Equipment in a private park must comply with City standards applicable to the type of equipment.

(3) A publicly accessible private park land instrument must:

(a) contain a legal description of the development and the publicly accessible private park land;

(b) be signed by all owners and lienholders of the development property and is binding on all holders by a subordination clause;

(c) be approved by the Director;

(d) be approved as to form by the city attorney;

(e) create a covenant running with the land;

(f) provide that the owners of the property development are responsible for all general park maintenance at a level consistent with minimum City park and recreation standards;

(g) provide necessary easements for access to the publicly accessible private park land;

(h) give the City the right, but not the obligation, to take any action needed to make necessary repairs or improvements within the publicly accessible private park land, and to place a lien on all lots within the development until the City has received full compensation for that action;

(i) provide that the owners of property in the development agree to defend and indemnify the City, and to hold the City harmless from and against all claims or liabilities arising out of or in connection with publicly accessible private park land or publicly accessible private park land instrument;

(j) provide that it is governed by the laws of the State of Texas; and

(k) provide that it may only be amended or terminated:



- i. with the consent of all the owners and lienholders of property in the development;
- ii. upon the dedication of any park land or payment of a fee-in-lieu necessary to meet the requirements of this section; and
- iii. after approval as to form by the city attorney, and approval by the Director.

(C) A maximum credit of 50 percent of the total requirement will be given for non-publicly accessible private park land provided within the subdivision or development generating the dedication requirement that meets the requirement of this subparagraph. Private park land eligible for credit must:

- (1) be of a size approved by the Director to appropriately meet the needs of the development;
- (2) be maintained at a level consistent with minimum City park and recreation maintenance standards;
- (3) provide landscaping and recreational amenities approved by the Director;
- (4) have equipment that complies with City standards applicable to the type of equipment; and
- (5) not be an interior common area.

(D) The developer may receive a proportional credit, as determined by the Director, based on actual out-of-pocket dollar costs that the developer incurred for the improvement of the private park or recreational facility. The actual out-of-pocket dollar costs must be evidenced by documentation approved by the Director. The proportional credit amount, as determined by the Director, shall count toward meeting the total park development fee imposed on the developer. The park development fee assessed against a development pursuant to this chapter is for the specific purpose of developing the acreage that would be developed for park purposes under this chapter. Each acre of park land will be developed with amenities by the park development fee charged against the development. A developer will be given credit for the amenities they install on their site but the credit will be capped by the maximum amount of the fee that would be charged for the land area they are actually using. A developer may not over commit amenity improvements on a specific tract thereby eliminating the availability of park development fees remaining to be used on the balance of the land projected for dedication by the development for park purposes. Park land development fee credits will be provided as follows:

- (1) Credit may be provided on a dollar for dollar basis for capital improvements on adjacent park land if the capital improvements:
  - (a) meet minimum park and recreation standards;



(b) are appropriate for the park land and fall in an area where the level of service is not currently being met; and

(c) are accepted by the Director.

(2) Credit may be provided on a dollar for dollar basis for capital improvements on publicly accessible private park land if the capital improvements:

(a) meet minimum park and recreation standards;

(b) are appropriate for the park land and fall in an area where the level of service is not currently being met; and

(c) are accepted by the Director.

(3) A maximum credit of 50 percent of the total requirement may be provided for capital improvements on non-publicly accessible private park land if the capital improvements:

(a) meet minimum park and recreation standards;

(b) are appropriate for the park land and fall in an area where the level of service is not currently being met; and

(c) are accepted by the Director.

(E) Credits requested pursuant to this chapter will only be given for amenities that meet the minimum design and construction standards as set forth by the Department.

(F) A developer of a subdivision who dedicates more than the required park land requirements for that specific subdivision may receive credits for future park land dedication requirements for other subdivision developments that he may undertake at a future date in the same quadrant.

(G) A developer of a subdivision may dedicate park land that is not within the boundaries of his or her development and receive park land dedication credits for that subdivision. The proposed park land dedication must be approved by the Director prior to the filing of the preliminary plat. The proposed park land dedication property must be in the same quadrant as the proposed subdivision, within a reasonable distance of existing or developing residential neighborhoods and meet the park land dedication criteria outlined in § 156.04.

#### **§ 156.08 PARK DEVELOPMENT FUND AND RIGHT TO REFUND.**

(A) All funds collected pursuant to this chapter shall be deposited in the City's Park Development Fund and used solely for the acquisition or leasing of park land and the development, improvement, or upgrades of new and existing parks. All expenditures shall be administered in



accordance with the current purchasing requirements of the city and the Mansfield Park Facilities Development Corporation. Funds shall not be used for the operation and maintenance of parks.

(B) The City shall account for all sums paid into the Park Development Fund. Any monies paid into said fund must be expended by the city within ten years from the date that all the land for a neighborhood park for the subdivision has been acquired and when the subdivision(s) adjacent to that park land has been 75% built out. If not so expended within the ten-year period, the then current owners of the property shall, on the last day of such period, be entitled to a refund of the remaining fees. Said owners must submit to the city a written request for the refund within one year of the date of entitlement or the right to receive the refund will be deemed waived and the funds shall remain as property of the city and be used for the general purpose of park land acquisition, design and development as expressed in this chapter.

#### **§ 156.09 APPROVAL AND APPEAL PROCESS.**

(A) The Director shall be responsible for the review and approval of all park land dedication and park development fees submitted in accordance with the requirements of this chapter.

(B) Any decision made by the Director may be appealed to the Mansfield Park Facilities Development Corporation.

(C) The Director may defer the approval of park land dedication or park development fees to the Mansfield Park Facilities Development Corporation for any reason.

(D) Any decision made by the Mansfield Park Facilities Development Corporation may be appealed to the City Council except for subdivision platting issues that the Planning and Zoning Commission has authority over.

#### **§ 156.10 NON-RESIDENTIAL DEVELOPMENTS.**

These requirements shall apply to all non-residential developments in the City:

(A) In instances where land is required for trail construction in accordance with the City's Trails Master Plan, the City shall have the right to require the land dedication for approval on the final plat, or to refuse same.

(B) The City shall have the right to require construction of the trail in accordance with the City's Trails Master Plan standards for trail construction. In instances where a sidewalk and hike/bike trail are in the same location, the hike/bike trail shall replace the sidewalk. If the applicant/developer constructs the hike and bike trail, the hike and bike trail layout and construction plans must be reviewed and approved by the Director prior to approval and release of the construction documents by the City. The hike and bike trail construction must be accepted by the Director and be completed in conjunction with all other public improvements/infrastructure approved by the City for release of the Building Permit. All improvements or construction on or within the dedicated land to be installed by the applicant/developer shall be completed in accordance with the approved Construction Plans. Where retaining walls are constructed adjacent



to existing or future hike and bike trails and/or hike and bike trail rights-of-way, the developer/builder shall construct the retaining wall with a subdrain system behind the wall and under the trail and/or trail rights-of-way to prevent concentrated weep hole drainage. No concentrated run-off (swales or drainage structure outfalls) will be allowed to cross over the hike and bike trail rights-of-way. Finished project shall be maintainable and acceptable as determined by the City.

**§ 156.11 REVIEW.**

The Director shall review the dedication, cash in lieu, and park development fee requirements every two years from the effective date of this Ordinance.

**§ 156.12 DEFINITIONS.**

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**BUILDING** means any temporary or permanent structure having a roof or other covering, and designed, built or intended for the shelter or enclosure or partial enclosure of persons, animals, chattels, or movable property of any kind. Where independent units with separate entrances are divided by appropriate fire separations, each unit shall be deemed a building.

**BUILDING PERMIT** means the permit required for new residential or nonresidential construction and/or additions to buildings pursuant to the Code of the City of Mansfield.

**CITY** means the City of Mansfield, Texas.

**CITY COUNCIL** means the City Council of Mansfield, Texas.

**DEPARTMENT** means the City Department of Parks and Recreation.

**DEVELOPER** means the owner of land proposed for subdivision or development or an authorized representative of the owner. A subdivider is a developer.

**DEVELOPMENT** means any activity that requires the submission of a plat or plan for development, or the securing of a permit, or any manmade change to real estate, including, but not limited to, construction of a building or structure, mining, dredging, filling, grading, paving, excavation, drilling operations, or storage of equipment or materials. The subdivision of land is development.

**DIRECTOR** means the superior official of the Parks and Recreation Department, or its successor agency, for the City of Mansfield or his or her authorized representative.

**DWELLING UNIT** means a building or portion of a building which is arranged, occupied or intended to be occupied as living quarters and includes facilities for food preparation and sleeping (includes structures for single family residences, multi-family, senior living, and senior assisted living facilities).



**FLOODPLAIN** means any land area inundated by the base flood.

**FLOODWAY or REGULATORY FLOODWAY** means the channel of a watercourse and the adjacent floodplain that must be reserved to convey the base flood without cumulatively increasing the base flood elevation more than a designated height.

**LEVEL OF SERVICE** means the standards and guidelines that define service areas based on population and are used to support investment decisions related to parks, facilities and amenities.

**LOT** means a designated parcel tract or area of land established by a plat to be separately owned, used, developed or built upon.

**NEIGHBORHOOD PARK** means a park of approximately 5-10 acres accessible to residents who live within a ½ mile radius of the park. Neighborhood parks should be designed to service a specific neighborhood area and may include the following: multipurpose trails, open space buffer areas, active recreation for team or individual sports, playgrounds with unitary rubber safety surfacing, picnic areas with grills, pavilions and similar uses. (Refer to the Park, Recreation, Open Space and Trails Master Plan for a more detailed description, recreation activity menu and an example of a typical Neighborhood Based Park).

**NONRESIDENTIAL** means a use other than residential including, but not limited to, commercial, industrial, office, retail, institutional and a religious institution.

**OPEN SPACE** means areas remaining free of buildings, structures or other improvements.

**PARK DEVELOPMENT FEE** means a fee assessed to an applicant to offset the pro-rata costs for the development of amenities and improvements as a result of the new residential development.

**PARKS MASTER PLAN** means the official adopted Parks, Recreation, Open Space and Trails Master Plan for the City of Mansfield and amendments thereto, including policies or development strategies in the City's Comprehensive Plan.

**PLAT** means a map, plan or drawing of a subdivision established and provided for in the city's Subdivision Ordinance. A plat may be a preliminary plat, final plat, replat, amending plat, minor plat, plat vacation, or other plat.

**PROPERTY** means a legally described parcel of land capable of development pursuant to applicable City ordinances and regulations.

**OWNER** means a person who has a fee simple ownership in land, or a person acting on behalf of or through authority granted by the owner.

**RESIDENTIAL DEVELOPMENT** means the development of any property for a dwelling or dwellings, other than motels, hotels, shelter used temporarily for transients, or other similar uses.

**SUBDIVISION** means the division of a tract situated within the City or the City's extraterritorial jurisdiction into two or more parts for the purpose of sale, lease or development. A division of a



tract includes a division regardless of whether it is made by using a metes and bounds description in a deed of conveyance or a contract for a deed, by using a contract of sale or other executory contract to convey, or by using any other method, shall include a replat and a one-lot plat. A division of land into parts greater than five acres, where each part has access and no public improvement is being dedicated, shall not constitute the subdivision of land.

**TRAILS MASTER PLAN** means the long-range plan that guides the creation of a network of trails, sidewalks, and bike routes that connect the entire City.”

## **SECTION 2.**

This ordinance shall be cumulative of all provisions of ordinances of the City of Mansfield, Texas, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed.

## **SECTION 3.**

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared void, ineffective, or unconstitutional by the valid judgment or final decree of a court of competent jurisdiction, such voiding, ineffectiveness, or unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections hereof, since the same would have been enacted by the City Council without the incorporation of any such void, ineffective or unconstitutional phrase, clause, sentence, paragraph or section.

## **SECTION 4.**

This ordinance shall take effect immediately from and after its passage.

**DULY PASSED ON THE FIRST AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 8<sup>TH</sup> DAY OF NOVEMBER, 2021.**

\_\_\_\_\_  
**Michael Evans, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Susana Marin, City Secretary**

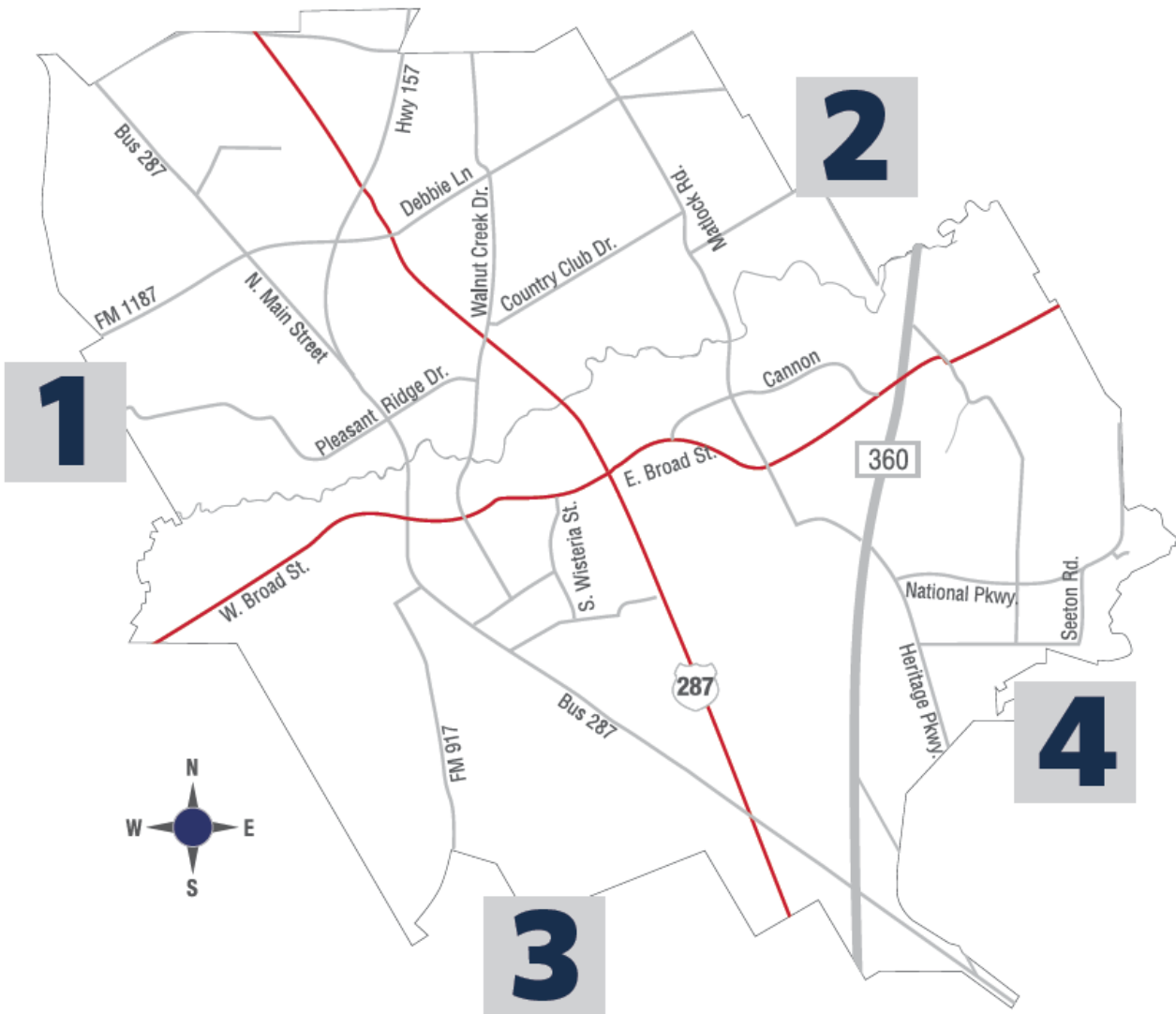
**APPROVED AS TO FORM AND LEGALITY:**

\_\_\_\_\_  
**Allen Taylor, City Attorney**



**EXHIBIT A**  
**Mansfield Park Land Dedication and Development Fee Ordinance**  
**Park Planning Quadrants**

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## EXHIBT B

### Mansfield Park Land Dedication and Development Fee Ordinance Fee Calculation Methodology

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#### Park Land Level of Service in 2020 Citywide Parks Master Plan

Neighborhood Parks - 1.5 Acres per 1000 population  
 Community Parks - 5.0 Acres per 1000 population  
 Linear Parks – 2.0 Acres minimum per 1000 population

#### Land Requirements

- Neighborhood Parks and Linear Parks - 3.5 Acres per 1000 population
- $1000 / 3.5 \text{ acres} = 1 \text{ acre of neighborhood/linear park per every } 285 \text{ residents of Mansfield}$
- Average household size in Mansfield per 2020 Census – 3.07 residents per household
- $285 \text{ residents per acre of neighborhood park and linear park} / 3.07 \text{ persons per household} = 93.1 \text{ dwelling units per acre of parkland required.}$

*Round up to 100 dwelling units per acre of parkland required*

**\*\* In cases where floodplain land or property is proposed to be conveyed to satisfy the parkland requirements, a credit may be given based upon the following formula or ratio: two acres of floodplain shall equal one acre of non-floodplain land.**

#### Park Acquisition Cost (to determine fee in lieu of land)

Assumption that 1 acre of land costs \$100,000 to purchase (in area that is being developed, not large agricultural tracts)

| Residential Type | Fee Calculation                | Fee per Dwelling Unit |
|------------------|--------------------------------|-----------------------|
| Single Family    | \$100,000 / 100 dwelling units | \$1,000               |
| Multi-Family     | \$100,000 / 80 dwelling units  | \$1,250               |

#### Park Development Cost (to determine fee for development)

- Recommended size of neighborhood parks in Mansfield - 5 acres minimum
- Development cost per neighborhood park (5 to 10 acre size) - \$1,270,750
- Cost per acre of development - \$127,075 to \$254,150
- Average per acre cost is \$190,000 per acre

| Residential Type | Fee Calculation                | Fee per Dwelling Unit |
|------------------|--------------------------------|-----------------------|
| Single Family    | \$190,000 / 100 dwelling units | \$1,900               |
| Multi-Family     | \$190,000 / 80 dwelling units  | \$2,375               |

| Summary                   | Fee in Lieu of Land | Park Development Fee | Total          |
|---------------------------|---------------------|----------------------|----------------|
| Single Family Residential | \$1,000 per du      | \$1,900 per du       | \$2,900 per du |
| Multi Family Residential  | \$1,250 per du      | \$2,375 per du       | \$3,625 per du |



## CHAPTER 156: PARK LAND DEDICATION AND DEVELOPMENT FEE

### Section

- 156.01 Short title
- 156.02 Purpose and applicability
- 156.03 Park land dedication
- 156.04 Park land dedication acceptance criteria
- 156.05 Cash in lieu of land
- 156.06 Park development fee
- 156.07 Credit against park land dedication and park development fee
- 156.08 Park development fund and right to refund
- 156.09 Approval and appeal process
- [156.10 Non-Residential Developments](#)
- [156.11 Review](#)
- [156.12 Definitions](#)

**Cross-reference:** For provisions concerning Parks and Recreation, see [Ch. 96](#)

### 156.01 SHORT TITLE

This chapter shall be known and cited as the Park Land Dedication and Development Fee Chapter.

(Ord. 1421, passed 4-14-03)

### 156.02 PURPOSE AND APPLICABILITY

- (A) This chapter is adopted to provide adequate recreational areas and amenities in the form of neighborhood parks as a function of subdivision development in the city and to make the park land dedication and park development fee requirements an integral part of the review and approval of residential developments, whether the developments consist of new construction on previously vacant land or rebuilding and redeveloping existing residential areas.
- (B) New developments or redevelopments that involve only the replacement or reconstruction of pre-existing dwelling units shall be exempt from the provisions of this chapter, provided that the developments do not increase the density of the preexisting dwelling units or involve a replat of the property.
- (C) Neighborhood parks are those parks that provide a variety of outdoor, recreational facilities and within convenient distances from a majority of the residences to be served by such parks, the standards for which are set forth in the ~~Mansfield Parks, Open Spaces and Trails~~ Master Plan.
- (D) The park quadrants established by the ~~Mansfield Parks and Recreation~~ Department and shown in the ~~Mansfield Parks, Open Spaces and Trails~~ Master Plan and Exhibit "A" attached to Ordinance ~~1421~~, shall be prima facie evidence that any park located therein is within a convenient distance from the majority of residences to be served thereby. The cost of the neighborhood parks should be borne by the ultimate residential property owners who, by reason of the proximity of their property to such parks, shall be the primary beneficiaries of such parks.
- (E) The provisions of this chapter shall apply to the corporate limits as well as the extraterritorial jurisdiction of the city as a portion of the subdivision regulation process.



- (F) The provisions of this chapter shall not apply to properties that are included in a valid preliminary or final plat application that was submitted before the effective date of this chapter.

(Ord. 1421, passed 4-14-03)

### 156.03 PARK LAND DEDICATION

- (A) The city has adopted by [City](#) Council action the ~~Mansfield Parks, open spaces and trails~~ Master Plan, which provides planning policy and guidance for the development of a municipal park and recreation system for the city. The plan has assessed the need for park land and park improvements to serve the citizens of Mansfield. The plan has carefully assessed the impact on the park and recreation system created by each new development and has established a dedication and/or cost requirement based upon individual dwelling units. The plan constitutes an individualized fact based determination of the impact of new living units on the park and recreation system and establishes an exaction system designed to ensure that new living units bear their proportional share of the cost of providing park and recreation related services. Park land dedication requirements and park development fee assessments are based upon the mathematical formulas and allocations set forth within the plan. A summary table of the dedication and cost requirements is set forth in a park land dedication table attached hereto and incorporated herein for all purposes as Exhibit "B" attached to Ordinance [1421](#).
- (B) When developing residential properties, the owner or developer shall be responsible for a fee simple dedication of park land ~~at a ratio of 1/100 of an acre or 435.6 square feet of land~~ for each proposed dwelling unit ~~in an amount established by Exhibit "B" attached to Ordinance [xxxx](#). A "dwelling unit" shall mean each individual residence, including each individual residential unit in a multi-family residential structure or manufactured home park, designed or intended for habitation by a single family. Hereinafter, all references to "the developer" shall mean both the owner and the developer jointly and severally, where the owner and developer are not the same party.~~
- (C) Any proposed plat submitted to the city for approval shall show the area required to be dedicated under this section. In the event a plat is not required, the dedication of land required under this section shall be conveyed to the city through a warranty deed, approved by the city as to form and substance, prior to the issuance of a building permit.
- (D) Each corner of the park land dedication shall have an iron rod or pin set, in accordance with other lot corners in the subdivision. In the absence of a plat, the location of iron rods or pins set for corners shall be identified on a recordable land survey completed by a land surveyor registered in the State of Texas, provided to the city by the developer, and approved by the city as to form and substance.
- (E) The owner or developer shall meet with the Director of Parks and Recreation or his/her designee (hereinafter referred to the "Director") to ensure compliance with the requirements in this section prior to platting. An application for plat approval shall not be accepted unless it is accompanied by written review comments from the Director.
- (F) The City Council and the Mansfield Park Facilities Development Corporation generally consider that development of an area less than five acres for neighborhood park purposes may be inefficient for public maintenance. Therefore, if fewer than five acres are proposed as park land dedication, the Director shall have the option to: (1) accept the land dedication; (2) require the developer to pay the applicable cash in lieu of land amount as provided in § [156.05](#) below; or (3) reject the land dedication and grant credit for a private park as provided in § [156.07](#).



- (G) The Director, prior to plat submittal, will define the optimum location of the required park land dedication based upon the proposed park being located adjacent to current or future park land and based on the ~~City's Parks, Open Spaces and Trails~~ Master Plan. If there is not an opportunity for the proposed park land dedication to be adjacent to current or future park land, then the Director and Developer will work together to define an optimum location for the park land dedication. If an optimum location cannot be determined, then the director shall accept the cash in lieu of land option as outlined in § 156.05.
- (H) In the case of a multi-phase development, if the developer dedicates all the park land required by this chapter in the first or early phase(s) of the development, no additional park land dedication will be required in later phases unless additional lots that are not shown in the original preliminary plat are included in the later phases of the development.
- (I) Unless approved by the director, no construction materials shall be disposed of or deposited within the dedicated park land by the developer or its contractors, subcontractors, employees, or agents, at any time while the subdivision is being built. If materials are deposited or disposed of within the park, the developer shall remove such materials within 72 hours of written notice by the city. If the developer fails to remove the materials after notice, the city may do so at the developer's expense and no building permits shall be issued for the subdivision(s) until that debt is paid to the city by the developer.

(Ord. 1421, passed 4-14-03)

#### **156.04 PARK LAND DEDICATION ACCEPTANCE CRITERIA**

- ~~(A)~~ Land dedicated for a park or recreational area shall be of such size, dimensions, topography, and general character as is reasonably required by the city for the type of use necessary to meet the demand and need of future residents. Recreational needs for which land is dedicated must ~~may~~ include ~~but not be limited to~~ multipurpose trails, ~~equestrian trails~~, open space buffer areas, ~~swimming pools~~, active recreation for team or individual sports, playgrounds with unitary rubber surfacing, picnic areas with grills, pavilions and similar uses. Swimming pools or aquatic facilities do not meet the criteria for neighborhood parks.
- (B) Rare, unique, endangered, historic or other significant natural areas will be given a high priority for dedication pursuant to this chapter. Areas that provide an opportunity for linkages between parks or that preserve the natural character of the surrounding environment may be required by the city to be included in the park land dedication.
- ~~(B)~~ (C) The city shall not accept land dedication pursuant to this chapter if it is subject to one or more of the following disqualification unless individually and expressly approved by the director:
  - (1) Land within floodplain and floodway designated areas, based upon 100-year floodplain as defined by the Mansfield Master Drainage Plans, unless such land dedication contains an open area as part of the total park land dedication property that is topographically suitable for the installation of the park amenities as defined in § 156.04 (A)-(B) for neighborhood parks. In cases where floodplain land or property is proposed to be conveyed to satisfy the parkland requirements, a credit may be given upon the following ratio: two acres of floodplain shall equal one acre of non-floodplain land;
  - (2) Park land dedication sites which do not have ready access to public streets;



- (3) Park land dedication sites abutted by private properties on more than two-thirds of the total boundary dimension of such site; or
  - (4) Areas encumbered by overhead utility lines or easements of any type which might limit the opportunity for park and recreation development.
- (D) The city will not accept park land dedication sites encumbered by hazardous and or municipal waste materials or dump sites.
- (E) If a developer proposes to dedicate land for park development purposes pursuant to the terms, conditions and requirements of this chapter, he or she shall permit the director to make an onsite inspection of the property for the purposes of determining site suitability and identification of any visual hazards or impediments to park development and use. If the property owner has any form of environmental assessment on the tract, a copy of that assessment shall be provided to the director. The director may initiate and/or require the developer to initiate specific environmental studies or assessments if the visual inspection of the site gives rise to the belief that an environmental problem may exist on the site. The director may require the employment of those consultants necessary to evaluate any environmental issues relating to the site providing that the director makes such determination in good faith. If an environmental hazard is identified on the site, the developer must either remove the hazard prior to its acceptance into the park and recreation system of the City or pay the fee in § 156.05.
- (F) The intention~~s~~ of this chapter is not to discourage the creation of parks and amenities in subdivisions that will be maintained by ~~homeowners~~ homeowners' associations.
- (Ord. 1421, passed 4-14-03)

## **156.05 CASH IN LIEU OF LAND**

- (A) An owner or developer responsible for park land dedication under this chapter may be required, at the director's option, to meet the dedication requirements in whole or in part by a cash payment in lieu of land in the amount set forth below. Such payment in lieu of land dedication shall be made prior to filing the plat for record or prior to the issuance of a building permit where a plat is not required. All funds collected pursuant to this section shall be used solely for the acquisition or leasing of park land in the park quadrant in which the subdivision or development is located.
- (B) In instances where land is required to be dedicated, the director shall have the right to reject the park land dedication and require a cash payment in lieu of land in the amount set forth below, if the Director determines that:
  - (1) The park land dedication site is such a small area that it is inefficient to maintain;
  - (2) Sufficient park area is already in the public domain for the park quadrant where the proposed development is located, and the recreation needs of the citizens will be better served by expanding or improving existing parks in said park quadrant; ~~and~~ or
  - (3) The development project is located within the extraterritorial jurisdiction of the City and the Director determines that maintaining the park land will be financially impractical.  
~~Development projects within the extraterritorial jurisdiction of the city are subject to the park land dedication requirements set forth within this chapter; however, the difficulty faced by the~~



~~city in maintaining property outside the corporate limits of the city may result in the application of a fee in lieu of the land dedication requirement.~~

(C) The City may from time to time acquire land for parks in or near an area of actual or potential development. If the City does acquire park land in a park quadrant, the City may require subsequent dedications within the quadrant to be cash payments in lieu of dedication only in order to reimburse the City for the costs of acquisition.

~~(D)~~ (D) The cash payment in lieu of land dedication shall be met by the payment of a fee set from time to time by city ordinance sufficient to acquire neighborhood park land. Unless and until changed by city ordinance, the cash payment shall be computed on the basis of ~~\$500~~ the fee per dwelling unit as set forth in the attached Exhibit "B" to Ordinance xxxx. ~~within the proposed subdivision.~~

~~(E)~~ (E) A cash payment in lieu of land dedication, as set forth in this section, does not relieve the owner or developer of the obligation to pay the park development fee set forth in § 156.06. The cash payment in lieu of land dedication is in addition to the required park development fee.

(Ord. 1421, passed 4-14-03)

#### **156.06 PARK DEVELOPMENT FEE**

(A) In addition to the required dedication of land, as set forth above and based upon the study referenced in § 156.03(A), the developer or his or her successor shall pay a park development fee to the city as a condition to building permit issuance. However, for developments in the extra-territorial jurisdiction that are not subject to building permit requirement, the developer shall pay the park development fee prior to the recording of the final plat at the county. The park development fee shall be set from time to time by city ordinance and shall be sufficient to provide for the development of amenities and improvements on dedicated neighborhood park land in the park quadrant in which the subdivision or development is located. Unless and until changed by city ordinance, the park development fee shall be calculated on the basis of ~~\$750~~ the fee per dwelling unit as set forth in the attached Exhibit "B" to Ordinance xxxx. ~~in the subdivision.~~

(B) In lieu of payment of the required park development fee, the developer, with written approval of the Director prior to initiation of work, may have the option to construct the neighborhood park and improvements. All public park improvements shall meet the minimum requirements set forth in the ~~Mansfield Parks, Open Spaces and Trails~~ Master Plan or amendment thereof. All development plans and specifications for the construction of said park improvements shall meet the minimum design and construction standards as provided by the ~~Mansfield Parks and Recreation~~ Department, be sealed by a landscape architect registered in the State of Texas and be reviewed and approved by the director prior to construction. The developer shall financially guarantee the construction of such park improvements by providing performance and payment bonds, an irrevocable letter of credit, or other similar security that is deemed acceptable by the director prior to the recording of the plat for the subdivision. Performance and payment bonds shall name the city as dual obligee and shall cover 100% of the estimated construction cost of such park improvements as shown in a construction contract executed by the developer. The developer shall be required to provide a two year maintenance bond that is equal in amount to 100% of the construction cost of said park improvements and a manufacturers letter stating the main play structure and safety surface was installed in accordance with the manufacturers installation requirements. The developer shall also provide a copy of the application and subsequent inspection report prepared by the Texas Department of Licensing and Regulation or their contracted reviewer for compliance with the Architectural Barriers Act, codified as Article 9102,



Texas Civil Statutes. All park improvements ~~may~~ must be inspected by the city while construction is in progress. Once the park improvements are constructed, and after the director has accepted such improvements, the developer shall deed and convey such improvements to the city and clear of any lien or other encumbrances.

(Ord. 1421, passed 4-14-03)

#### **156.07 CREDIT AGAINST PARK LAND DEDICATION AND PARK DEVELOPMENT FEE**

- (A) The developer of a subdivision ~~shall~~ may receive a credit against the park land dedication and park development fee requirements if the subdivision includes a private park or recreational facility. The amount of land in such private park or recreational facility shall count towards meeting the park land dedication requirement imposed on the developer, provided that the land meets the Park Land Dedication Acceptance Criteria in § 156.04 above. ~~The developer shall receive a proportional credit, as determined by the director, based on actual out-of-pocket dollar costs that the developer incurred for the improvement of the private park or recreational facility. The actual out-of-pocket dollar costs must be evidenced by documentation approved by the director. The proportional credit amount, as determined by the director, shall count toward meeting the total park development fee imposed on the developer.~~
- (B) ~~The park development fee assessed against a development pursuant to this chapter is for the specific purpose of developing the acreage that would be developed for park purposes under this chapter. Each acre of park land will be developed with amenities by the park development fee charged against the development. If a developer proposes to develop an amenity or subdivision recreation site on their property but will do so on a land area less than the full amount required for park land dedication under this chapter they shall receive credit for 100% of the funds they spend on developing that site. A developer will be given credit for the amenities they install on their site but the credit will be capped by the maximum amount of the fee that would be charged for the land area they are actually using. A developer may not over commit amenity improvements on a specific tract thereby eliminating the availability of park development fees remaining to be used on the balance of the land projected for dedication by the development for park purposes.~~

The Director shall grant a maximum credit of 100 percent of the total dedication requirement for publicly accessible private park land provided within the subdivision or development generating the dedication requirement that meets the requirements of this paragraph.

- (1) To be eligible for credit, publicly accessible private park land must:
- (a) be made accessible to the public on an instrument approved by the city attorney;
  - (b) be of a size approved by the Director to appropriately meet the needs of the development;
  - (c) provide landscaping and recreational amenities approved by the Director; and
  - (d) be open to the public during all times it is accessible to the residents of the development.
- (2) Equipment in a private park must comply with City standards applicable to the type of equipment.
- (3) A publicly accessible private park land instrument must:



- (a) contain a legal description of the development and the publicly accessible private park land;
  - (b) be signed by all owners and lienholders of the development property and is binding on the holders by a subordination clause;
  - (c) be approved by the Director;
  - (d) be approved as to form by the city attorney;
  - (e) create a covenant running with the land;
  - (f) provide that the owners of the property development are responsible for all general park maintenance at a level consistent with minimum City park and recreation standards;
  - (g) provide necessary easements for access to the publicly accessible private park land;
  - (h) give the City the right, but not the obligation, to take any action needed to make necessary repairs or improvements within the publicly accessible private park land, and to place a lien on all lots within the development until the City has received full compensation for that action;
  - (i) provide that the owners of property in the development agree to defend and indemnify the City, and to hold the City harmless from and against all claims or liabilities arising out of or in connection with publicly accessible private park land or publicly accessible private park land instrument;
  - (j) provide that it is governed by the laws of the State of Texas; and
  - (k) provide that it may only be amended or terminated:
    - i. with the consent of all the owners and lienholders of property in the development;
    - ii. upon the dedication of any park land or payment of a fee-in-lieu necessary to meet the requirements of this section; and
    - iii. after approval as to form by the city attorney, and approval by the Director.
- (C) A maximum credit of 50 percent of the total requirement will be given for non-publicly accessible private park land provided within the subdivision or development generating the dedication requirement that meets the requirement of this subparagraph. Private park land eligible for credit must:
- (1) be of a size approved by the Director to appropriately meet the needs of the development;
  - (2) be maintained at a level consistent with minimum City park and recreation maintenance standards;
  - (3) provide landscaping and recreational amenities approved by the Director;



- (4) have equipment that complies with City standards applicable to the type of equipment; and
  - (5) not be an interior common area.
- (D) The developer may receive a proportional credit, as determined by the Director, based on actual out-of-pocket dollar costs that the developer incurred for the improvement of the private park or recreational facility. The actual out-of-pocket dollar costs must be evidenced by documentation approved by the Director. The proportional credit amount, as determined by the Director, shall count toward meeting the total park development fee imposed on the developer. The park development fee assessed against a development pursuant to this chapter is for the specific purpose of developing the acreage that would be developed for park purposes under this chapter. Each acre of park land will be developed with amenities by the park development fee charged against the development. A developer will be given credit for the amenities they install on their site but the credit will be capped by the maximum amount of the fee that would be charged for the land area they are actually using. A developer may not over commit amenity improvements on a specific tract thereby eliminating the availability of park development fees remaining to be used on the balance of the land projected for dedication by the development for park purposes. Park land development fee credits will be provided as follows:
- (1) Credit may be provided on a dollar for dollar basis for capital improvements on adjacent park land if the capital improvements:
    - (a) meet minimum park and recreation standards;
    - (b) are appropriate for the park land and fall in an area where the level of service is not currently being met; and
    - (c) are accepted by the Director.
  - (2) Credit may be provided on a dollar for dollar basis for capital improvements on publicly accessible private park land if the capital improvements:
    - (a) meet minimum park and recreation standards;
    - (b) are appropriate for the park land and fall in an area where the level of service is not currently being met; and
    - (c) are accepted by the Director.
  - (3) A maximum credit of 50 percent of the total requirement may be provided for capital improvements on non-publicly accessible private park land if the capital improvements:
    - (a) meet minimum park and recreation standards;
    - (b) are appropriate for the park land and fall in an area where the level of service is not currently being met; and
    - (c) are accepted by the Director.



- ~~(E)~~ (E) Credits requested pursuant to this chapter will only be given for amenities that meet the minimum design and construction standards as set forth by the ~~Mansfield Parks and Recreation~~ Department.
- ~~(D)~~ (F) A developer of a subdivision who dedicates more than the required park land requirements for that specific subdivision may receive credits for future park land dedication requirements for other subdivision developments that he may undertake at a future date in the same quadrant.
- ~~(E)~~ (G) A developer of a subdivision may dedicate park land that is not within the boundaries of his or her development and receive park land dedication credits for that subdivision. The proposed park land dedication must be approved by the director prior to the filing of the preliminary plat. The proposed park land dedication property must be in the same quadrant as the proposed subdivision, within a reasonable distance of existing or developing residential neighborhoods and meet the park land dedication criteria outlined in § 156.04.

(Ord. 1421, passed 4-14-03)

#### **156.08 PARK DEVELOPMENT FUND AND RIGHT TO REFUND**

- (A) All funds collected pursuant to this chapter shall be deposited in the City ~~of Mansfield~~'s Park Development Fund and used solely for the acquisition or leasing of park land and the development, improvement, or upgrades of new and existing parks. All expenditures shall be administered in accordance with the current purchasing requirements of the city and the Mansfield Park Facilities Development Corporation. Funds shall not be used for the operation and maintenance of parks.
- (B) The City shall account for all sums paid into the Park Development Fund. Any monies paid into said fund must be expended by the city within ten years from the date that all the land for a neighborhood park for the subdivision has been acquired and when the subdivision(s) adjacent to that park land has been 75% built out. If not so expended within the ten-year period, the then current owners of the property shall, on the last day of such period, be entitled to a refund of the remaining fees. Said owners must submit to the city a written request for the refund within one year of the date of entitlement or the right to receive the refund will be deemed waived and the funds shall remain as property of the city and be used for the general purpose of park land acquisition, design and development as expressed in this chapter.

(Ord. 1421, passed 4-14-03)

#### **156.09 APPROVAL AND APPEAL PROCESS**

- (A) The director shall be responsible for the review and approval of all park land dedication and park development fees submitted in accordance with the requirements of this chapter.
- (B) Any decision made by the director may be appealed to the Mansfield Park Facilities Development Corporation.
- (C) The Director may defer the approval of park land dedication or park development fees to the Mansfield Park Facilities Development Corporation for any reason.



- (D) Any decision made by the Mansfield Park Facilities Development Corporation may be appealed to the City Council except for subdivision platting issues that the Planning and Zoning Commission has authority over.

(Ord. 1421, passed 4-14-03)

## **156.10 NON-RESIDENTIAL DEVELOPMENTS**

These Requirements shall apply to all non-residential developments in the City:

- (A) In instances where land is required for trail construction in accordance with the City's Trails Master Plan, the City shall have the right to require the land dedication for approval on the final plat, or to refuse same.
- (B) The City shall have the right to require construction of the trail in accordance with the City's Trails Master Plan standards for trail construction. In instances where a sidewalk and hike/bike trail are in the same location, the hike/bike trail shall replace the sidewalk. If the applicant/developer constructs the hike and bike trail, the hike and bike trail layout and construction plans must be reviewed and approved by the Director prior to approval and release of the construction documents by the City. The hike and bike trail construction must be accepted by the Director and be completed in conjunction with all other public improvements/infrastructure approved by the City for release of the Building Permit. All improvements or construction on or within the dedicated land to be installed by the applicant/developer shall be completed in accordance with the approved Construction Plans. Where retaining walls are constructed adjacent to existing or future hike and bike trails and/or hike and bike trail rights-of-way, the developer/builder shall construct the retaining wall with a subdrain system behind the wall and under the trail and/or trail rights-of-way to prevent concentrated weep hole drainage. No concentrated run-off (swales or drainage structure outfalls) will be allowed to cross over the hike and bike trail rights-of-way. Finished project shall be maintainable and acceptable as determined by the City.

## **156.11 REVIEW**

The Director shall review the dedication, cash in lieu, and park development fee requirements every two years from the effective date of Ordinance ~~xxxx~~.

## **156.12 DEFINITIONS**

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

**BUILDING** means any temporary or permanent structure having a roof or other covering, and designed, built or intended for the shelter or enclosure or partial enclosure of persons, animals, chattels, or movable property of any kind. Where independent units with separate entrances are divided by appropriate fire separations, each unit shall be deemed a building.

**BUILDING PERMIT** means the permit required for new residential or nonresidential construction and/or additions to buildings pursuant to the Code of the City of Mansfield.



**CITY** means the City of Mansfield, Texas.

**CITY COUNCIL** means the City Council of Mansfield, Texas.

**DEPARTMENT** means the City Department of Parks and Recreation.

**DEVELOPER** means the owner of land proposed for subdivision or development or an authorized representative of the owner. A subdivider is a developer.

**DEVELOPMENT** means any activity that requires the submission of a plat or plan for development, or the securing of a permit, or any manmade change to real estate, including, but not limited to, construction of a building or structure, mining, dredging, filling, grading, paving, excavation, drilling operations, or storage of equipment or materials. The subdivision of land is development.

**DIRECTOR** means the superior official of the Parks and Recreation Department, or its successor agency, for the City of Mansfield or his or her authorized representative.

**DWELLING UNIT** means a building or portion of a building which is arranged, occupied or intended to be occupied as living quarters and includes facilities for food preparation and sleeping (includes structures for single family residences, multi-family, senior living, and senior assisted living facilities).

**FLOODPLAIN** means any land area inundated by the base flood.

**FLOODWAY or REGULATORY FLOODWAY** means the channel of a watercourse and the adjacent floodplain that must be reserved to convey the base flood without cumulatively increasing the base flood elevation more than a designated height.

**LEVEL OF SERVICE** means the standards and guidelines that define service areas based on population and are used to support investment decisions related to parks, facilities and amenities.

**LOT** means a designated parcel tract or area of land established by a plat to be separately owned, used, developed or built upon.

**NEIGHBORHOOD PARK** means a park of approximately 5-10 acres accessible to residents who live within a ½ mile radius of the park. Neighborhood parks should be designed to service a specific neighborhood area and may include the following: multipurpose trails, open space buffer areas, active recreation for team or individual sports, playgrounds with unitary rubber safety surfacing, picnic areas with grills, pavilions and similar uses. (Refer to the Park, Recreation, Open Space and Trails Master Plan for a more detailed description, recreation activity menu and an example of a typical Neighborhood Based Park).

**NONRESIDENTIAL** means a use other than residential including, but not limited to, commercial, industrial, office, retail, institutional and a religious institution.

**OPEN SPACE** means areas remaining free of buildings, structures or other improvements.

**PARK DEVELOPMENT FEE** means a fee assessed to an applicant to offset the pro-rata costs for the development of amenities and improvements as a result of the new residential development.



**PARKS MASTER PLAN** means the official adopted Parks, Recreation, Open Space and Trails Master Plan for the City of Mansfield and amendments thereto, including policies or development strategies in the City's Comprehensive Plan.

**PLAT** means a map, plan or drawing of a subdivision established and provided for in the City Subdivision Ordinance. A plat may be a preliminary plat, final plat, replat, amending plat, minor plat, plat vacation, or other plat.

**PROPERTY** means a legally described parcel of land capable of development pursuant to applicable City ordinances and regulations.

**OWNER** means a person who has a fee simple ownership in land, or a person acting on behalf of or through authority granted by the owner.

**RESIDENTIAL DEVELOPMENT** means the development of any property for a dwelling or dwellings, other than motels, hotels, shelter used temporarily for transients, or other similar uses.

**SUBDIVISION** means the division of a tract situated within the City or the City's extraterritorial jurisdiction into two or more parts for the purpose of sale, lease or development. A division of a tract includes a division regardless of whether it is made by using a metes and bounds description in a deed of conveyance or a contract for a deed, by using a contract of sale or other executory contract to convey, or by using any other method, shall include a replat and a one-lot plat. A division of land into parts greater than five acres, where each part has access and no public improvement is being dedicated, shall not constitute the subdivision of land.

**TRAILS MASTER PLAN** means the long-range plan that guides the creation of a network of trails, sidewalks, and bike routes that connect the entire City.





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4380

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** Consent

**In Control:** City Council

**File Type:** Resolution

**Agenda Number:**

**Title**

Resolution - A Resolution of the City Council of the City of Mansfield, Texas, Approving an Economic Development and Performance Agreement by and Between the Mansfield Economic Development Corporation ("MEDC") and Mouser Electronics, Inc. and Authorizing its Execution by the President of the MEDC; and Providing an Effective Date

**Requested Action**

Consider request for assistance from Mouser Electronics

**Recommendation**

Staff recommends MEDC assistance with the actual cost of drainage not to exceed \$683,250.

**Description/History**

Mouser Electronics, Inc. will be adding an additional 400k sq.ft. to their existing warehouse facility and are seeking incentives to offset the cost. The anticipated capital investment is \$30 million (\$25mm in the facility and \$5mm in business personal property). This expansion will create 200 new jobs over the next 3 years. Mouser expects to begin construction in the first quarter of 2022 and take 12 months to complete the project.

Mouser has requested MEDC assistance in the amount of \$1.2 million for water, sewer and drainage improvements. At the October 5 MEDC Board meeting, the board recommended reimbursement of actual cost, not to exceed \$683,250, for drainage improvements.

**Justification**

This will allow an existing Mansfield company to continue to grow, create new jobs and generate new ad valorem tax revenue.

**Funding Source**

4A

**Prepared By**

Richard Nevins, MEDC, 817-728-3652



**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION OF THE CITY OF MANSFIELD, TEXAS, APPROVING AN ECONOMIC DEVELOPMENT AGREEMENT BETWEEN THE MANSFIELD ECONOMIC DEVELOPMENT CORPORATION, AND MOUSER ELECTRONICS INC.; AUTHORIZING THE MEDC PRESIDENT TO EXECUTE SAID AGREEMENT; AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS**, the City Council has been presented a proposed Economic Development Agreement between the Mansfield Economic Development Corporation (“MEDC”), and Mouser Electronics, Inc., a copy of which is attached hereto as Exhibit “A” and incorporated herein by reference; and,

**WHEREAS**, upon full review and consideration of the Economic Development Agreement, and all matters attendant and related thereto, the City Council is of the opinion that the agreement should be approved and the MEDC President shall be authorized to execute the agreement on behalf of MEDC.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:**

**SECTION 1.**

The Economic Development Agreement attached hereto as Exhibit “A” is found to be in the best interest of the City of Mansfield and its citizens and is approved.

**SECTION 2.**

The President of the MEDC is hereby authorized to execute the Economic Development Agreement.

**SECTION 3.**

This Resolution shall become effective from and after its passage.

**PASSED AND APPROVED ON THIS THE 8<sup>TH</sup> DAY OF NOVEMBER, 2021.**

\_\_\_\_\_  
**Michael Evans, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Susana Marin, City Secretary**



**EXHIBIT “A”**

Economic Development Agreement



# **ECONOMIC DEVELOPMENT AND PERFORMANCE AGREEMENT BETWEEN THE MANSFIELD ECONOMIC DEVELOPMENT CORPORATION AND MOUSER ELECTRONICS, INC.**

This Economic Development Agreement (“**Agreement**”) is made and entered into by and between the MANSFIELD ECONOMIC DEVELOPMENT CORPORATION (“**Corporation**”), a nonprofit corporation organized under Title 12, Subtitle C1, of the Texas Local Government Code (“**Act**”), and MOUSER ELECTRONICS, INC., a Delaware corporation (“**Company**”). Company and the Corporation may sometimes hereafter be referred to individually as a “party” or collectively as the “parties.”

## **RECITALS:**

**WHEREAS**, Company is the owner of an existing distribution facility located at 1000 N. Main Street in the City of Mansfield, Texas; and

**WHEREAS**, Company intends to expand its existing facility; and

**WHEREAS**, as a component of the expansion of the facility, Company will be constructing drainage improvements; and

**WHEREAS**, Company has requested financial assistance from the Corporation for the construction of the improvements, and the Board of Directors of the Corporation find that the requested grants will be used to fund a “project” as defined in Section 501.103 of the Act and that such grants is required or suitable for infrastructure necessary to promote or develop new or expanded business enterprises.

**NOW THEREFORE**, in consideration of the mutual benefits and promises contained herein and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

## **ARTICLE 1 DEFINITIONS**

“Act,” “Agreement,” “Corporation,” and “Company,” have the meanings set forth above.

“Capital Investment” means the actual cost incurred related to the construction of the Facility, as the case may be, including the actual construction costs of all buildings, renovations, site preparation, structures, infrastructure, offsite improvements (if any), utilities, landscaping and onsite improvements, including labor and materials, engineering costs, surveying costs, fees of consultants, permit and inspection fees, and business personal property. It does not include cost of land, insurance costs, legal fees and expenses, marketing costs or any interest paid to finance the cost of Capital Investment.



“Certificate of Occupancy” means the document issued by the City certifying that a building is in compliance with applicable building codes and other laws, and indicating it to be in a condition suitable for occupation.

“City” means the City of Mansfield, Texas.

“Director” means the City’s Economic Development Director or acting Economic Development Director.

“Effective Date” means the date this Agreement is fully executed by both the Corporation and Company.

“Event of Bankruptcy or Insolvency” means the dissolution or termination of a party’s existence as a going business, insolvency, appointment of receiver for any part of such party’s property and such appointment is not terminated within ninety (90) days after such appointment is initially made, any general assignment for the benefit of creditors, or the commencement of any proceeding under any bankruptcy or insolvency laws by or against such party and such proceeding is not dismissed within ninety (90) days after the filing thereof.

“Expiration Date” shall mean three years from the Effective Date, unless sooner terminated as provided herein.

“Facility” means the 400,000 square foot expansion of the existing facility to be made by Company on the Property, as shown on the attached Exhibit B.

“FTE” means any employee on a forty (40) hour or more per week schedule or the combination of two (2) or more employees on part-time schedules equaling at least forty (40) hours without regard to whether individuals in those positions are the same as those in previous counts.

“Grants” means the payments to be made by the Corporation to Company pursuant to this Agreement as a reimbursement for a portion of the cost of the Improvements, the aggregate of such payments being the lesser of: (i) 100% of the actual costs of the Improvements, or (ii) \$683,250. The Grants will be paid in two equal installments, as described in Article 4. Each individual payment shall mean a “Grant.”

“Impositions” mean all taxes, assessments, use and occupancy taxes, charges, excises, license and permit fees, and other charges by public or governmental authority, general and special, ordinary and extraordinary, foreseen and unforeseen, which are or may be assessed, charged, levied, or imposed by any public or governmental authority on Company or any property or any business owned by Company within the City.

“Improvements” means the drainage improvements constructed by Company on the Property, as shown and described on the attached Exhibit A.

“Payment Request” means a written request from Company to Corporation for payment of a Grant. The written request must be accompanied by (i) proof of a Certificate of Occupancy for



the Facility; (ii) documentation of the expenditure of the Capital Investment, in a manner and form acceptable to the Director; and (iii) documentation of actual construction costs of the Improvements, in a manner and form acceptable to the Director.

“Property” means the property located at 1000 N. Main Street, Mansfield, Texas, as shown on the attached Exhibit B.

“Term” means the term of this Agreement as described in Article 2 of this Agreement.

## **ARTICLE 2 TERM**

The Term of this Agreement will begin on the Effective Date and continue thereafter until the Expiration Date, unless terminated earlier under the terms of this Agreement.

## **ARTICLE 3 COVENANTS OF COMPANY**

3.01 Company Obligations. In consideration of Corporation agreeing to pay Company the Grants in accordance with the terms and conditions of this Agreement, Company, agrees to:

- (a) Receive a Certificate of Occupancy for the Facility no later than December 31, 2023;
- (b) Make a Capital Investment of no less than \$30,000,000 for the Facility;
- (c) Make the Improvements on the Property;
- (d) Comply with all building codes and other ordinances of the City applicable to the design and construction of the Facility and Improvements; and
- (e) Create and maintain a minimum of 200 FTEs at the Facility within three years of the Effective Date.

3.02 Undocumented Workers. Company covenants and certifies that it does not and will not knowingly employ an undocumented worker as that term is defined by Section 2264.001(4) of the Texas Government Code. In accordance with Section 2264.052 of the Texas Government Code, if Company is convicted of a violation under 8 U.S.C. Section 1324a (f), Company shall repay to the Corporation the full amount of all payments made under Section 4 of this Agreement, plus ten percent (10%) interest per annum from the date such payment was made until the date of full repayment. Repayment shall be paid within one hundred twenty (120) days after the date Company receives a notice of violation from the Corporation.



## **ARTICLE 4 GRANTS BY CORPORATION**

Provided that Company is in compliance with the terms of this Agreement, and upon full satisfaction by Company of the conditions set forth above in Article 3, Corporation will pay Company the first Grant within thirty (30) days of receipt of a Payment Request. The second Grant will be eligible for payment twelve (12) months after payment of the first Grant, and, provided Company is in compliance with the terms of this Agreement, will be paid by Corporation within thirty (30) days of receipt of a Payment Request.

## **ARTICLE 5 TERMINATION, OFFSET, AND REPAYMENT**

5.01 Termination. This Agreement may be terminated upon any one or more of the following:

- (a) by mutual written agreement of the parties;
- (b) upon written notice by either party, if the other party defaults or breaches any of the terms or conditions of this Agreement and such default or breach is not cured within thirty (30) days after written notice thereof;
- (c) upon written notice by Corporation, if Company suffers an Event of Bankruptcy or Insolvency;
- (d) upon written notice by Corporation, if any Impositions owed to City by Company become delinquent and such delinquency has not been cured within thirty (30) days after written notice thereof; or
- (e) upon written notice by either party if any subsequent federal or state legislation or any decision of a court of competent jurisdiction renders this Agreement invalid, illegal, or unenforceable.

5.02 Offset. Corporation may at its option, and after delivering written notice to Company of its intent to do so, offset any amounts due and payable under this Agreement against any delinquent debt (including taxes) lawfully due to City of Mansfield by Company, regardless of whether the amount due arises pursuant to the terms of this Agreement, or otherwise, and regardless of whether or not the debt due to the City of Mansfield has been reduced to judgment by a court. Such offset right shall not apply to any sum timely and properly protested and contested in accordance with applicable law.

5.03 Repayment. In the event the Agreement is terminated by Corporation pursuant to Section 5.01(b)-(d), Company shall immediately refund to Corporation an amount equal to the amount of the Grants that have been provided by Corporation to Company prior to the date of such termination, plus interest at the rate of interest periodically announced by the Wall Street Journal as the prime or base commercial lending rate, or if the Wall Street Journal shall ever cease to exist or cease to announce a prime or base lending rate, then at the annual rate of interest from time to



time announced by Citibank, N.A. (or by any other New York money center bank selected by Corporation) as its prime or base commercial lending rate, which shall accrue from the Effective Date until paid.

## **ARTICLE 6 INDEMNIFICATION**

**COMPANY, IN PERFORMING THE OBLIGATIONS UNDER THIS AGREEMENT, IS ACTING INDEPENDENTLY, AND THE CORPORATION ASSUMES NO RESPONSIBILITIES OR LIABILITIES TO THIRD PARTIES IN CONNECTION WITH THE IMPROVEMENTS OR FACILITY. COMPANY AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CORPORATION, ITS DIRECTORS, OFFICERS, AGENTS, EMPLOYEES, AND VOLUNTEERS IN BOTH THEIR OFFICIAL AND INDIVIDUAL CAPACITIES, FROM AND AGAINST CLAIMS, SUITS, DEMANDS, LOSSES, DAMAGES, CAUSES OF ACTION, AND LIABILITY OF EVERY KIND, INCLUDING, BUT NOT LIMITED TO, EXPENSES OF LITIGATION OR SETTLEMENT, COURT COSTS, AND ATTORNEYS FEES WHICH MAY ARISE DUE TO ANY DEATH OR INJURY TO A PERSON OR THE LOSS OF USE, OR DAMAGE TO PROPERTY, ARISING OUT OF OR OCCURRING AS A CONSEQUENCE OF THE PERFORMANCE BY COMPANY OF THE OBLIGATIONS UNDER THIS AGREEMENT, INCLUDING ANY ERRORS OR OMISSIONS, OR NEGLIGENT ACT OR OMISSION OF COMPANY, OR ITS OFFICERS, AGENTS, EMPLOYEES, OR CONTRACTORS.**

## **ARTICLE 7 ACCESS TO INFORMATION**

Upon the Corporation's request, Company agrees to provide the Corporation access to contract documents, invoices, receipts, records, and reports to verify Company's compliance with this Agreement.

## **ARTICLE 8 GENERAL PROVISIONS**

8.01 Mutual Assistance. Company and the Corporation shall do all things reasonably necessary or appropriate to carry out the terms and provisions of this Agreement and to aid and assist each other in carrying out such terms and provisions.

8.02 Representations and Warranties. Company represents and warrants to the Corporation that it has the requisite authority to enter into this Agreement. Company represents and warrants to the Corporation that it will not violate any federal, state or local laws in operating the business, and that the Facility and Improvements shall conform to the applicable building codes, zoning ordinances and all other ordinances and regulations.



8.03 Section or Other Headings. Section or other headings contained in this Agreement are for reference purposes only and shall not affect in any way the meaning or interpretation of this Agreement.

8.04 Entire Agreement. This Agreement contains the entire agreement between the parties with respect to the transaction contemplated herein.

8.05 Amendment. This Agreement may only be amended, altered, or revoked by written instrument signed by Company and the Corporation.

8.06 Successors and Assigns.

(a) Assignment. This Agreement shall be binding on and insure to the benefit of the parties, their respective successors and assigns. Company may assign all or part of its rights and obligations hereunder only upon prior written approval of the Corporation.

(b) Collateral Assignment. Notwithstanding Section 8.06(a), Company shall have the right to collaterally assign, pledge, or encumber, in whole or in part, to any lender as security for any loan in connection with construction of the Facility and Improvements, all rights, title, and interests of Company to receive the Grants under this Agreement. Such collateral assignments: (i) shall require the prior written consent of the Corporation, which shall not be unreasonably delayed or withheld, and Corporation agrees to execute such reasonable consent forms as may be required to evidence such consent; (ii) shall require notice to the Corporation together with full contact information for such lenders, (iii) shall not create any liability for any lender under this Agreement by reason of such collateral assignment unless the lender agrees, in writing, to be bound by this Agreement; and (iv) may give lenders the right, but not the obligation, to cure any failure of Company to perform under this Agreement. No collateral assignment may relieve Company from any obligations or liabilities under this Agreement. The Director has the authority to give the written consent under this subsection after review and consultation with the Corporation's legal counsel; provided, however, the Director may, in his or her sole discretion, present the assignment request to the Corporation's board of directors for approval.

8.07 Notice. Any notice required or permitted to be delivered by this Agreement shall be deemed delivered by depositing same in the United States mail, certified with return receipt requested, postage prepaid, addressed to the appropriate party at the following addresses, or at such other addresses provided by the parties in writing:

|          |  |
|----------|--|
| COMPANY: | Mouser Electronics, Inc.                   |
|          | 1000 North Main Street                     |
|          | Mansfield, Texas 76063                     |
|          | ATTN: Peter F. Shopp, Jr.,                 |
|          | Senior Vice President, Business Operations |



CORPORATION: Mansfield Economic Development Corporation  
301 South Main Street  
Mansfield, Texas 76063  
Attn: Director

With a copy to: Mansfield Economic Development Corporation Attorney  
Taylor, Olson, Adkins, Sralla & Elam, LLP  
6000 Western Place, Suite 200  
Fort Worth, Texas 76107

8.08 Interpretation. Regardless of the actual drafter of this Agreement, this Agreement shall, in the event of any dispute over its meaning or application, be interpreted fairly and reasonably, and neither more strongly for or against any party.

8.09 Applicable Law/Venue. This Agreement is made, and shall be construed and interpreted under the laws of the State of Texas; exclusive venue for any legal action regarding this Agreement shall lie in Tarrant County, Texas.

8.10 Severability. In the event any provision of this Agreement is ruled illegal, invalid, or unenforceable by any court of proper jurisdiction, under present or future laws, then and in that event, it is the intention of the parties hereto that the remainder of this Agreement shall not be affected thereby, and it is also the intention of the parties to this Agreement that in lieu of each clause or provision that is found to be illegal, invalid, or unenforceable a provision be added to this Agreement which is legal, valid and enforceable and is as similar in terms as possible to the provision found to be illegal, invalid or unenforceable.

8.11 Counterparts. This Agreement may be executed in multiple counterparts, each of which shall be considered an original, but all of which shall constitute one instrument.

8.12 No Joint Venture. Nothing contained in this Agreement is intended by the parties to create a partnership or joint venture between the parties.

8.13 Force Majeure. If either party hereto shall be delayed or hindered in or prevented from the performance of any act required hereunder (other than the payment of money) by reason of strikes, lockouts, inability to procure materials, failure of power, governmental moratorium or other governmental action or inaction (including, failure, refusal or delay in issuing permits, approvals or authorizations), injunction or court order, terrorist attacks, riots, insurrection, war, fire, earthquake, flood or other natural disaster or other reason of a like nature not the fault of the party delaying in performing work or doing acts required under the terms of this Agreement (but excluding delays due to financial inability), then performance of such act shall be excused for the period of the delay and the period for the performance of any such act shall be extended for a



period equivalent to the period of such delay, provided that the foregoing shall not be applicable to any payment obligation of either party under this Agreement.

8.14 Attorney's Fees. In the event it should become necessary to take legal action to interpret or enforce the terms of this Agreement, the prevailing party in such action shall be entitled to recover from the non-prevailing party reasonable attorney's fees and costs of court.

8.15 Limitation of Liability. The parties further agree that neither party will be liable to the other under this Agreement for special, consequential (including lost profits), or exemplary damages.

8.16 Governmental Function. The parties agree that this Agreement serves the public purpose of assisting in the development and diversification of the economy of City and the State of Texas, eliminating unemployment or underemployment of the State, and developing and expanding commerce in the State, and is for all purposes a governmental function of City for the benefit of the citizens of City and the State of Texas. The parties further agree that this Agreement is entered into for the purpose of carrying out governmental functions which are enjoined on Corporation, by virtue of its relationship with its authorizing unit, the City of Mansfield, by law, and given to it by the State of Texas as part of the State's sovereignty.

8.17 City Council Approval. This Agreement is not valid unless first approved by the City Council of the City of Mansfield.

8.18 Full Execution Required. This Agreement will not be binding on either party unless fully executed by both parties.

**MANSFIELD ECONOMIC  
DEVELOPMENT CORPORATION**

By: \_\_\_\_\_  
Larry Klos, Board President

Date: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
Board Secretary

**MOUSER ELECTRONICS, INC.,**  
a Delaware corporation

By: \_\_\_\_\_  
Peter F. Shopp, Jr.  
Senior Vice President, Business Operations

Date: \_\_\_\_\_



## **EXHIBIT “A”**

### **Improvements**



Baird, Hampton & Brown, Inc.  
 6300 Ridgley Place, Suite 700  
 Fort Worth, Texas 76116  
 Phone 817-338-1277  
 Texas Engineering Firm No. 44

| Mouser East Warehouse Phase 1 Utilities |                                   |       |      |            |                     |
|---|-----------------------------------|-------|------|------------|---------------------|
| Mansfield, Texas                        |                                   |       |      |            |                     |
| NO.                                     | DESCRIPTION                       | QTY   | UNIT | UNIT PRICE | COST                |
| <b>Water</b>                            |                                   |       |      |            |                     |
| 1                                       | 6" Water Pipe (DR 14)             | 90    | LF   | \$65.00    | \$5,850.00          |
| 2                                       | 8" Water Pipe (DR 14)             | 3,150 | LF   | \$70.00    | \$220,500.00        |
| 3                                       | Fire Hydrant Assembly             | 6     | EA   | \$4,500.00 | \$27,000.00         |
| 4                                       | 6" Gate Valve (Fire Hydrant Lead) | 6     | EA   | \$1,750.00 | \$10,500.00         |
| 5                                       | 8" Gate Valve                     | 14    | EA   | \$2,500.00 | \$35,000.00         |
| 6                                       | Chlorinate and Pressure Test      | 0     | LF   | \$2.62     | \$0.00              |
| 7                                       | Connect to Existing 8" Water Line | 3     | EA   | \$2,000.00 | \$6,000.00          |
| 8                                       | 2" Water Service, Complete        | 1     | EA   | \$3,000.00 | \$3,000.00          |
| <b>Water Subtotal</b>                   |                                   |       |      |            | <b>\$307,850.00</b> |
| <b>Sanitary Sewer</b>                   |                                   |       |      |            |                     |
| 1                                       | 8" Sewer Pipe (SDR-26)            | 470   | LF   | \$80.00    | \$37,600.00         |
| 2                                       | 6" Sewer Services                 | 2     | EA   | \$2,000.00 | \$4,000.00          |
| 3                                       | Connect to Existing MH            | 1     | EA   | \$3,000.00 | \$3,000.00          |
| 4                                       | Standard 4' Sewer Manhole         | 3     | EA   | \$5,000.00 | \$15,000.00         |
| 5                                       | Trench Safety                     | 470   | LF   | \$2.50     | \$1,175.00          |
| 6                                       | Water Tight Manhole Insert        | 3     | EA   | \$500.00   | \$1,500.00          |
| 7                                       | Post-Construction TV Inspection   | 470   | LF   | \$2.75     | \$1,292.50          |
| 8                                       | Vacuum Test MH                    | 3     | EA   | \$250.00   | \$750.00            |
| <b>Sewer Subtotal</b>                   |                                   |       |      |            | <b>\$64,317.50</b>  |
| <b>Storm Drainage</b>                   |                                   |       |      |            |                     |
| 1                                       | 18" RCP, Class III                | 100   | LF   | \$100.00   | \$10,000.00         |
| 2                                       | 24" RCP, Class III                | 300   | LF   | \$125.00   | \$37,500.00         |
| 3                                       | 27" RCP, Class III                | 300   | LF   | \$140.00   | \$42,000.00         |
| 4                                       | 30" RCP, Class III                | 725   | LF   | \$150.00   | \$108,750.00        |
| 5                                       | 36" RCP, Class III                | 400   | LF   | \$175.00   | \$70,000.00         |
| 6                                       | 48" RCP, Class III                | 250   | LF   | \$200.00   | \$50,000.00         |
| 7                                       | 4' Sq. Storm Drain Manhole        | 8     | Each | \$5,500.00 | \$44,000.00         |
| 8                                       | 30" Concrete Headwall             | 1     | Each | \$4,500.00 | \$4,500.00          |
| 9                                       | 48" Concrete Headwall             | 1     | Each | \$8,000.00 | \$8,000.00          |
| 10                                      | Grouted Stone Riprap              | 50    | SY   | \$250.00   | \$12,500.00         |



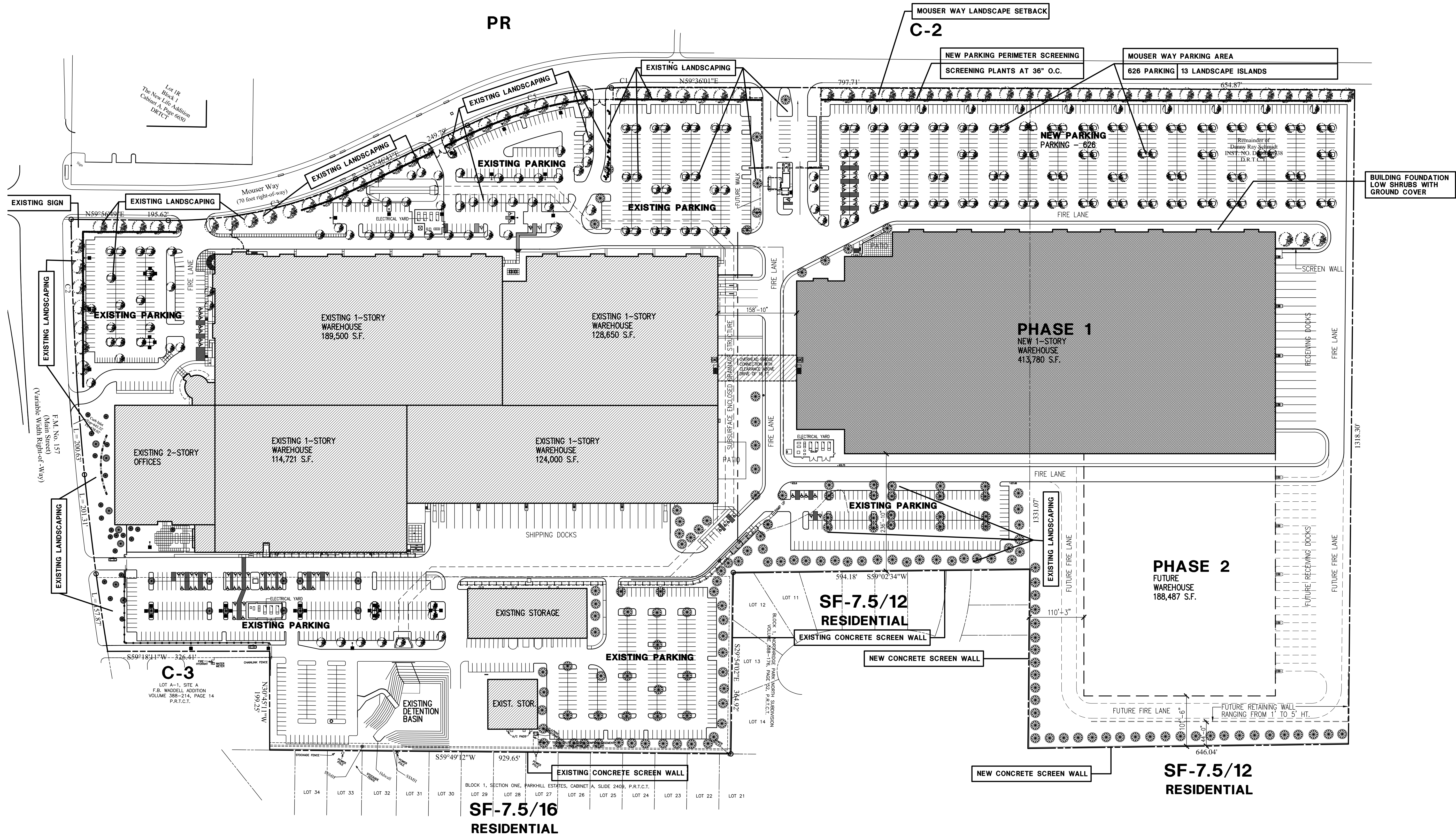
|                                  |                                  |        |      |             |                |
|----------------------------------|----------------------------------|--------|------|-------------|----------------|
| 11                               | 10' Curb Inlet                   | 10     | Each | \$5,500.00  | \$55,000.00    |
| 12                               | Outlet Structure - Det. Basin 1  | 1      | Sum  | \$12,000.00 | \$12,000.00    |
| 13                               | Outlet Structure - Det. Basin 2  | 1      | Sum  | \$12,000.00 | \$12,000.00    |
| 14                               | Detention Basin Excav/Embankment | 10,000 | CY   | \$15.00     | \$150,000.00   |
| 15                               | Bermuda Sod                      | 5,000  | SY   | \$5.00      | \$25,000.00    |
| 16                               | 4' Chain Link Fence/Incl. Gates  | 1,200  | LF   | \$35.00     | \$42,000.00    |
| Drainage Subtotal                |                                  |        |      |             | 683,250.00     |
| Total Utilities & Storm Drainage |                                  |        |      |             | \$1,055,417.50 |
| Contingency                      |                                  |        |      | 15%         | \$158,082.50   |
| Total                            |                                  |        |      |             | \$1,213,500.00 |



**EXHIBIT “B”**

Facility/Property





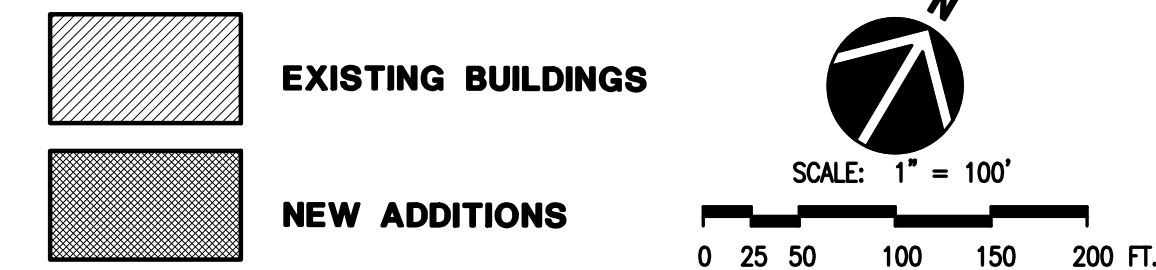
| LANDSCAPE REQUIREMENTS          |                    |                           |                |                                  |    |                            |                    |
|---------------------------------|--------------------|---------------------------|----------------|----------------------------------|----|----------------------------|--------------------|
| LOCATION                        | AREA               | TREES REQUIRED            | TREES PROVIDED | PLANTING                         |    |                            |                    |
| MOUSER WAY LANDSCAPE SETBACK    | 1,075 FT. X 20 FT. | 27 (1 PER 40')            | 27             | APPROVED TREES WITH 3.5" CALIPER |    |                            |                    |
| PARKING LOT PERIMETER SCREENING |                    |                           |                | APPROVED PLANTS AT 3' O.C.       |    |                            |                    |
| NORTHEAST PARKING AREA          | 626 SPACES         | 63 (1 PER 10)             | 66             | APPROVED TREES WITH 3.5" CALIPER |    |                            |                    |
|                                 |                    |                           |                |                                  |    |                            |                    |
|                                 |                    |                           |                |                                  |    |                            |                    |
| PARKING TABULATION              |                    |                           |                | DEVELOPMENT SCHEDULE             |    |                            |                    |
|                                 | WAREHOUSE AREA     | OFFICE AREA               | PARKING        |                                  |    |                            |                    |
|                                 |                    |                           | REQUIRED       |                                  |    | PROVIDED                   | ACCESSIBLE PARKING |
| EXISTING BUILDING               | 631,053            | 131,305                   | 731            | 1,359                            | 62 |                            |                    |
| PHASE 1                         | 413,780            | --                        | 138            | 626                              | 8  | STARTING ON APPROVAL       |                    |
| PHASE 2                         | 188,487            | --                        | 63             | --                               | -- | 4 TO 5 YEARS AFTER PHASE 1 |                    |
| TOTALS                          | 1,233,320          | 131,305                   | 932            | 1,985                            | 70 |                            |                    |
| BASIS OF PARKING:               |                    |                           |                |                                  |    |                            |                    |
| OFFICE SPACE:                   |                    | 1 SPACE PER 300 SQ. FT.   |                |                                  |    |                            |                    |
| WAREHOUSE SPACE:                |                    | 1 SPACE PER 3,000 SQ. FT. |                |                                  |    |                            |                    |



NOTES:

1. TRASH DISPOSAL: COMPACTORS WITH TRASH CONTAINERS WILL BE LOCATED IN THE DOCK AREA FOR TRANSPORT TO OFFSITE DISPOSAL FACILITY.
2. FIRE HYDRANTS: REFERENCE SITE UTILITY DRAWINGS FOR LOCATIONS.
3. THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREFOR, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
4. BASE ZONING: PD FOR OFFICE, WAREHOUSE AND C-2 COMMUNITY BUSINESS DISTRICT USES.
5. FOR ALL PORTIONS OF THE PROPERTY ABUTTING SINGLE FAMILY RESIDENTIALLY ZONED PROPERTY, A MINIMUM 8' HIGH PRE-CAST CONCRETE SCREEN WALL MEETING SCREEN WALL STANDARDS AS SET FORTH IN THE CITY'S ORDINANCE, AS AMENDED, SHALL BE INSTALLED IN COMPLIANCE WITH ALL CITY REGULATIONS, INSPECTED AND APPROVED BY THE CITY PRIOR TO COMPLETION OF THE FIREST PHASE OF CONSTRUCTION.

DEVELOPMENT & LANDSCAPE PLAN



PROJECT TEAM:

OWNER:  
**MOUSER ELECTRONICS**  
1000 NORTH MAIN STREET  
MANSFIELD, TEXAS 76063  
TELEPHONE: (817) 804-3888  
FACSIMILE: (817) 804-3899

ARCHITECT:  
**FRS DESIGN GROUP, INC.**  
ARCHITECTURE/PLANNING/INTERIORS  
P.O. BOX 162508  
FORT WORTH, TEXAS 76161  
TELEPHONE: (817) 334-0556

STRUCTURAL ENGINEERING:  
**FRANK W. NEAL & ASSOCIATES**  
1015 WEST BROADWAY  
FORT WORTH, TEXAS 76104  
TELEPHONE: (817) 332-1944  
FACSIMILE: (817) 336-8620

CIVIL AND MEP ENGINEERING:  
**BAIRD, HAMPTON & BROWN, INC.**  
6300 RIDOLEA PLACE, SUITE 700  
FORT WORTH, TEXAS 76116  
TELEPHONE: (817) 338-1277  
FACSIMILE: (817) 338-9245

**MOUSER ELECTRONICS**

DISTRIBUTION AND ASSEMBLY FACILITY  
A PHASED APPROACH TO PROPOSED EXPANSION  
1000 NORTH MAIN STREET    MANSFIELD, TEXAS 76063

LOT 1R, BLOCK 1, ELECTRONICS ADDITION  
CABINET A, PAGE 11198    PRCTC  
AND  
REMAINDER OF DANNY RAY SCHMIDT  
INSTRUMENT NO. D206018738    DRCTC  
PROJECT NO.:    21013

DATE:    SHEET:   

September 6, 2021





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4384

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** Consent

**In Control:** City Council

**File Type:** Resolution

**Agenda Number:**

**Title**

Resolution - A Resolution Authorizing a Contract Modification to the Bud Ervin Water Treatment Plant (BEWTP) Control System Replacement Project with Plummer Associates Inc. for Control System Upgrades of 15 Lift Stations for an Amount not to Exceed \$88,445.00 (Utility Fund)

**Requested Action**

Consider the resolution authorizing funds in the amount of Eighty-Five Thousand and Eight Hundred and Twenty Dollars \$85,820.00 and approval of a contract with Plummer Associates Inc. for the Engineering Services related to Upgrades of 15 Wastewater Lift Stations.

**Recommendation**

Staff recommends approval

**Description/History**

Plummer Associates Inc was selected by the City of Mansfield (City) to provide professional services for the Control System Replacement Project at the BEWTP. This project upgrades all the Supervisory Controls and Data Acquisition (SCADA) controls for the BEWTP and remote water assets. The proposed contract modification with Plummer will add 15 Wastewater Assets to this project.

**Justification**

The City currently contracts with a third-party system integrator to host the SCADA for our 15 lift stations. The City has experienced occasions where alarms are not being reported, and the existing controllers caused system failures.

Identified as a weakness from winter storm Uri was our reliance on a vendor for our wastewater lift station SCADA system. During the storm, we had to dedicate staff to these assets as our SCADA system experienced signal issues we could not diagnose or correct.

These upgrades will consolidate the City's water and wastewater software systems onto a single City hosted platform and allow operations staff to monitor and maintain around the clock at the BEWTP.

**Funding Source**

Utility Operations Fund

**Prepared By**

Alex Whiteway., Assistant Director, Water Utilities  
817-728-3615







**RESOLUTION NO. \_\_\_\_\_****A RESOLUTION AUTHORIZING A CONTRACT MODIFICATION TO THE BUD ERVIN WATER TREATMENT PLANT CONTROL SYSTEM REPLACEMENT PROJECT WITH PLUMMER ASSOCIATES INC. FOR CONTROL SYSTEM UPGRADES OF 15 LIFT STATIONS FOR AN AMOUNT NOT TO EXCEED \$88,445.00**

**WHEREAS**, the CITY owns and operates the 15 Lift Stations, which receives wastewater from the entire City; and,

**WHEREAS**, Plummer Associates Inc. is under contract for the Bud Ervin Water Treatment Control System Replacement Project (project); and,

**WHEREAS**, Plummer Associates Inc. and the City of Mansfield have negotiated an agreement on a contract modification to the project; and,

**WHEREAS**, it is recognized that it is in the best interest of the citizens of the City of Mansfield to modify the project to include control upgrades for 15 Lift Stations.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:**

**SECTION 1.**

The City Manager or his designee is hereby authorized to execute a contract modification to the Bud Ervin Water Treatment Control System Replacement Project with Plummer Associates Inc. to include control upgrades for 15 Wastewater Lift Stations for an amount not to exceed Eighty-Five Thousand and Eight Hundred and Twenty Dollars 00/100 Cents (\$88,445.00).

**SECTION 2.**

This Resolution shall become effective from and after its passage.

**PASSED AND APPROVED THIS THE 8<sup>TH</sup> DAY OF NOVEMBER, 2021.**

\_\_\_\_\_  
**Michael Evans, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Susana Marin, City Secretary**









# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4385

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** Consent

**In Control:** City Council

**File Type:** Resolution

**Agenda Number:**

**Title**

Resolution - A Resolution to Consider Awarding the Contract for the New Public Safety Burn Tower Foundation and Skills Pad Project to Tegrity Contractors, Inc. in the amount of \$3,546,666.00

**Requested Action**

Approve a Resolution to Execute a Construction Contract

**Recommendation**

Approve Resolution

**Description/History**

The project includes a new 250,000 square foot driving skills pad to be used by both the Police and Fire Departments. In addition, a new foundation for a proposed burn tower facility will be located in the northeast portion of the new pad. The construction of the burn tower facility will take place in a separate project. Significant earthwork and drainage improvements to the site, including a detention pond, will also be a part of this project. Finally, perimeter fencing and lighting is included. Access to the pad will be from Justice Lane and from the Law Enforcement Center to the south.

On October 14, 2021, nine (9) Competitive Sealed Proposals were received and publicly opened. City Staff, with assistance from the project architect, determined that the proposal from Tegrity Contractors, Inc., of Allen, best met the defined evaluation criteria of cost, reference/experience, delivery time and financial strength in order to provide the best value for the City of Mansfield. The bid from Tegrity Contractors was also the lowest of the nine bids.

The award amount of \$3,546,666.00 includes the contractor's bid of \$3,377,777.00, along with a 5% owner's contingency of \$168,889.00. The owner's contingency will only be utilized for any owner-initiated changes to the scope of the project or for any unforeseen conditions that might be encountered.

**Justification**

As has been discussed previously, the new Public Safety burn tower and driving skills pad will provide much-needed local training facilities for our Police and Fire Departments. Rather than having to use non-city facilities for this training, both departments will be able to remain in Mansfield and be properly trained. The drainage improvements and new perimeter fencing will



also help tie the Justice Lane property to the LEC property and help define the overall “campus” for the consolidation of operations at the site.

**Funding Source**

General Fund

**Prepared By**

Wade McLaurin  
Director of Building Services



**RESOLUTION NO. \_\_\_\_\_****A RESOLUTION TO CONSIDER AWARDING A CONSTRUCTION CONTRACT TO TEGRITY CONTRACTORS, INC. OF ALLEN, TEXAS IN THE AMOUNT OF \$3,546,666.00 FOR THE PUBLIC SAFETY BURN TOWER FOUNDATION AND SKILLS PAD PROJECT**

**WHEREAS**, Komatsu Architects was hired to develop construction documents for a new Public Safety driving skills pad and foundation for a new burn tower building on the property at 651 Justice Lane; and,

**WHEREAS**, Nine (9) Competitive Sealed Proposals were received for the Burn Tower Foundation and Skills Pad Project; and,

**WHEREAS**, using the defined evaluation and selection criteria published in the Project Manual, City staff, with assistance from the project architect, has determined that the proposal submitted by the subject contractor provides the best value to the City for the construction of the new burn tower foundation and skills pad.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:**

**SECTION 1.**

That the City Council approves awarding a construction contract to Tegrity Contractors, Inc. for construction of the new Public Safety Burn Tower Foundation and Skills Pad Project in the amount of \$3,546,666.00

**SECTION 2.**

This Resolution shall become effective from and after its passage.

**RESOLVED AND APPROVED ON THIS THE 8<sup>TH</sup> DAY OF NOVEMBER, 2021.**

\_\_\_\_\_  
**Michael Evans, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Susana Marin, City Secretary**





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4386

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** Consent

**In Control:** City Council

**File Type:** Special Event

### Title

Request For Special Event Permit: Mansfield Turkey Trot

### Requested Action

Approval of the Special Event Permit for the Mansfield Turkey Trot

### Recommendation

Staff has reviewed the application and recommends approval with the following comments:

Police Department:

Agreement with applicant for a minimum of 4 officers required for traffic/security at agreed to off-duty rates.

Environmental Department:

All event, start/stop, and rest areas shall have adequate waste receptacles and serviced to prevent litter accumulation.

The event route shall be policed immediately after the event to collect any stray litter.

### Description/History

This is the 8th annual Mansfield Turkey Trot 5 Mile, 5K, and Fun Run starting at Fieldhouse USA located at 650 N US 287. The event will take place on November 25, 2021 from 5:00 am to 12:00 pm.

### Justification

N/A

### Funding Source

N/A

### Prepared By

Jennifer Johnston  
817-276-4229

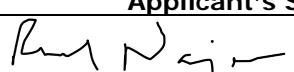




1200 East Broad Street, Mansfield, TX 76063

www.mansfieldtexas.gov Email: jennifer.johnston@mansfieldtexas.gov

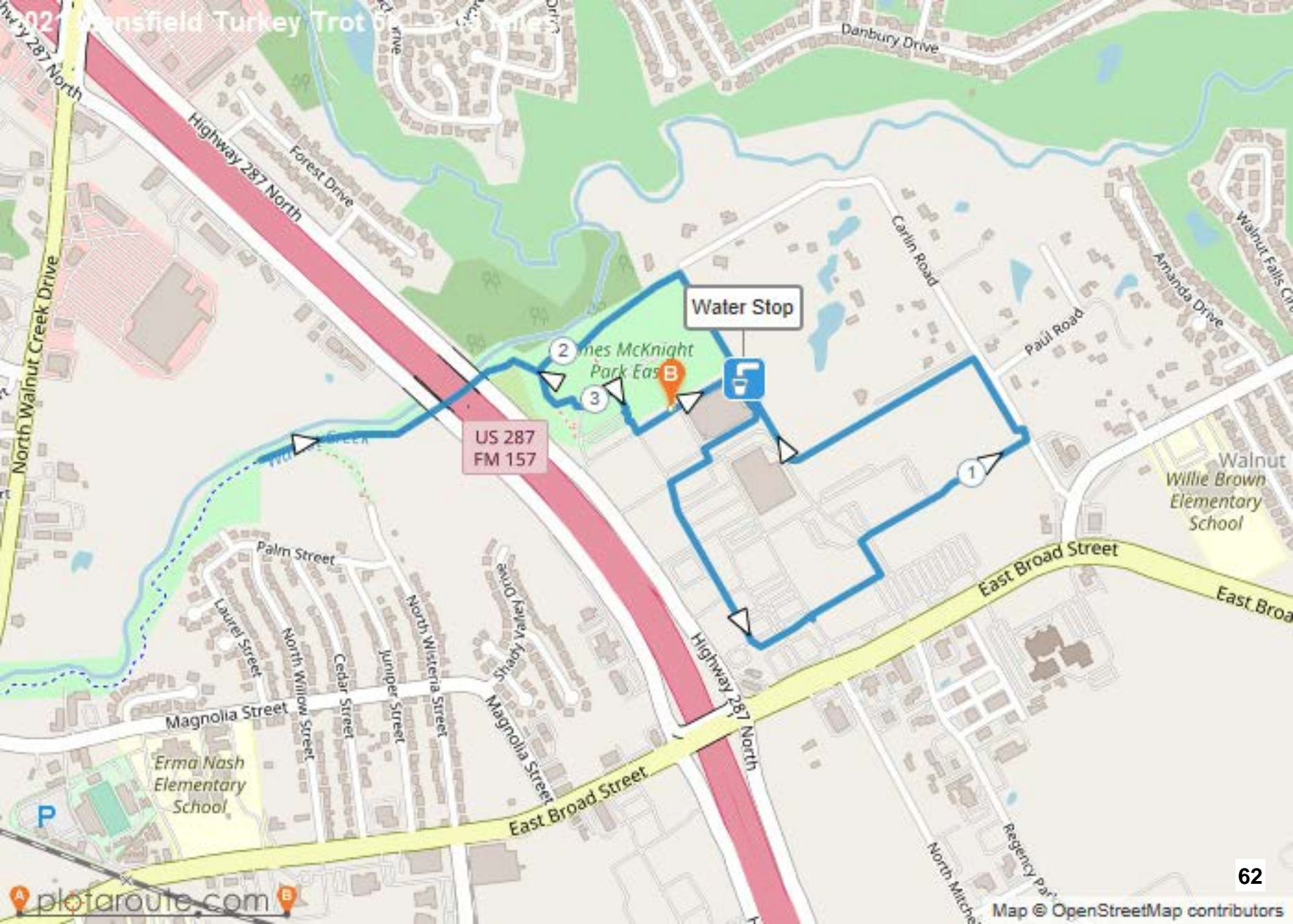
### Special Event Application

|   |  |
|---|--|
| Organization/Group: <b>RUNFAR RACING SERVICES, INC.</b>   | Date: <b>9/20/2021</b>   |
| Applicant: <b>RAUL NAJERA</b>   |  |
| Applicant's Address: <b>1609 PICCADILLY CT</b>  | Phone No. <b>512-569-0165</b>  |
| Name of the Event <b>MANSFIELD TURKEY TROT</b>  | Email: <b>raul@runfarusa.com</b>   |
| Address of Event: <b>650 U.S. 287 Frontage Rd #110, Mansfield, TX 76063</b>   |  |
| Description & Activities:<br><b>5 Mile, 5K &amp; Fun Run</b>  |  |
| Date of Event: <b>11/25/2021</b>  | Hours of Event: <b>5am - 11am</b>  |
| Public Invited or Private Party? <b>Public</b>  | Estimated Number of Attendees <b>700</b>   |
| Is the event in a Mansfield Park? <b>Patially</b>   | *If yes, Insurance is required   |
| Do you plan to Temporarily Close a Public Street? <b>Partially</b>  | *If yes, Insurance is required   |
| Is the event on Private Property other than your own? <b>YES</b>  | *If yes, signed permission is required   |
| Will there be any new or temporary electric lines installed? <b>NO</b>  |  |
| *If yes, a registered Electrician must obtain a permit. Indicate the line locations on the site plan.   |  |
| Will you be using generators? <b>YES</b>  | *If yes, show location on the site plan  |
| Do you plan to have any Tents? <b>NO</b>  | *If yes, a separate permit is required.  |
| Do you plan to have any pop-up canopies? <b>YES</b>   |  |
| Do you plan to have any Promotional Signs? (banners, streamers, balloons) <b>NO</b>   | *If yes, a separate permit is required   |
| City of Mansfield Assistance Requested:   |  |
| Barricades/ Street Closure? <b>NO</b>   | *If yes, show on site plan where you want to have barricades. A resident roster must be submitted for a block party. |
| Police/Traffic Control/Security? <b>YES</b>   | *If yes, attach an explanation and the name of the person you are working with                                       |
| <p><b>Please Read and Include the Following Information With This Application</b></p> <ul style="list-style-type: none"> <li>For all outdoor activities, a site plan must be attached. One can be provided if requested. <b>You need to show where all items will be located on the site plan.</b></li> <li>If Insurance is required, the City of Mansfield must be listed as "Additional Insured".</li> <li>All documents must be turned in at the same time. Please allow enough time for review and approval before the date of your event.</li> </ul> |  |
| <b>Applicant's Printed Name:</b>  | <b>Applicant's Signature:</b>  |
| <b>RAUL NAJERA</b>  |  <b>9/20/21</b>                  |











PERMISSION TO USE PRIVATE PROPERTY FOR SPECIAL EVENT  
(Required if this is not your property or business location)

I, the undersigned, being the property owner or property management representative of the owner for the property described herein below, do grant

Mansfield Turkey Trot permission to have their special event on said property.  
(Person, group or business name)

Property address: 650 US 287, Mansfield, TX 76063

**Please check all that apply:**

- ☒ Entire Special Event, including all activities listed, are approved to be held at this location.
- ☒ Approved for overflow parking and/or shuttle area to be held at this location.
- ☒ Approved to place promotional signage at this location, if the required permit is obtained. (I am aware this will use up one of the three (3) times a calendar year maximum for this location)
- ☒ Approved to place a Tent(s) and/or canopy for the event. (Note: a Tent requires a permit)
- ☒ Approved to place Bounce Houses, <sup>FH</sup>~~Petting Zoo~~, Children's Games and/or Kid's activities
- ☐ Misc. Approved: \_\_\_\_\_

Brandon Hebert  
Signature of Property Owner or Property Management Company

Brandon Hebert  
Printed Name/ Job Title

650 US 287 N., Mansfield, TX 76063  
Mailing Address

682-307-5210  
Contact Phone Number

bhebert@fieldhouseusa.com  
Email Address





Jennifer Johnston &lt;jennifer.johnston@mansfieldtexas.gov&gt;

## Fwd: Mansfield Turkey Trot - New 5 Mile Course

1 message

**Raul Najera** <raul@runfarusa.com>

Fri, Oct 22, 2021 at 8:27 AM

To: Jennifer.johnston@mansfieldtexas.gov

Hi Jennifer,

Below is Van Duzee's email.

Thank you!

Raul Najera  
RunFAR Racing Services, Inc.  
512-569-0165  
[www.runfarusa.com](http://www.runfarusa.com)

----- Forwarded message -----

From: **Jim Van Duzee** <[jim.vanduzee@mansfieldtexas.gov](mailto:jim.vanduzee@mansfieldtexas.gov)>  
Date: Fri, Oct 15, 2021, 7:46 AM  
Subject: Re: Mansfield Turkey Trot - New 5 Mile Course  
To: Raul Najera <[raul@runfarusa.com](mailto:raul@runfarusa.com)>

The route looks good since Carlin Rd is not affected. I will try to get you 3 officers and 1 supervisor to work the entrances to the parking lot.

On Thu, Oct 14, 2021 at 5:08 PM Raul Najera <[raul@runfarusa.com](mailto:raul@runfarusa.com)> wrote:

Hi Jim,

Let me know if this is doable so we can complete the permit for the City.

Thank you!

Raul

On Sat, Oct 9, 2021 at 1:00 PM Raul Najera <[raul@runfarusa.com](mailto:raul@runfarusa.com)> wrote:

Hi Jim,

Yes, I'd like to have at least officers if we can:

- 1 - Carlin/Shops entrance
- 1 - 287 & 1st Shop entrance
- 1 - at the Starbucks intersection in the shops.

Thank you!

Raul

On Tue, Oct 5, 2021 at 7:26 AM Jim Van Duzee <[jim.vanduzee@mansfieldtexas.gov](mailto:jim.vanduzee@mansfieldtexas.gov)> wrote:

Raul,

That route looks good. Since you will not be closing any streets or lanes, do you still want officers to help with controlling the traffic in the parking lots?

On Mon, Oct 4, 2021 at 2:54 PM Raul Najera <[raul@runfarusa.com](mailto:raul@runfarusa.com)> wrote:

Hi Andy,



Yes, I passed it by Shirley and I'm waiting on Jim's course approval to submit the city special event app.

Thanks!

Raul

On Mon, Oct 4, 2021 at 2:52 PM Andrew Binz <[andrew.binz@mansfieldtexas.gov](mailto:andrew.binz@mansfieldtexas.gov)> wrote:

Raul,

This might require a city wide special event application since it goes on public streets. I'll check with Shirley.

On Mon, Oct 4, 2021 at 2:50 PM Raul Najera <[raul@runfarusa.com](mailto:raul@runfarusa.com)> wrote:

Hi Andy,

That's great news.

Thank you!

Raul

On Mon, Oct 4, 2021 at 2:45 PM Andrew Binz <[andrew.binz@mansfieldtexas.gov](mailto:andrew.binz@mansfieldtexas.gov)> wrote:

Raul,

Yes, James Fish confirmed the new trail will be ready for Thanksgiving.

On Mon, Oct 4, 2021 at 2:42 PM Andrew Binz <[andrew.binz@mansfieldtexas.gov](mailto:andrew.binz@mansfieldtexas.gov)> wrote:

Raul,

Yes, the new trail should be open and ready to go. I'm confirming that with James.

I assume this is the morning of Thanksgiving? See application attached.

Thanks!

On Mon, Oct 4, 2021 at 2:37 PM Raul Najera <[raul@runfarusa.com](mailto:raul@runfarusa.com)> wrote:

Hi Jim,

Let me know if this will work as along as the trail is ready by Thanksgiving:

<https://www.plotaroute.com/route/1712424>

Andy,

Will the new trail be ready by Thanksgiving?

Thank you!

Raul

--

Raul Najera  
President/CEO  
RunFAR Racing Services, Inc.  
[www.runfarusa.com](http://www.runfarusa.com)  
512-569-0165 (direct)  
817-394-1215 (eFax)

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--

Andrew Binz CPRP  
Recreation Superintendent  
Mansfield Parks and Recreation Department  
817-728-3387  
[www.mansfieldparks.com](http://www.mansfieldparks.com)

--

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--

Raul Najera  
President/CEO  
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817-394-1215 (eFax)

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**A (separate) special event permit may be required if:**

- The race route goes on public streets or outside the parks system OR
- Event activities go against established park rules, ordinances, or policies.
- <https://www.mansfieldtexas.gov/sites/default/files/media/special-event-permit-packet.pdf>

## Race Application

### RENTAL INFORMATION

|                             |  |
|-----------------------------|--|
| Race Date: 11/25/2021       | Race Title: MANSFIELD TURKEY TROT          |
| Renter's Name: RAUL NAJERA  | Email: RAUL@RUNFARUSA.COM                  |
| Address: 1609 PICCADILLY CT | City & Zip: MANSFIELD, TX 76063            |
| Phone Number: 512-569-0165  | Event Website: www.mansfieldturkeytrot.com |

Expected Attendance: 600 Race Start Time : 7:30am /9am Event Time : 5am

Type of Race: ☒ 5K ☐ 10K ☐ Fun Run ☐ Sanctioned ☒ Other: 5 Mile

Please check any other activity associated with this event:

☐ Sponsor Booths ☐ Food Vendors ☐ Generators ☐ Bounce House/Inflatables (generator required)

☐ Merchandise Vendors ☐ Race Theme: \_\_\_\_\_ ☐ DJ/Loud Music ☒ Other: WATER STOP

Please select location: ☐ Rose Park (303 N Walnut Creek Dr) ☐ Town Park (500 N Main St)

Race Fees ☒ Residents: \$325 for up to 5 hours \$75 per additional hour

☐ Non-Residents: \$500 for up to 5 hours \$125 per additional hour

☐ Non-Profit: May be eligible for discounts, must submit 501c3 proof

**Additional Rules for Races:** (Please initial each one)

RN \_\_\_\_\_ The sale of food and/or merchandise is not allowed without the approval from the Parks and Recreation Department. If allowed, it is the permit holders' responsibility to make sure all vendors are in compliance with Federal, State, and Local laws and permitting requirements.

RN \_\_\_\_\_ Permanent markings (including water based spray paint) are not allowed to be used to mark route. Chalk and yard signs only.  
*\*\*Directional yard signs are available through the Recreation Department with a \$35 deposit .*

RN \_\_\_\_\_ If sufficient parking is not available, it is the renter's responsibility to arrange for adequate parking.

RN \_\_\_\_\_ Copy of Certificate of Insurance covering all activities and listing the City of Mansfield as an additional insured with limits of \$500,000 will be required.

RN \_\_\_\_\_ Race route and promotional material must be submitted for approval by the Parks and Recreation Department before being advertised.

RN \_\_\_\_\_ If access into the park is required, an additional staffing fee will be assessed for a Parks and Recreation staff person to be on site during event (minimum of \$100).

RN \_\_\_\_\_ Race obstacles must be located off of the main trail.

RN \_\_\_\_\_ All trails are to remain open to the public, before, during, and after the event.

**Suggestions for a Successful Race:**

- EMT's provided on site
- Additional Port-A-Potties for races of more than 150 people
- Clearly mark the route
- Provide route maps for participants
- Provide plenty of water for participants
- Provide volunteers to direct traffic
- Contact Kelly Hall for additional parking at R.L. Anderson Stadium (kellyhall@misdmail.org / 817-299-4343)

Renter's Signature: Raul Najera Date: 10/15/2021

### SUPERVISOR USE ONLY

|   |  |                      |
|---|--|----------------------|
| <input type="checkbox"/> Rental booked                        | <input type="checkbox"/> Water Truck                           | Rental #:            |
| <input type="checkbox"/> Copy of Driver's License             | <input type="checkbox"/> Directional Signs                     |                      |
| <input type="checkbox"/> Total Fees Charged: \$ _____         | <input type="checkbox"/> Food Permits                          | Supervisor Approval: |
| <input type="checkbox"/> Notify Kyle Lanier with Mansfield PD | <input type="checkbox"/> Bounce House                          |                      |
| <input type="checkbox"/> Notify Toby Fojtik with Parks        | <input type="checkbox"/> Staff Assigned (if needed & paid for) | Date:                |
| <input type="checkbox"/> Insurance Forms                      | <input type="checkbox"/> Special Event Permit (if needed)      |                      |
| <input type="checkbox"/> Payment Made                         | <input type="checkbox"/> Promotional Items/Website             |                      |





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4377

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** Approval of Minutes

**In Control:** City Council

**File Type:** Meeting Minutes

### Title

Minutes - Approval of the October 25, 2021 Regular City Council Meeting Minutes

### Requested Action

Action to be taken by the Council to approve the minutes.

### Recommendation

Approval of the minutes by the Council.

### Description/History

The minutes of the October 25, 2021 Regular City Council Meeting are in DRAFT form and will not become effective until approved by the Council at this meeting.

### Justification

Permanent Record

### Funding Source

N/A

### Prepared By

Susana Marin, TRMC, City Secretary  
817-276-4203





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## Meeting Minutes - Draft

### City Council

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Monday, October 25, 2021

4:00 PM

Council Chambers

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#### REGULAR MEETING

#### 4:00 P.M. - CALL MEETING TO ORDER

*Mayor Evans called the meeting to order at 4:00 p.m.*

**Present** 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

#### WORKSESSION

Discussion Regarding Support of Alliance for Children

*City Manager Joe Smolinski presented a request from Alliance for Children to the City Council for assistance in funding upgrades to their existing facilities in Arlington. Joe and Police Chief Tracy Aaron answered Council questions. Council provided direction to staff to gather additional information regarding the request.*

#### RECESS INTO EXECUTIVE SESSION

*In accordance with Texas Government Code, Chapter 552, Mayor Evans recessed the meeting into executive session at 4:14 p.m. Mayor Evans called the executive session to order in the Council Conference Room at 4:15 p.m. Mayor Evans adjourned the executive session at 6:59 p.m.*

#### **Pending or Contemplated Litigation or to Seek the Advice of the City Attorney Pursuant to Section 551.071**

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. 348-270155-14

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. DC-20-16161

Seek Advice of City Attorney Regarding Chapter 111 "Peddlers and Solicitors" of the Mansfield Code of Ordinances

#### **Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072**

Land Acquisition for Future Development



**Personnel Matters Pursuant to Section 551.074**

Continuation of the City Manager's Annual Performance Evaluation

Presentation of the City Secretary's Annual Performance Evaluation

**Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087**

Economic Development Project #21-28

Economic Development Project #21-31

Economic Development Project #21-33

Economic Development Project #21-37

**6:50 P.M. – COUNCIL BREAK PRIOR TO REGULAR BUSINESS SESSION****7:00 PM OR IMMEDIATELY FOLLOWING EXECUTIVE SESSION - RECONVENE INTO REGULAR BUSINESS SESSION**

*Mayor Evans reconvened the meeting into regular business session at 7:05 p.m.*

**INVOCATION**

*Chaplain Grace Abbey of the International House of Prayer gave the Invocation.*

**PLEDGE OF ALLEGIANCE**

*Council Member Lewis led the Pledge of Allegiance.*

**TEXAS PLEDGE**

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

*Council Member Bounds led the Texas Pledge.*

**PROCLAMATION**



[21-4360](#)

## Arbor Day 2021

*Mayor Evans read and presented the Arbor Day 2021 proclamation to City Landscape Administrator Stevon Smith and Texas Forest Service Representative Courtney Blevins.*

[21-4361](#)

## Code Compliance Month

*Mayor Evans read and presented the Code Compliance Month proclamation to the Code Compliance Department.*

**PRESENTATION**

Presentation to Airman Savannah Casas

*Texas State Representative and former Mansfield Mayor David Cook read and presented Airman Savannah Casas with a proclamation and a state flag that was flown over the Texas Capitol. Mayor Evans read and presented Airman Casas with a proclamation, a City coin, and a City flag that was flown at City Hall.*

**CITIZEN COMMENTS**

*Sergio Rossi, 2303 Grimsley Trail - Mr. Rossi spoke regarding back-in parking on Main Street.*

**COUNCIL ANNOUNCEMENTS**

*Council Member Leyman had no announcements.*

*Council Member Short had no announcements.*

*Council Member Lewis stated he, along with Mayor Evans, had the honor of attending a challenge coining ceremony for future Navy sailor Jacob Crowson.*

*Mayor Pro Tem Tonore had no announcements.*

*Council Member Bounds stated she attended the Dirty Job Throwdown event and it was a great evening.*

*Council Member Broseh had no announcements.*

*Mayor Evans thanked his Council colleagues for their hard work and highlighted the upcoming Salvation Army Mayoral Red Kettle Challenge.*

**STAFF COMMENTS****City Manager Report or Authorized Representative**

Current/Future Agenda Items



## Veterans Day Parade Update - Angie Henley

*Special Events Supervisor Angie Henley provided an update on the Veterans Day Parade and Salute. She invited the Council and public to attend the event on November 6 located on Main Street, the Remembering Our Fallen Photographic War Memorial event located at The Lot Downtown November 5-7, and the Visual Legacies Veterans Art Show November 9 at the Farr Best Theater.*

## **Communications and Marketing Report**

### 21-4366

Quarterly Reports: Code Compliance, Communications & Marketing, Cultural Arts, Historical Services, Historic Downtown Mansfield, Mansfield Convention & Visitors Bureau, Mansfield Economic Development Corporation, Mansfield Public Library, Neighborhood Services, Parks & Recreation, Planning & Zoning, Public Works

*Staff were available for questions.*

## **TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION**

**A motion was made by Mayor Pro Tem Tonore to approve the City Manager contract as discussed in executive session. Seconded by Council Member Lewis. The motion CARRIED by the following vote:**

**Aye:** 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

**Nay:** 0

**Abstain:** 0

## **CONSENT AGENDA**

### 21-4356

Resolution - A Resolution of the City of Mansfield, Texas, Authorizing the Police Chief to Enter into an Interlocal Agreement with Tarrant County for Technical Assistance and Equipment Procurement for Remote Video Magistration

**A motion was made by Council Member Short to approve the following resolution:**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, ADOPTING AND AUTHORIZING THE POLICE CHIEF TO ENTER INTO AN INTERLOCAL AGREEMENT WITH TARRANT COUNTY TO RECEIVE TECHNICAL SERVICES AND EQUIPMENT RELATED TO VIDEO MAGISTRATION SERVICES**

**(Resolution in its entirety located in the City Secretary's Office)**

**Seconded by Council Member Lewis. The motion CARRIED by the following vote:**

**Aye:** 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

**Nay:** 0



**Abstain:** 0

Enactment No: RE-3796-21

[21-4368](#)

Request for Special Event Permit: Veterans Day Parade and Salute

**A motion was made by Council Member Short to approve the request for a special event permit. Seconded by Council Member Lewis. The motion CARRIED by the following vote:**

**Aye:** 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

**Nay:** 0

**Abstain:** 0

[21-4357](#)

Minutes - Approval of the October 11, 2021 Regular City Council Meeting Minutes

**A motion was made by Council Member Short to approve the minutes of the October 11, 2021 Regular City Council Meeting as presented. Seconded by Council Member Lewis. The motion CARRIED by the following vote:**

**Aye:** 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

**Nay:** 0

**Abstain:** 0

#### **ITEMS TO BE REMOVED FROM THE CONSENT AGENDA**

[21-4354](#)

Resolution - A Resolution to Consider Awarding a Construction Contract to RJM Contractors, Inc. of Benbrook, Texas in the Amount of \$2,450,798.90 for Alterations and Expansion of the Mansfield Public Library

*Council Member Leyman removed this item from the consent agenda. Director of Building Services Wade McLaurin answered Council questions.*

**A motion was made by Council Member Leyman to approve the following resolution:**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, AWARDING A CONSTRUCTION CONTRACT TO RJM CONTRACTORS, INC. OF BENBROOK, TEXAS IN THE AMOUNT OF \$2,450,798.90 FOR ALTERATIONS AND EXPANSION OF THE MANSFIELD PUBLIC LIBRARY**

**(Resolution in its entirety located in the City Secretary's Office)**

**Seconded by Council Member Bounds. The motion CARRIED by the following vote:**

**Aye:** 6 - Larry Broseh; Julie Short; Mike Leyman; Todd Tonore; Michael Evans and Tamera Bounds



**Nay:** 1 - Casey Lewis

**Abstain:** 0

Enactment No: RE-3797-21

### **END OF CONSENT AGENDA**

### **PUBLIC HEARING CONTINUATION AND SECOND AND FINAL READING**

#### **21-4300**

Ordinance - Public Hearing Continuation and Second and Final Reading on an Ordinance Approving a Zoning Change from SF-7.5/12, Single-Family Residential and C-1, Neighborhood Business Districts to PD, Planned Development District for a Church and Other Church-Related Facilities, a Pre-School, Day Care, Education, Coffee Shop, Eating Place without Drive-Through Service and Other OP Uses as Allowed on Approximately 10.97 Acres, Being Lot 1R1, Block 1, Bethlehem Baptist Church Addition and a 0.1 Acre Tract Situated in the T.J. Hanks Survey, Abstract No. 644, City of Mansfield, Tarrant Co. TX, Addressed at 1188 W. Broad Street; Shank Architects, architect and Bethlehem Baptist Church, owner (ZC#21-013)

*Mayor Evans recused himself from this agenda item and turned it over to Mayor Pro Tem Tonore. Director of Planning Jason Alexander presented the item.*

*Mayor Pro Tem Tonore continued the public hearing through second reading at 7:50 p.m.*

*The following citizens did not wish to speak, but wished to express support for this item:*

*Vickie Dennis, 517 Cunningham Drive  
Barbara Pipkins, 1200 Brook Arbor Drive  
Fonda Bonner, 808 Lillian Road  
Dora Sheppard, 2657 Carrington Lane  
Don Sheppard, 2657 Carrington Lane  
Nebra Brown, 1188 W Broad Street  
Carlton Adams, 4549 Queenswood Drive  
Diane Norris, 6901 Rebel Road  
Michael Mainer, 4901 Havenside Way  
Ethel Levi, 1188 W Broad Street  
Annette McIntyre, 1199 W Broad Apt 1115  
Mildred Gray, 1199 W Broad Apt 1121  
Rivers Cochran, Jr, 3107 Pamplona, Grand Prairie  
Kelvin Goins, 504 Flora Vista  
Walter Brooks, 1901 N Holland Road  
Cherri Richards, 906 Chaparral Trail, Midlothian  
Charmanie Evans, 2215 Ragland Road  
Ruben, Beth, and Savannah Casas, 1907 Winter Park Drive  
Chad Perry, 2601 Handley Drive Unit A  
F.M. Harris, 1906 Winter Park Drive*



Betty Adams, 4543 Queenwood Drive  
Dominicia Morgan, 7576 County Road 526  
Jeanetta Racy, 4801 Quantrill Avenue  
Beverly Pugh, 1188 W Broad Street  
Larry Pugh, 1188 W Broad Street  
Mary Potts, 4602 Waterford Glen Drive  
Sandra Brooks, 1901 N Holland Road  
Karen Mainer, 4901 Havenside Way

Mayor Pro Tem Tonore closed the public hearing at 7:51 p.m.

**A motion was made by Council Member Lewis to approve the following ordinance:**

**AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR A CHURCH AND OTHER CHURCH-RELATED FACILITIES, A PRE-SCHOOL, DAY CARE, EDUCATION, COFFEE SHOP, EATING PLACE WITHOUT DRIVE-THROUGH SERVICE AND OTHER OP USES AS ALLOWED; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE**

(Ordinance in its entirety located in the City Secretary's Office)

**Seconded by Council Member Broseh. The motion CARRIED by the following vote:**

**Aye:** 6 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore and Tamera Bounds

**Nay:** 0

**Abstain:** 1 - Michael Evans

Enactment No: OR-2226-21

### **PUBLIC HEARING AND FIRST READING**

#### **[21-4364](#)**

Ordinance - Public Hearing and First Reading on an Ordinance Approving a Zoning Change from C-2 Community Business District to PD, Planned Development District for 2F, Two Family Residential District Plus Triplex for a Duplex and Triplex, Attached Single-Family Development on Approximately 6.56 Acre Tract of Land Situated in the Henry McGehee Survey, Abstract Number 998, Located in the City of Mansfield, Tarrant Co., TX, Being all of Lots 6,7,8, And 9, Matlock Center Addition and Being Part of a Called 12.974 Acre Tract in Substitute Trustee's Deed to Kingdom Work Foundation, Recorded in Instrument D214023663 Located in the City of Mansfield, Tarrant Co., TX, Generally



Located at 1701 Country Club Drive and 1107-1110 Alexis Court; Brian Cotter of Cotter Associates, planner on Behalf of Louis Scoma of Kingdom Work Foundation, owner (ZC#21-015)

*Assistant Director of Planning Arty Wheaton-Rodriguez presented the item and answered Council questions. Applicants Brian Cotter and Michael Dike presented and answered Council questions. City Attorney Allen Taylor answered Council questions.*

*Mayor Evans opened the public hearing at 8:46 p.m.*

*Melody Huffman, 1301 Wren Drive - Dr. Huffman spoke regarding density and crime concerns.*

*Mayor Evans continued the public hearing through second reading at 8:51 p.m.*

**A motion was made by Council Member Lewis to approve the first reading of the following ordinance with the conditions that the fire pit be a gas fire pit with a timer, that the initiation of first construction begins within 36 months, and stipulations on the HOA to maintain all common areas, the front lawns, and landscaping, and that there is a camera maintained by the HOA in the HOA documents at the entrance off of Alexis Court:**

**AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR 2F, TWO FAMILY RESIDENTIAL DISTRICT PLUS TRIPLEX (ATTACHED SINGLE-FAMILY), PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE**

**Seconded by Council Member Short. The motion CARRIED by the following vote:**

**Aye:** 6 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Michael Evans and Tamera Bounds

**Nay:** 0

**Abstain:** 1 - Todd Tonore

## **NEW BUSINESS**

### **[21-4370](#)**

Discussion and Possible Action Regarding Proposed Amendments to the Procedural Rules of Council

*Joe Smolinski presented the item.*

**A motion was made by Council Member Lewis to approve with the following changes: In Section 1.02 (F), change the last sentence to "The City Manager will provide the Council with quarterly reports regarding public/private partnerships, development agreements, and HOT Funds." In Section 1.05 (C), leave the word "office" in. In Section 1.05 (D), leave the word "Office" in. In 1.08 (B), add "or his or her designee" after "The City Manager" and before "shall serve as a non-voting ex-officio member of all Boards, Commissions, and**



Committees."

**Seconded by Council Member Short. The motion CARRIED by the following vote:**

**Aye:** 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

**Nay:** 0

**Abstain:** 0

### **ADJOURN**

**A motion was made by Council Member Lewis to adjourn the meeting at 8:56 p.m. Seconded by Council Member Short. The motion CARRIED by the following vote:**

**Aye:** 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

**Nay:** 0

**Abstain:** 0

\_\_\_\_\_  
ATTEST: Michael Evans, Mayor

\_\_\_\_\_  
Susana Marin, City Secretary





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4378

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** Approval of Minutes

**In Control:** City Council

**File Type:** Meeting Minutes

**Agenda Number:**

**Title**

Minutes - Approval of the Minutes of the October 26, 2021 Joint Work Session Meeting Between the City Council, Mansfield Economic Development Corporation, Mansfield Park Facilities Development Corporation, and Planning and Zoning Commission Minutes

**Requested Action**

Action to be taken by the Council to approve the minutes.

**Recommendation**

Approval of the minutes by the Council.

**Description/History**

The minutes of the October 26, 2021 Joint Work Session are in DRAFT form and will not become effective until approved by the Council at this meeting.

**Justification**

Permanent Record

**Funding Source**

N/A

**Prepared By**

Susana Marin, TRMC, City Secretary  
817-276-4203





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## Meeting Minutes - Draft

### City Council

---

Tuesday, October 26, 2021

6:00 PM

Living Church  
2271 Matlock Road  
Mansfield, TX 76063

---

#### JOINT WORK SESSION BETWEEN THE CITY COUNCIL AND MANSFIELD ECONOMIC DEVELOPMENT CORPORATION, MANSFIELD PARK FACILITIES DEVELOPMENT CORPORATION AND PLANNING AND ZONING COMMISSION

#### 6:00 P.M. - CALL MEETING TO ORDER

*Mayor Evans called the meeting to order at 6:00 p.m.*

**Absent** 1 - Casey Lewis

**Present** 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

*Council Member Lewis arrived to the meeting at 6:30 p.m.*

**Present** 7 - Larry Broseh; Julie Short; Mike Leyman; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

#### INVOCATION

*Council Member Short gave the Invocation.*

#### PLEDGE OF ALLEGIANCE

#### TEXAS PLEDGE

#### CITIZEN COMMENTS

*There were no citizen comments.*

#### STAFF COMMENTS

#### **City Manager Report or Authorized Representative**

Presentation from City Manager

*City Manager Joe Smolinski made introductory comments and gave a brief summary*



*of the meeting agenda. Joe discussed the guiding principles of True North, skills training for City Boards and Commissions, and the meetings of the Bond Election Steering Committee. Career Development and Retention Officer Shelley Everhart Poer introduced herself and spoke on the cultural shift of Mansfield and her role in working with Boards and Commissions to offer training. Fernando Benavides, the Executive Director of High School for MISD, discussed student enrollment and school capacity, and answered questions. Chief Financial Officer Troy Lestina spoke on the finances of the City, how the City is funded, and what each type of fund consists of, and answered questions.*

*Council Member Leyman left the meeting at 7:24 p.m.*

*Deputy City Manager Shelly Lanners discussed the 2022 Bond Election Steering Committee including how the Committee was created, their purpose, their meetings, and their timeline. Shelly and Joe answered questions.*

*Mayor Evans recessed the meeting at 7:58 p.m. Council Member Broseh left the meeting at 8:04 p.m. Mayor Evans reconvened the meeting at 8:10 p.m.*

*Council Member Leyman returned to the meeting at 8:36 p.m.*

## **WORK SESSION DISCUSSION ITEMS**

### **Park Master Plan**

*Director of Community Services Matt Young discussed the Park Master Plan including how the department created and assembled the Plan. He also discussed the level of service and the half cent sales tax.*

### **Park Land Dedication Ordinance**

*Matt Young discussed the methodology of the ordinance and potential projects.*

### **Labor Shed Study**

*Assistant City Manager Matt Jones discussed the March 2021 Labor Shed Analysis and Mansfield residents workflow/inflow/outflow. Additionally, there was discussion held regarding the types of developments needed in Mansfield to attract large headquarters of corporations to the city.*

*Council Member Bounds left the meeting at 9:16 p.m. Mayor Pro Tem Tonore left the meeting at 9:30 p.m.*

### **Urban 3 Study**

*Director of Planning Jason Alexander discussed the Urban 3 Study, including our community, understanding and mapping local finance, land use, employment, projections, and infrastructure.*

## **ADJOURN**

**Mayor Evans adjourned the meeting at 10:12 p.m.**



\_\_\_\_\_  
ATTEST: Michael Evans, Mayor

\_\_\_\_\_  
Susana Marin, City Secretary





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4387

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** Public Hearing

**In Control:** City Council

**File Type:** Resolution

**Agenda Number:**

### Title

Public Hearing and Consideration of a Request for a Specific Use Permit for a Gasoline Service Station on Approximately 1.483 Acres Known as Lot 1, Block 2, Newport Addition, Located at 2919 N. Main St.; Cody Brooks of Bannister Engineering, LLC (engineer), Jack Romigh of Knight Group Architects (Architect), and Mark Feuling of Turnkey Construction and Development Group (Developer) on Behalf of Akram H. Chowdhury (Owner) (SUP#20-006)

### Requested Action

To consider the subject specific use permit request.

### Recommendation

#### Planning and Zoning Commission Recommendation

The Planning and Zoning Commission held a public hearing on September 7, 2021 and voted 6-0-1 (Goodwin absent) to table consideration until October 4, 2021 to allow the applicant more time to work with staff to revise the architectural elevations.

On October 4, 2021, the Planning and Zoning Commission voted 7-0 to table consideration until October 18, 2021 to allow the applicant additional time to revise the architectural elevations based on discussions with staff.

On October 18, 2021, the Planning and Zoning Commission continued the public hearing and voted 6-1 (with Gilmore voting no) to recommend approval as presented. One nearby property owner submitted a letter of opposition. Some of the commissioners complimented the applicant for collaborating with staff in improving the architectural design of the building. In addition, there was discussion regarding access, circulation, potential tenants, community space, lighting, signage, and the timing of Phase 2. The Planning and Zoning Commission also recommended that staff follow up with the property owner in opposition to the applicant's request. The property owner remains in opposition and submitted additional correspondence.

The applicant has revised the plans to remove the canopy over the drive aisle that previously connected the building to the fuel pump canopy, as well as show the outdoor seating area to be provided on the west side of the convenience store with Phase 1.

#### Staff Recommendation



Staff recommends approval.

### **Description/History**

*Future Land Use designation:* Sub-Area 1

*Existing Use:* Vacant land

*Existing Zoning:* C-2, Community Business District

#### *Surrounding Land Use & Zoning:*

North - Vacant land, C-2, Community Business District

South - Turner Warnell Road (a discount store across the street, also located in C-2, Community Business District)

East - North Main Street (Business U.S. 287); gas station across the street, and located in the City of Arlington

West - Gertie Barrett Road; (a church across the street, also located in PR, Pre-Development District)

#### *Thoroughfare Plan Specification:*

North Main Street (Business U.S. 287) - major arterial (four-lane divided)

Turner Warnell Road - minor collector (three-lane undivided)

Gertie Barrett Road - minor collector (three-lane undivided)

### **Comments and Considerations**

The subject property consists of 1.483 acres of vacant land bounded on the north by Turner Warnell Road, on the west by North Main Street (Business U.S. 287), and on the east by Gertie Barrett Road. The applicant is requesting a Specific Use Permit to develop a gasoline service station, which will also include a convenience store, office space, and supportive retail space.

#### Site Plan

The site will be developed in two phases. Phase 1, situated on the eastern portion of the property, will include a two-story building with a 3,150 sq. ft. convenience store on the first floor and a 1,100 sq. ft. office on the second floor. A detached fuel pump canopy with 12 fueling stations will be located on the east side of the building (facing North Main Street). The trash enclosure will be located on the north side of the building; the trash enclosure and all equipment will be screened in accordance with the City's Code of Ordinances. In addition, it is noted that there will be no outside storage of materials or vehicles on the property.

Phase 2, situated on the western portion of the site, will include a one-story building with 7,344 sq. ft. of retail space. This building is anticipated to be attached by a common wall with the convenience store/office building in Phase 1.

For both phases, the site will include a total of 52 parking spaces. There will be sidewalks provided along the perimeter of the building and outdoor seating areas.



### Access and Circulation

One of the access points will be provided from Turner Warnell Road. Additional access points will be provided from Gertie Barrett Road and North Main Street (Business U.S. 287) through the property to the north. The access to Gertie Barrett will temporarily use asphalt paving until such time that the property to the north develops. Two-way access will be provided on the west, south, and east sides of the building. Due to site constraints, one-way access will be provided around the south and east sides of the fuel pump canopy.

The 52 total parking spaces to be provided meets the Zoning Ordinance requirements for the different mix of uses (e.g., 1 space per 200 sq. ft. for service station uses, 1 space per 100 sq. ft. for eating places, 1 space per 300 sq. ft. for office uses, and 1 space per 250 sq. ft. for the first 3,000 sq. ft. of retail uses, and 1 space per 300 sq. ft. for the additional retail area beyond 3,000 sq. ft.). Initially, 26 parking spaces will be provided with Phase 1 to accommodate the mix of uses and the size of the enclosed spaces in that phase. In the future, 26 parking spaces will be provided in Phase 2 to accommodate permitted commercial uses.

Sidewalks will be provided around the building to provide access to the building from the parking spaces, as well as access to the trash enclosure. Sidewalks are not proposed along the surrounding roadways.

### Floor Plans, Elevations, and Perspectives

For Phase 1, the floor plans and interior perspectives show a convenience store with accessory kitchen and eating area and a small office on the second floor. The proposed elevations and exterior perspectives show that the building will be predominantly clad in brick and stone, with metal used as an accent material. Phase 1 will be 86.2% masonry and Phase 2 will be 92.2% masonry. A stone base with water table will define the lower portion of the building. The middle portions of the building will be articulated by windows and metal awnings; many of the windows that don't include awnings will include cast stone headers and sills. In addition, most of the upper-story windows are sized and aligned with the first-floor windows to provide a more unified appearance. Raised parapets and a strong decorative cornice treatment are intended to enhance the upper portion of the building. The corners of the building are well-defined by tower treatments and the building is also horizontally articulated by various recesses and projections to stimulate visual interest. The entrance to the convenience store is located at the most prominent corner of the building and will also include awnings over the entrance. The fuel pump canopy will be metal with brick and stone columns. A low stone wall to match the building will accent the patio area on the west side of the building and the trash enclosure will also be constructed of stone and will include metal gates.

### Landscaping and Screening

Landscaping proposed for the site includes canopy trees in the required 20' landscape setbacks along Gertie Barrett Road, Turner Warnell Road, and North Main Street (Business US 287); the canopy trees along North Main Street and a portion of Turner Warnell Road will be placed in a detention/flood storage basin in front of a 1.5' - 2' tall retaining wall. Canopy trees will also be provided in the landscape buffer along the north



property line. Trees will be provided in the parking lot islands and all parking areas and drive aisles will be screened from street frontages by dense evergreen shrubs. Foundation plantings will accent the west and east sides of the building, as well as the outdoor seating areas. Shrubs will accent the monument sign and screen the north side of the trash enclosure.

#### Signage

The plans specify that all signage will comply with the regulations applicable to C-2, Community Business District. A sign plan has been provided, showing the monument signage and wall signage planned for the development. A monument sign that adheres to the standard requirements will be provided at the entrance off Turner Warnell Road; the monument sign will also include an electronic message center sign that is less than 50% of the sign area in compliance with the City's regulations for electronic message centers. Wall signs will be provided on the front of each business, with the corner retail business to be allowed an additional wall sign on the elevation facing Gertie Barrett Road as allowed by the City's signage regulations. The convenience store/office building will include signage on south and east elevations, while the fuel pump canopy will include signage on the north, south, and east elevations.

#### Land Use Plan

In the City's Land Use Plan, this property is located in Sub-Area 1. Recommendations for this area note that any commercial development should be limited in size and scope, may be required to make road improvements, and should be focused at the intersections of thoroughfares identified as arterials/collectors. Furthermore, it recommends rehabilitating and revitalizing North Main Street as a primary entrance into the City. In the Commercial Land Use Goals and Strategies, one of the strategies identified is to ensure that the development standards for non-residential uses along major corridors are elevated to ensure a positive visual perception of Mansfield is projected to citizens and visitors.

#### Summary

The subject property is located in the C-2, Community Business District, which allows for a gasoline service station with the approval of a Specific Use Permit. The site planning, landscaping, engineering, and architecture set high standards for non-residential development at a key gateway into the City --- which is in accordance with Land Use Plan recommendations. In addition, the signage has been reduced to adhere to the City's signage regulations. With the property's position at a well-traveled intersection surrounded by commercial zoning and uses, the construction and operation of a gas station use is appropriate for this location and compatible with existing and future development patterns. High-quality architecture in concert with thoughtful site planning and landscaping will help to set a higher standard for the development of the remainder of the tract, ignite redevelopment, and elevate visual the prominence of this key entrance to the City.



**Prepared By**

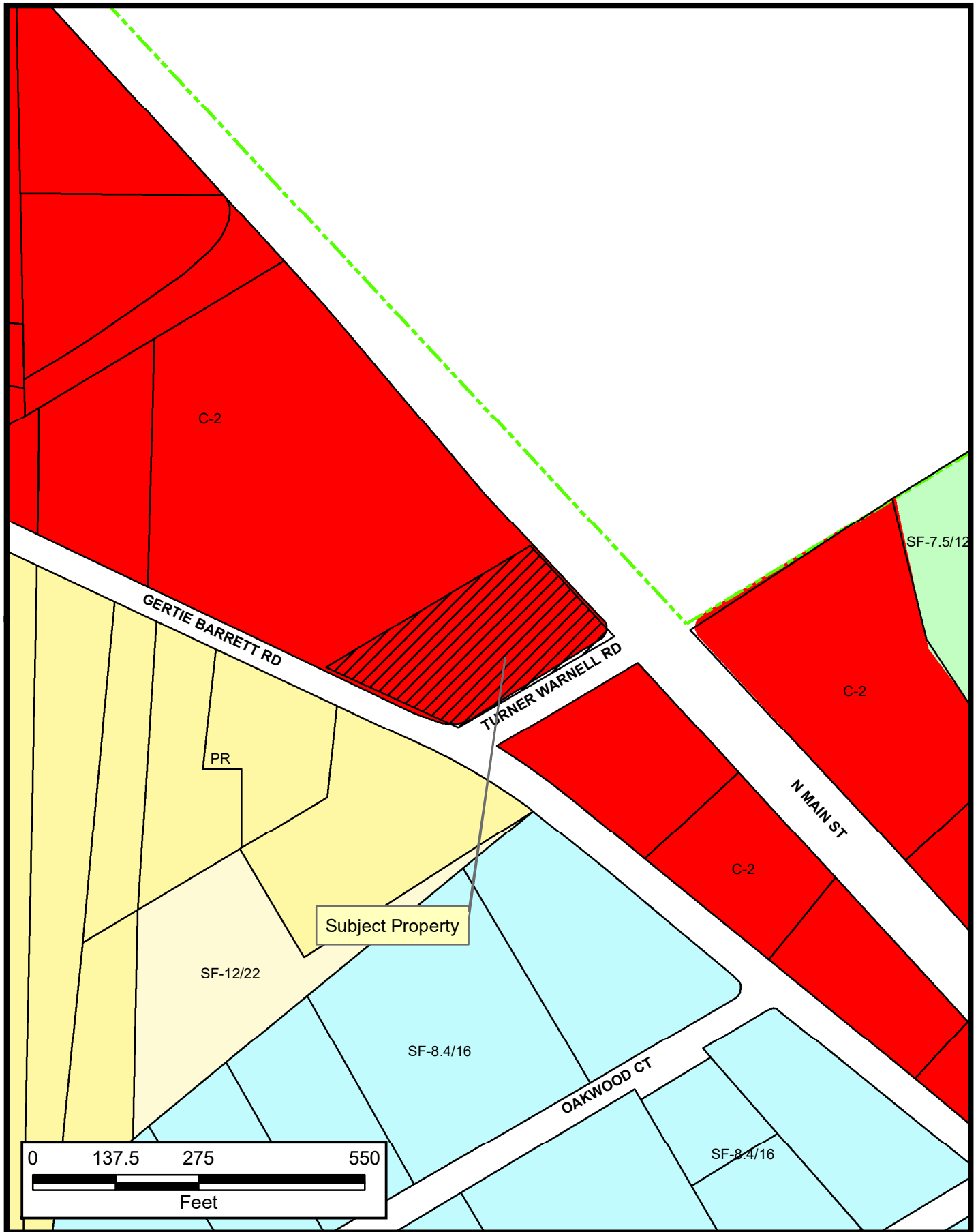
Andrew Bogda, Planner

817-276-4287











## Property Owner Notification for SUP#20-006

| LEGAL DESC 1                   | LEGAL DESC 2 | OWNER NAME                            | OWNER ADDRESS          | CITY          | ZIP        |
|--------------------------------|--------------|---------------------------------------|------------------------|---------------|------------|
| MABRA ACRES ADDITION           | LOT 1        | MILAN, OMAR M & MICHELLE DAWN         | 160 OAKWOOD CT         | MANSFIELD, TX | 76063      |
| MEP & PRR CO SURVEY            | A 1828       | CHOWDURY, AKRAM H                     | 3100 HAZELWOOD CT      | BEDFORD, TX   | 76021      |
| MEP & PRR CO SURVEY            | A 1828       | PREUSSER, WILLIAM & CAROL             | 3029 GERTIE BARRETT RD | MANSFIELD, TX | 76063-8599 |
| MEP & PRR CO SURVEY            | A 1828       | BISBEE BAPTIST CHURCH OF<br>MANSFIELD | 3001 GERTIE BARRETT RD | MANSFIELD, TX | 76063-8599 |
| MEP & PRR CO SURVEY            | A 1828       | BISBEE BAPTIST CHRUCH OF<br>MANSFIELD | 3001 GERTIE BARRETT RD | MANSFIELD, TX | 76063-8599 |
| MEP & PRR CO SURVEY            | A 1828       | CHOWDURY, AKRAM H                     | 3100 HAZELWOOD CT      | BEDFORD, TX   | 76021      |
| MEP & PRR CO SURVEY            | A 1828       | BISBEE BAPTIST CHURCH OF<br>MANSFIELD | 3001 GERTIE BARRETT RD | MANSFIELD, TX | 76063-8599 |
| R & C BUSINESS CENTER ADDN     | BLK 1        | SUMMERS, CRAIG                        | 171 BUSHNELL RD        | BOZEMAN, MT   | 59718      |
| ROLLING ACRES ADDITION-MANSFLD | BLK          | B & B FAMILY LP                       | 2925 E DIVISION ST     | ARLINGTON, TX | 76011-6710 |



## LEGAL LAND DESCRIPTION:

**(PROPOSED LOT 1, BLOCK 2, NEWPORT ADDITION)**

BEING 1.578 acres (68,720 square feet) of land in the El Paso & Pacific Railroad Company Survey, Abstract Number 1828, City of Mansfield, Tarrant County, Texas; said 1.578 acres (68,720 square feet) of land being a portion of that certain tract of land described in Special Warranty Deed with Vendor's Lien to Akram H. Chowdury (hereinafter referred to as Chowdury tract), as recorded in Instrument Number D217282120, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.); said 1.578 acres (68,720 square feet) being more particularly described, by metes and bounds, as follows:

**BEGINNING** at a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Easterly corner of said Chowdury tract, same being on the existing Southwesterly right-of-way line of U. S. Highway Number 287 (Business) (100' right-of-way), as recorded in Volume 1117, Page 505, Deed Records, tarrant County, Texas (D.R.T.C.T.);

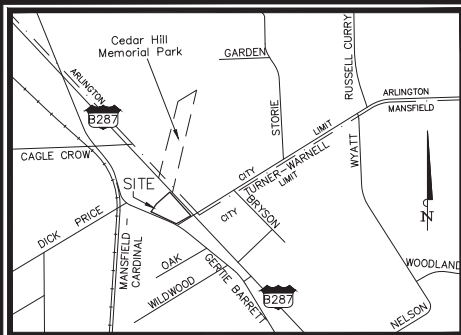
**THENCE** South 59 degrees 45 minutes 28 seconds West with the common line between said Chowdury tract and the existing Northwesterly right-of-way line of Turner-Warnell Road, also known as County Road Number 2033 (variable width right-of-way, no record found), a distance of 298.61 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Southerly corner of said Tally tract, same being the existing Northeasterly right-of-way line of said Gertie Barrett Road (variable width right-of-way, no record found);

**THENCE** North 65 degrees 23 minutes 40 seconds West, departing the existing Northwesterly right-of-way line of said Turner-Warnell Road, with the common line between said Chowdury tract and the Existing Northeasterly right-of-way line of said Gertie Barrett Road, a distance of 240.73 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Southerly corner of the remainder of that certain tract of land described in a Warranty Deed to Jim Tally (hereinafter referred to as Tally tract), as recorded in Instrument Number D215198846, O.P.R.T.C.T.;

**THENCE** North 59 degrees 21 minutes 06 seconds East, departing the existing Northeasterly right-of-way line of said Gertie Barrett Road, with the common line between said Chowdury tract and said Tally tract, pass ata distance of 153.82 feet, a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Southerly corner of that certain tract of land described in a deed to WE-Cedar Hill Memorial Park, Inc. (hereinafter referred to as WE-Cedar Hill Memorial Park tract), as recorded in Instrument Number D218018144, O.P.R.T.C.T. and continue with said course and the common line between said Chowdury tract and said WE-Cedar Hill Memorial Park tract for a total distance of 393.50 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Northerly corner of said Chowdury tract, same being the Easterly corner of said Tally tract, same also being the existing Southwesterly right-of-way line of said U. S. Highway Number 287 (Business);

**THENCE** South 42 degrees 35 minutes 45 seconds East, with the common line between said Chowdury tract and the existing Southwesterly right-of-way line of said U. S. Highway Number 287 (Business), a distance of 204.34 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 1.578 acres (68,720 square feet) of land, 0.100 acre (4,317 square feet) to be dedicated in a future right-of-way, leaving a net calculated are of 1.478 acres (64,403 square feet).

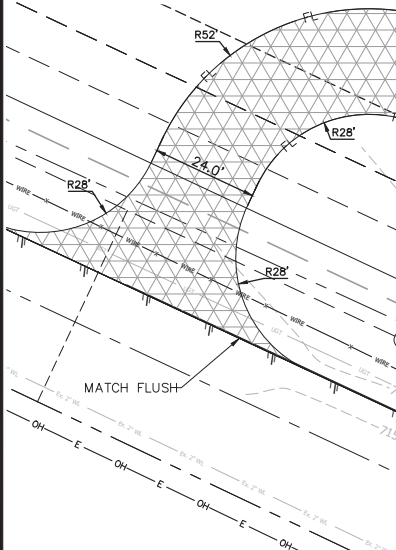




VICINITY MAP  
NOT TO SCALE  
MANSFIELD, TEXAS

- NOTES:
1. ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.
  2. ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF THE ZONING ORDINANCE.
  3. THE TRASH ENCLOSURE WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF THE ZONING ORDINANCE.
  4. THERE WILL BE NO OUTSIDE STORAGE OF MATERIALS OR VEHICLES ON THE PROPERTY.
  5. ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.

30' PEREGRINE PIPELINE COMPANY, L.P.  
INSTRUMENT NUMBER D208248644  
D.R.T.C.T.



BISBEE BAPTIST CHURCH OF MANSFIELD  
INSTRUMENT NUMBER D203377623  
D.R.T.C.T.  
ZONED: PRE-DEVELOPMENT DISTRICT (PR)

LEGEND

|  |   |
|--|---|
|  | PROPOSED HEAVY DUTY CONCRETE PAVEMENT   |
|  | PROPOSED REGULAR DUTY CONCRETE PAVEMENT |
|  | PROPOSED FIRE LANE CONCRETE PAVEMENT    |
|  | CONCRETE SIDEWALK                       |
|  | TEMPORARY ASPHALT PAVEMENT              |
|  | FULL DEPTH SAWCUT                       |
|  | PROPOSED FIRE LANE MARKINGS             |
|  | LONGITUDINAL BUTT JOINT                 |
|  | INSTALL BARRIER FREE RAMP               |

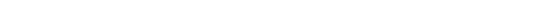
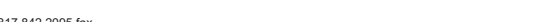
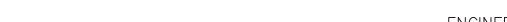
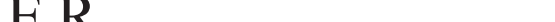
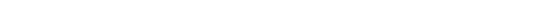
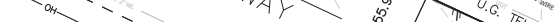
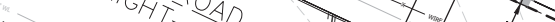
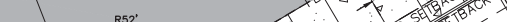
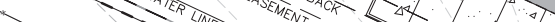
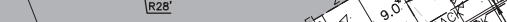
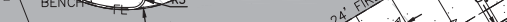
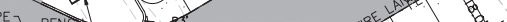
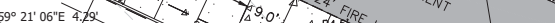
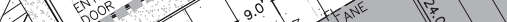
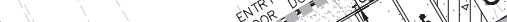
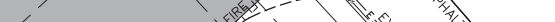
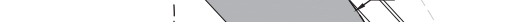
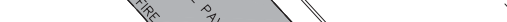
**BANNISTER**  
ENGINEERING  
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)

CONTACT: CODY R. BROOKS, P.E.

BISBEE BAPTIST CHURCH OF MANSFIELD  
VOLUME 12651, PAGE 2269  
D.R.T.C.T.  
ZONED: PRE-DEVELOPMENT DISTRICT (PR)

MATCHLINE THIS SHEET

MATCHLINE THIS SHEET



PARKING CALCULATIONS

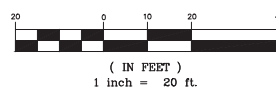
PHASE 1:  
1ST FLOOR = 3,150 S.F.  
2ND FLOOR = 1,100 S.F.  
PHASE 1 PARKING:  
OFFICE 1,100 @ 1/300 = 4 PARKING SPACES  
SERVICE STATION 2,000 @ 1/200 = 10 P.S.  
EATING ESTABLISHMENT 1,150 @ 1/100 = 12 P.S. [INCLUDES MINIMUM 12 SPACES FOR EATING USES]  
TOTAL PARKING REQUIRED = 26  
PHASE 2 PARKING: ALL RETAIL - NO FOOD SERVICE OR OFFICES ANTICIPATED  
1ST FLOOR = 7,340 S.F. [NO SECOND FLOOR AREAS]  
1ST 3,000 S.F. @ 1/250 = 12 PARKING SPACES  
2ND 4,340 S.F. @ 1/300 = 14 P.S. [14.48 ROUNDED TO THE NEAREST WHOLE NUMBER]  
TOTAL PARKING REQUIRED: 52 [INCLUDING 3 HANDICAP PARKING SPACES]

ENGINEER/SURVEYOR:  
BANNISTER ENGINEERING, LLC  
240 NORTH MITCHELL ROAD  
MANSFIELD, TEXAS 76063  
CONTACT: CODY R. BROOKS, P.E.  
PHONE: 817-842-2094  
cody@bannistereng.com

OWNER:  
AKRAM H. CHOWDHURY  
3100 HAZELWOOD COURT  
BEDFORD, TEXAS 76021  
PHONE: 817-779-0757  
EMAIL: achow001@gmail.com

NOBLE BUSINESS, INC.,  
D/B/A J'S FOOD & NEW  
STORE #1  
VOLUME 13612, PAGE 162  
D.R.T.C.T.  
ZONED: COMMERCIAL (CC)

GRAPHIC SCALE



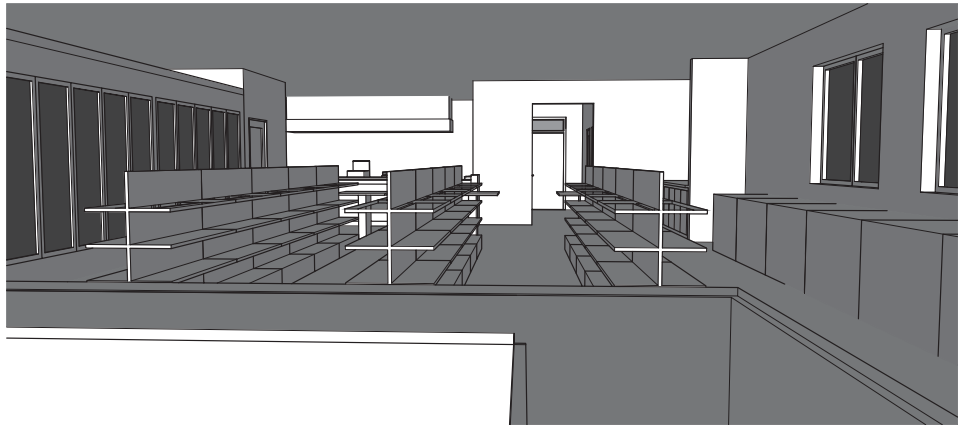
| SITE SUMMARY TABLE                   |  |
|--------------------------------------|--|
| GENERAL SITE DATA                    |  |
| ZONING                               | C-2 COMMUNITY BUSINESS DISTRICT                              |
| LAND USE                             | CONVENIENCE STORE/GAS STATION W/RETAIL                       |
| LOT AREA                             | 64,607 S.F. (1.483 ACRES)                                    |
| TOTAL BUILDING AREA (SQUARE FEET)    | ±11,594 S.F.   |
| FLOOR TO AREA RATIO                  | 1 : 0.179  |
| BUILDING HEIGHT (STORIES)            | CONVENIENCE STORE: 21'-6" - 2 STORY<br>RETAIL: 18' - 1 STORY |
| REQUIRED PARKING                     | 52 SPACES  |
| PROVIDED PARKING                     | 52 SPACES  |
| ACCESSIBLE / VAN ACCESSIBLE REQUIRED | 2  |
| ACCESSIBLE / VAN ACCESSIBLE PROVIDED | 3  |

**SITE PLAN FOR S.U.P.**  
**GAS STATION WITH CONVENIENCE STORE**  
**N.W. OF CORNER OF BUS. 287 & TURNER WARNELL**  
**MANSFIELD, TEXAS**  
**LOT 1, BLOCK 2**  
**NEWPORT ADDITION**  
**1.483 ACRES**

Date Prepared: 10-28-2021

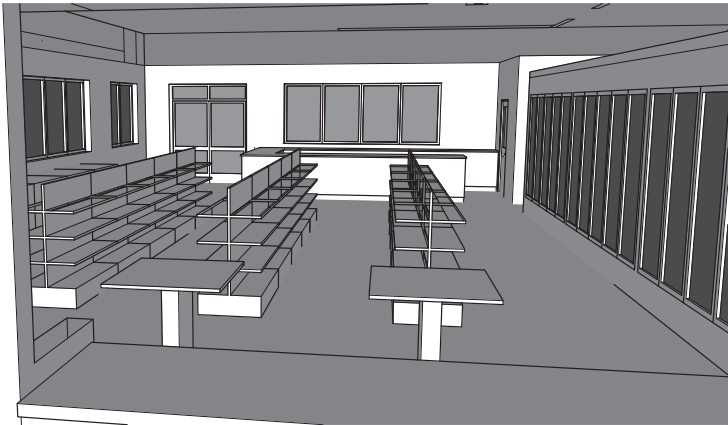
SUP#20-006  
EXHIBIT B





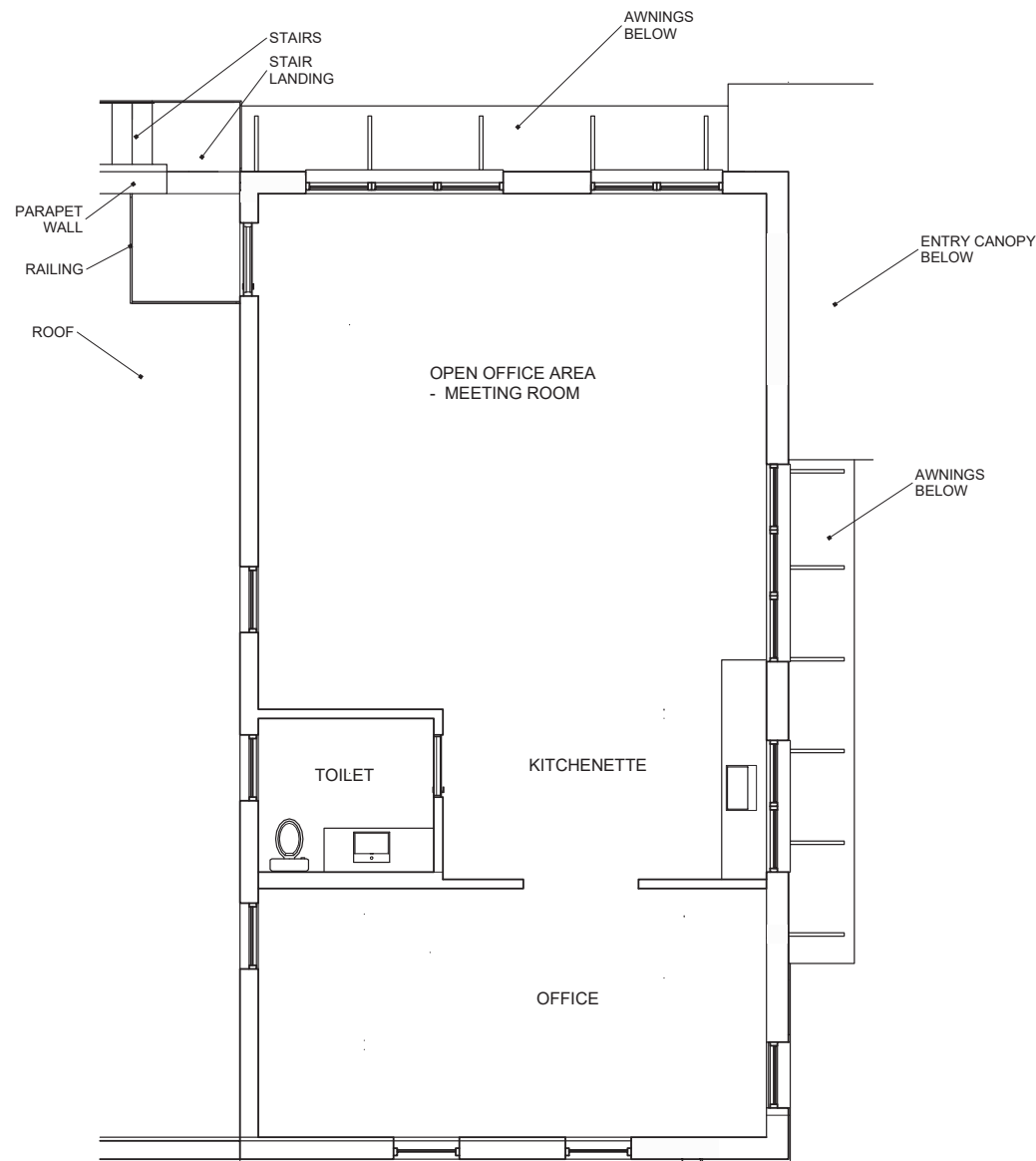
INTERIOR PERSPECTIVE VIEW; FROM CHECK-OUT COUNTER

SCALE: NO SCALE



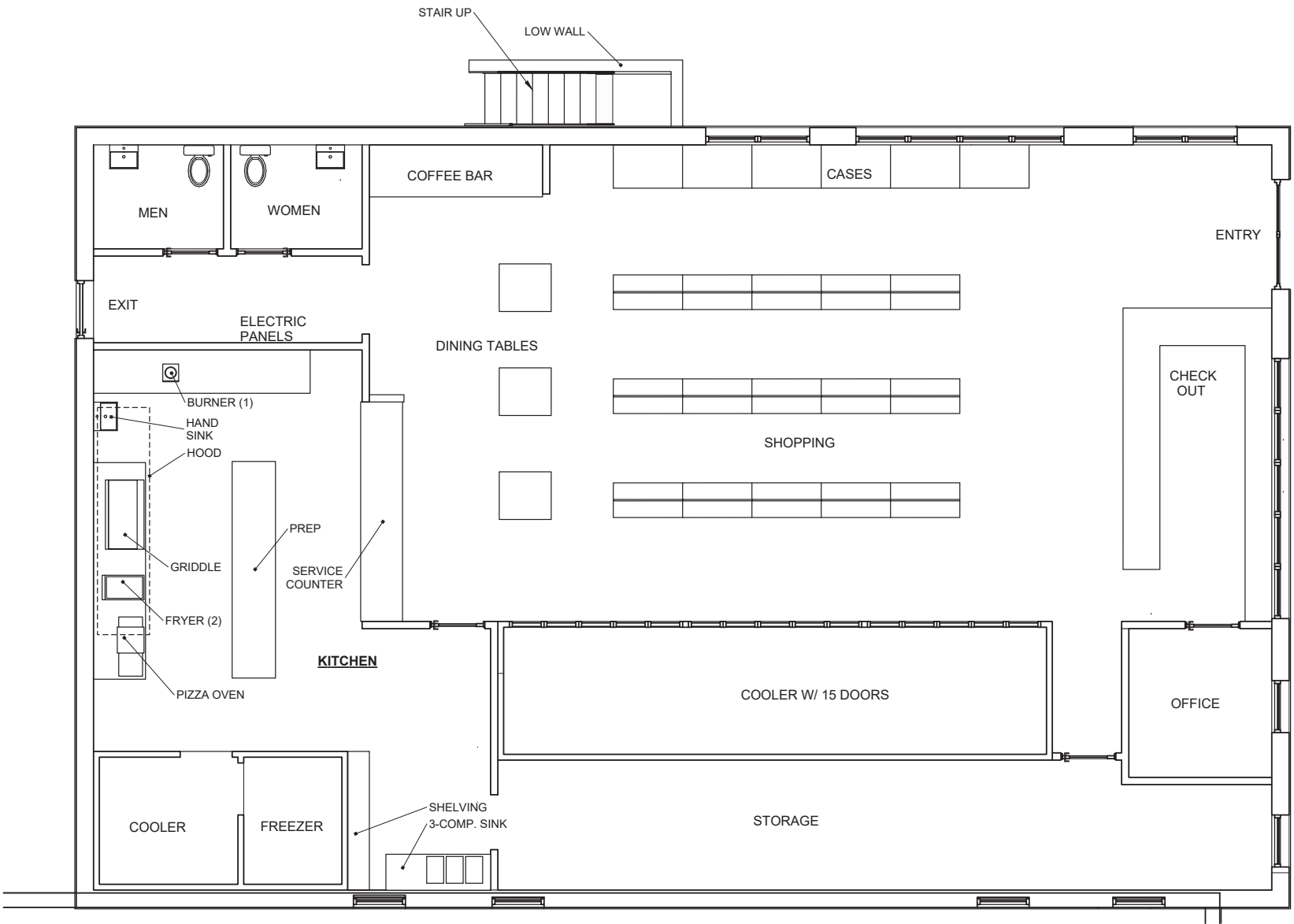
INTERIOR PERSPECTIVE VIEW; FROM KITCHEN COUNTER

SCALE: NO SCALE



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

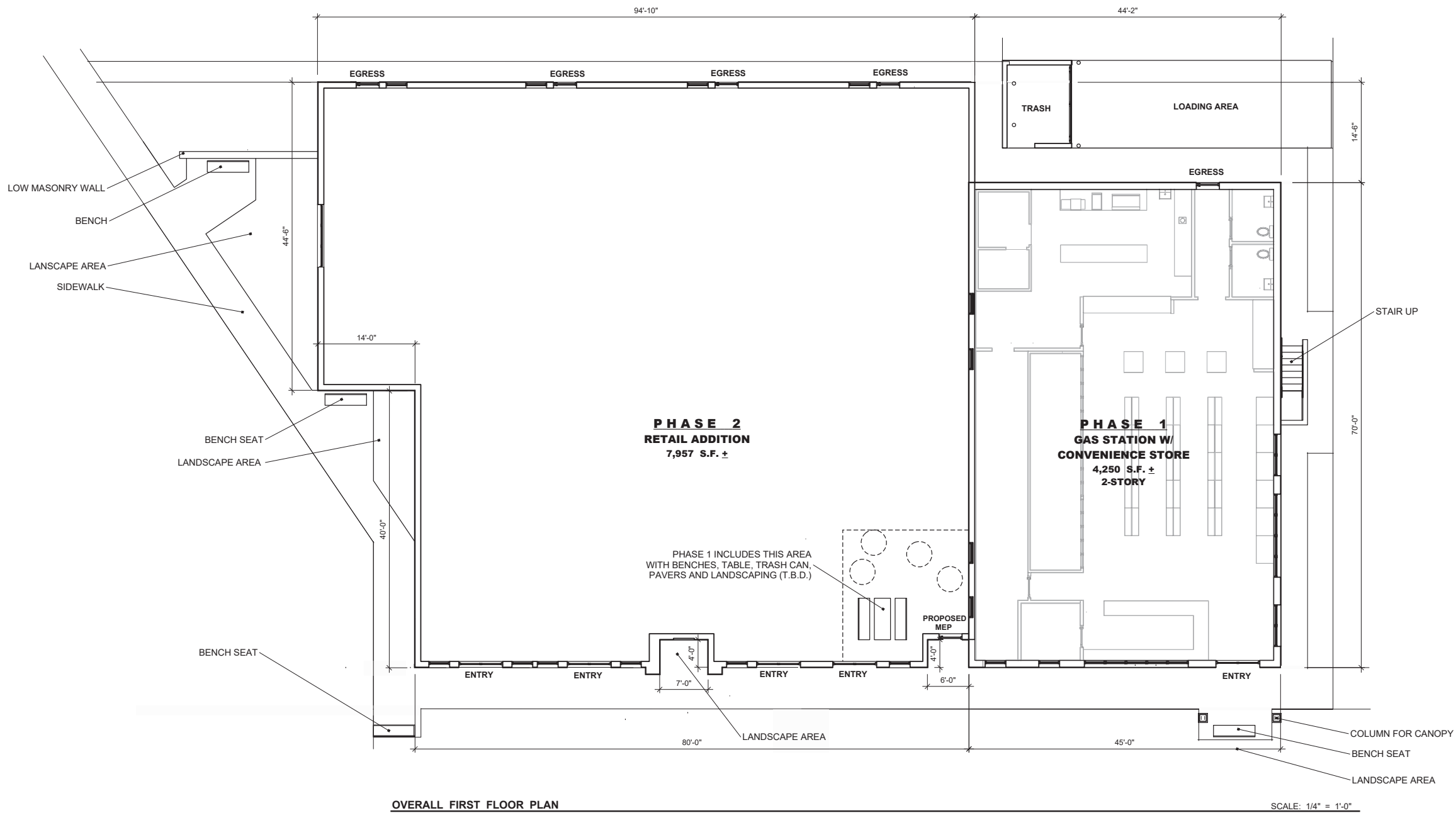
SCALE: 1/4" = 1'-0"







PERSPECTIVE VIEW FROM TURNER WARNELL ROAD

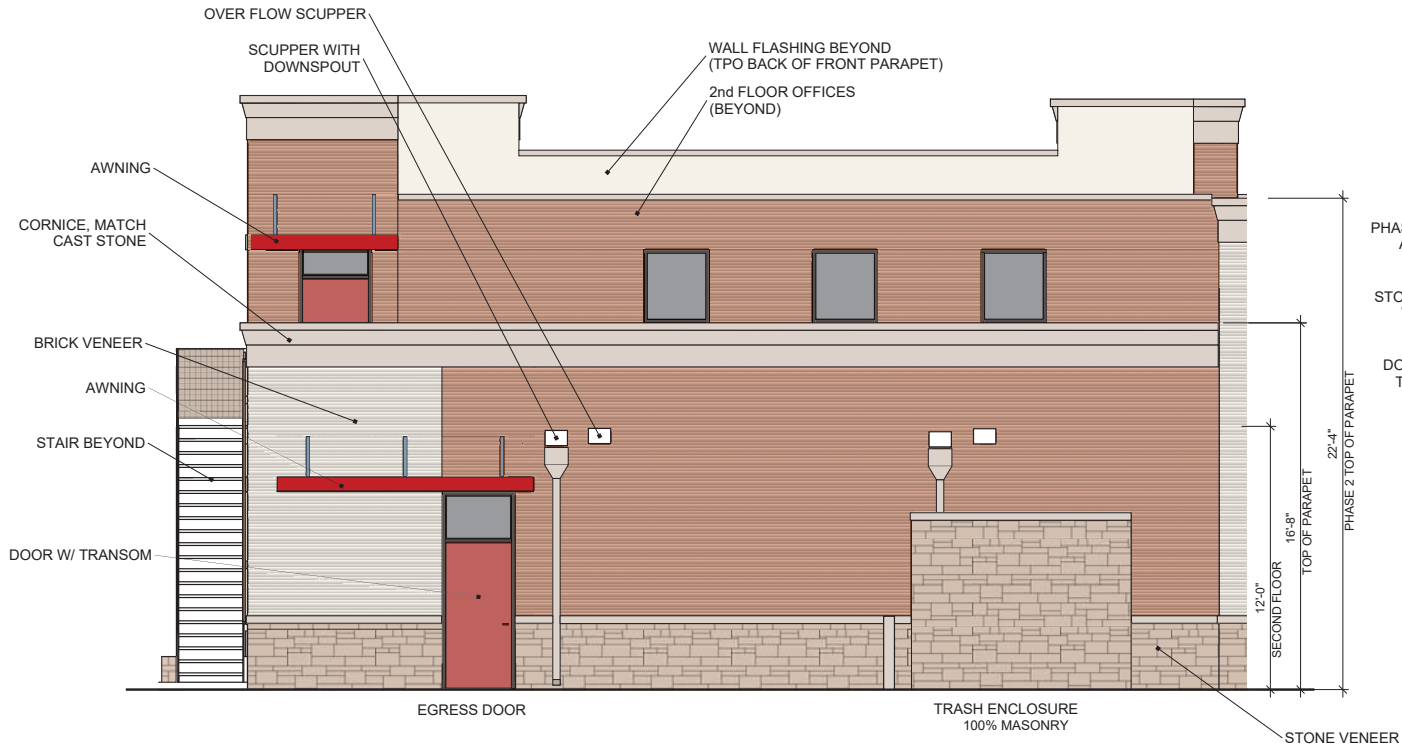


OVERALL FIRST FLOOR PLAN

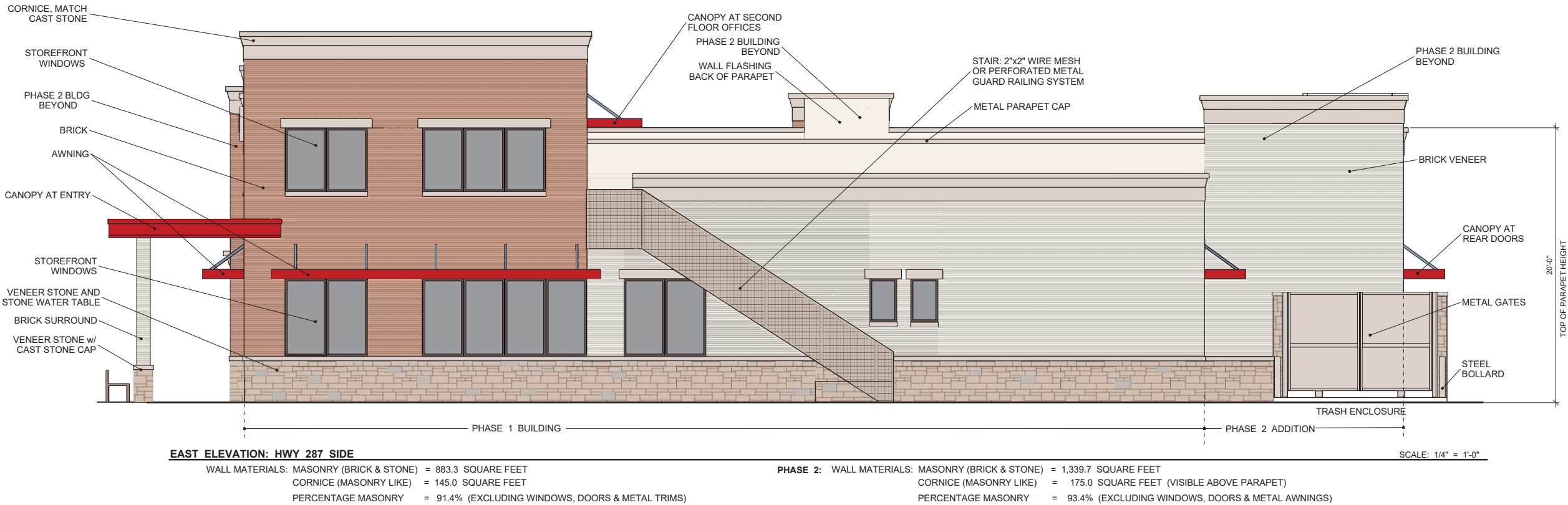


| MASONRY CALCULATIONS                            | MATERIALS              | AREAS PHASE 1            | AREAS PHASE 2: TOTAL BUILDING |
|---|------------------------|--------------------------|-------------------------------|
|   | TOTAL WALL *           | 4,340.4 SQUARE FEET      | 8,763.1 SQUARE FEET           |
|   | BRICK & STONE          | 3,740.4 SQUARE FEET      | 8,102.1 SQUARE FEET           |
|   | CORNICE (MASONRY LIKE) | 600.0 SQUARE FEET        | 760.0 SQUARE FEET             |
|   | PERCENTAGE MASONRY     | 86.2 %                   | 92.2 %                        |
|   | CANOPY METALS **       | 120.1 SQUARE FEET = 2.8% | 227.2 SQUARE FEET = 2.5%      |
| * TOTAL EXTERIOR WALL EXCLUDING WINDOWS & DOORS |                        |                          |                               |
| ** METALS, INCLUDES STAIRS & CANOPY FASCIAS     |                        |                          |                               |

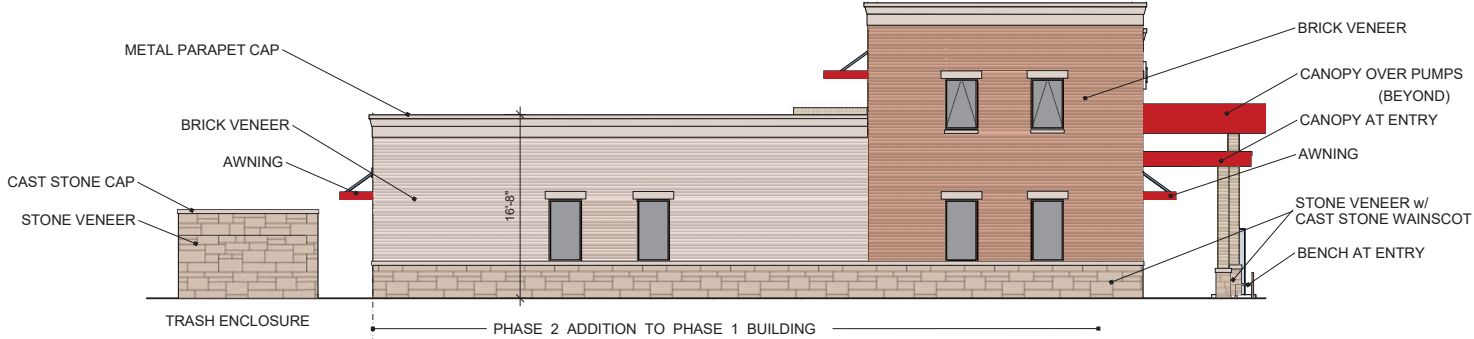
| ARCHITECTURAL ATTRIBUTES & FEATURES         |
|---|
| ALL FOUR SIDES: STONE, WATER TABLE, & BRICK |
| FEATURES INCLUDE:                           |
| 4' DEEP RECESSES                            |
| 2' OR MORE CHANGES IN PARAPET HEIGHT        |
| AWNINGS OVER WINDOWS AND DOORS              |
| CAST STONE SILLS AND COMPOUND CORNICE       |
| HORIZONTALLY REPEATING ELEMENTS             |
| COVERED SEATING AREA AT ENTRY               |
| BENCHES AT FOUR CORNERS                     |



**NORTH ELEVATION: REAR**  
WALL MATERIALS: MASONRY (BRICK & STONE) = 827.2 SQUARE FEET  
CORNICE (MASONRY LIKE) = 104.0 SQUARE FEET (VISIBLE ABOVE PARAPET)  
PERCENTAGE MASONRY = 96.5% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION: HWY 287 SIDE**  
WALL MATERIALS: MASONRY (BRICK & STONE) = 883.3 SQUARE FEET  
CORNICE (MASONRY LIKE) = 145.0 SQUARE FEET  
PERCENTAGE MASONRY = 91.4% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)  
**PHASE 2:** WALL MATERIALS: MASONRY (BRICK & STONE) = 1,339.7 SQUARE FEET  
CORNICE (MASONRY LIKE) = 175.0 SQUARE FEET (VISIBLE ABOVE PARAPET)  
PERCENTAGE MASONRY = 93.4% (EXCLUDING WINDOWS, DOORS & METAL AWNINGS)  
SCALE: 1/4" = 1'-0"



**WEST SIDE ELEVATION: PHASE 1**  
WALL MATERIALS: BRICK, STONE & CORNICE = 1,324.9 SQUARE FEET  
PERCENTAGE MASONRY = 100% (INCLUDING MASONRY LIKE)  
SCALE: 1/8" = 1'-0"



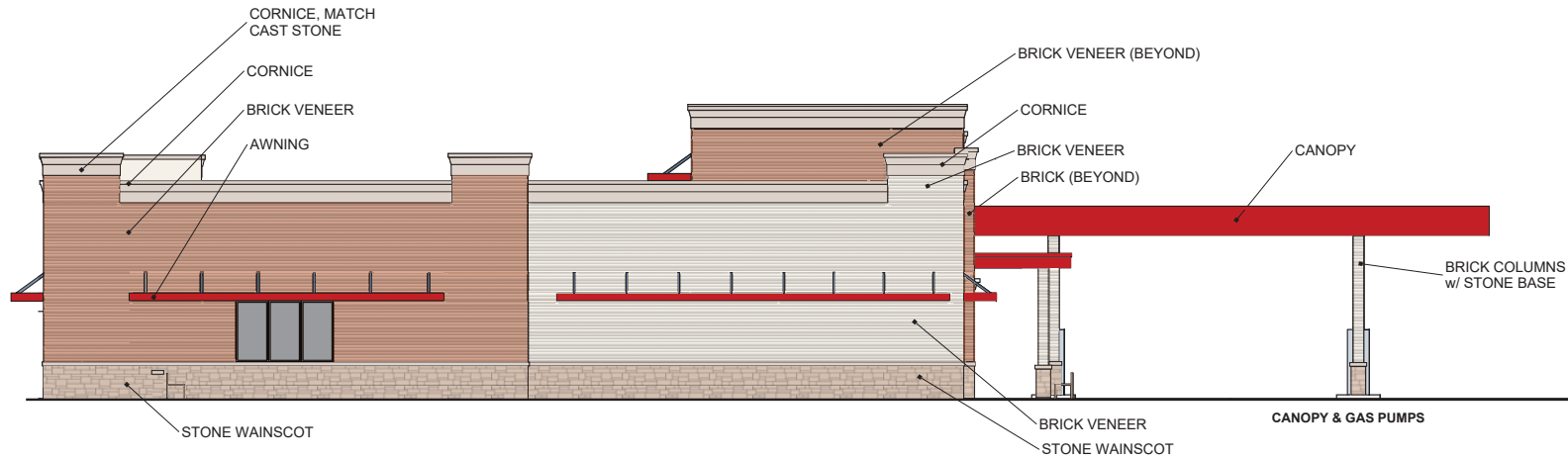
**SOUTH FRONT ELEVATION: TURNER WARNELL SIDE**  
WALL MATERIALS: MASONRY (BRICK & STONE) = 802.5 SQUARE FEET  
CORNICE (MASONRY LIKE) = 90.0 SQUARE FEET  
PERCENTAGE MASONRY = 96.8% (EXCLUDING WINDOWS, DOORS & AWNINGS)  
SCALE: 1/4" = 1'-0"

KNIGHT GROUP ARCHITECTS  
JULY 6, 2020  
REV: MARCH 31, 2021  
JACKSONVILLE, FL 32201  
817.781.2325 \* 212 VERNIA TRAIL N \* FORT WORTH, TX

DESIGN DEVELOPMENT PLANS  
NOT FOR PERMITTING OR CONSTRUCTION

COLOR ELEVATIONS  
PHASE 1 BUILDING

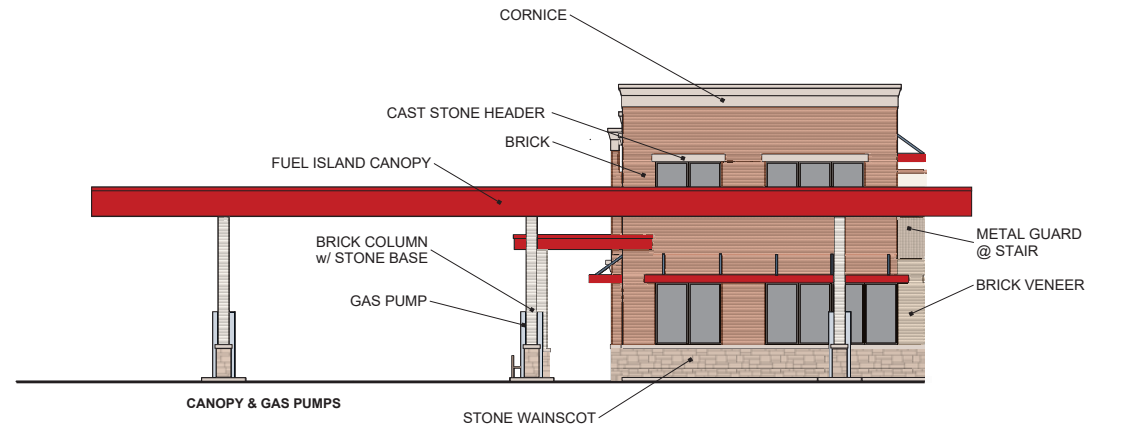




WEST ELEVATION: ELEVATION (GERTIE BARRETT ROAD SIDE)

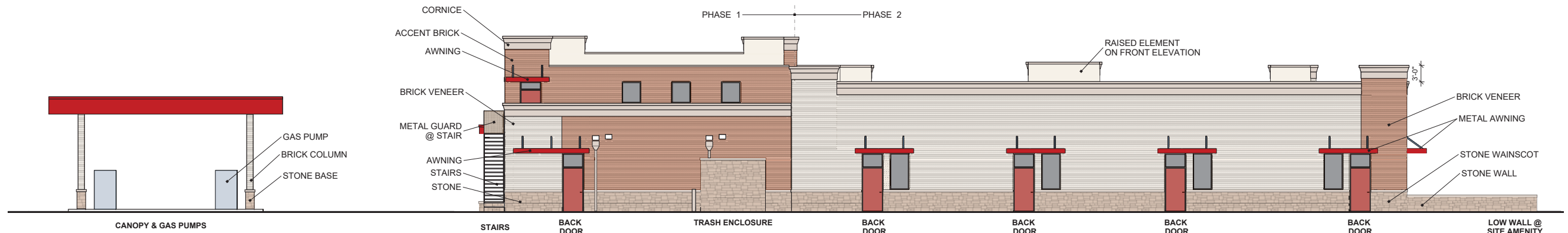
SCALE: 1/8" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 1,504.4 SQUARE FEET  
STUCCO (MASONRY LIKE) = 170.0 SQUARE FEET (VISIBLE OVER PARAPET)  
PERCENTAGE MASONRY = 97.2% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)



EAST ELEVATION: FUEL ISLAND CANOPY FROM Hwy 287

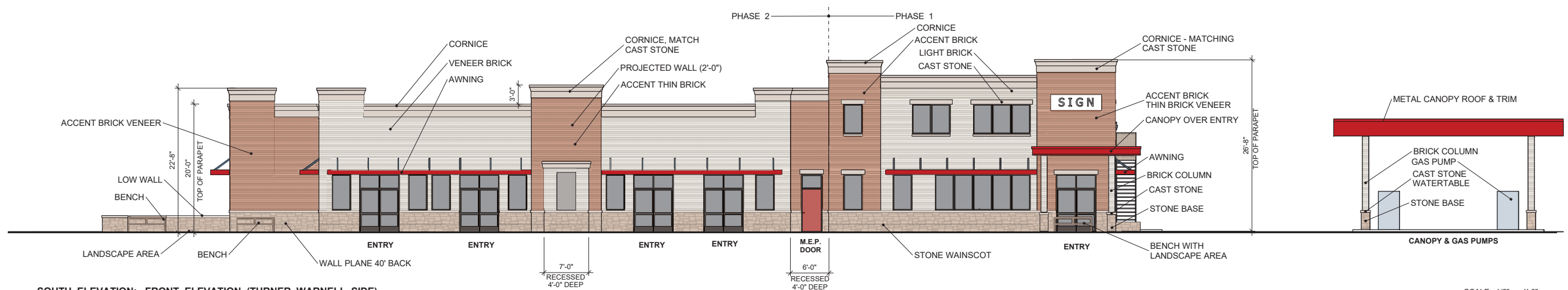
SCALE: 1/8" = 1'-0"



NORTH ELEVATION: REAR ELEVATION

SCALE: 1/8" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 2,387.2 SQUARE FEET  
CORNICE (MASONRY LIKE) = 294.0 SQUARE FEET  
PERCENTAGE MASONRY = 97.7% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)



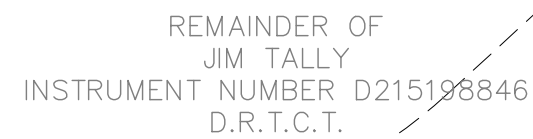
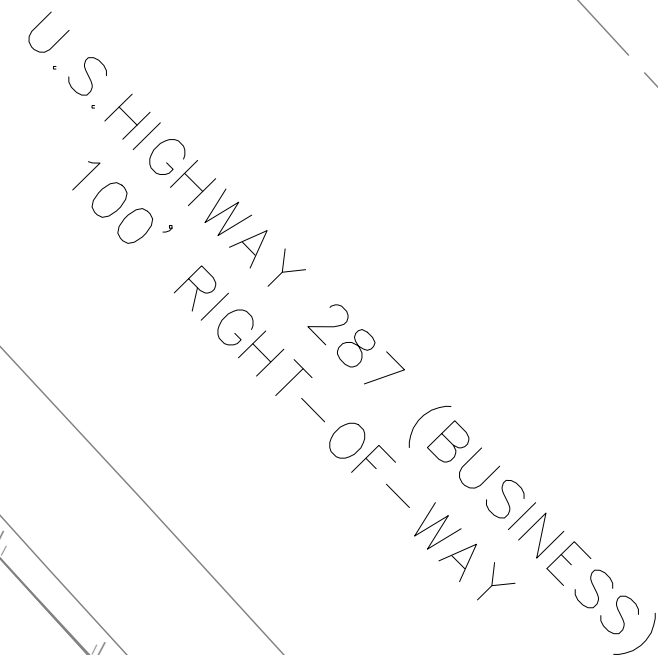
SOUTH ELEVATION: FRONT ELEVATION (TURNER WARNELL SIDE)

SCALE: 1/8" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 1,428.6 SQUARE FEET  
CORNICE (MASONRY LIKE) = 288.0 SQUARE FEET  
PERCENTAGE MASONRY = 97.4% (EXCLUDING WINDOWS, DOORS, AWNINGS & METAL TRIMS)



NOBLE BUSINESS, INC.,  
D/B/A J'S FOOD & NEW  
STORE #1  
VOLUME 13612, PAGE 162  
D.R.T.C.T.



| SUMMARY CHART - INTERIOR LANDSCAPE |       |                              |                                    |                        |
|------------------------------------|-------|------------------------------|------------------------------------|------------------------|
| PARCEL                             |       | LOT AREA<br>(IN SQUARE FEET) | LANDSCAPE AREA<br>(IN SQUARE FEET) | % OF LANDSCAPE<br>AREA |
| LOT 1                              | REQ'D | 64,807                       | 6,461                              | 10%                    |
|                                    | PROVD |                              | 24,188                             | 37.44%                 |

GAS STATION WITH CONVENIENCE  
STORE  
N.W. OF CORNER OF BUS. 287 &  
TURNER WARNELL  
MANSFIELD, TEXAS  
LOT 1, BLOCK 2  
NEWPORT ADDITION  
1.483 ACRES

Date Prepared: 06-29-2021



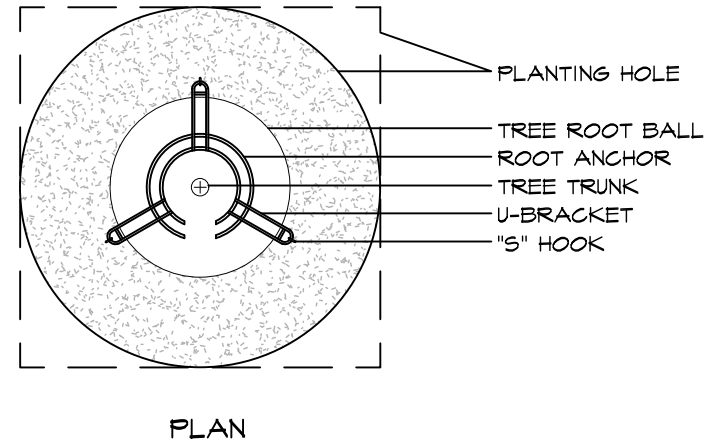
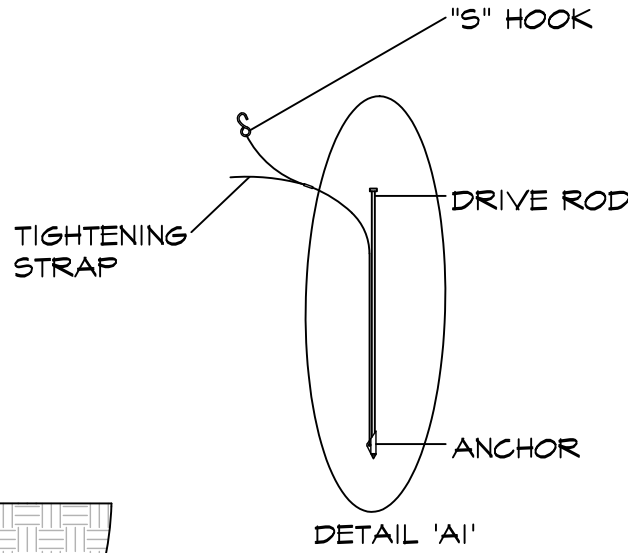
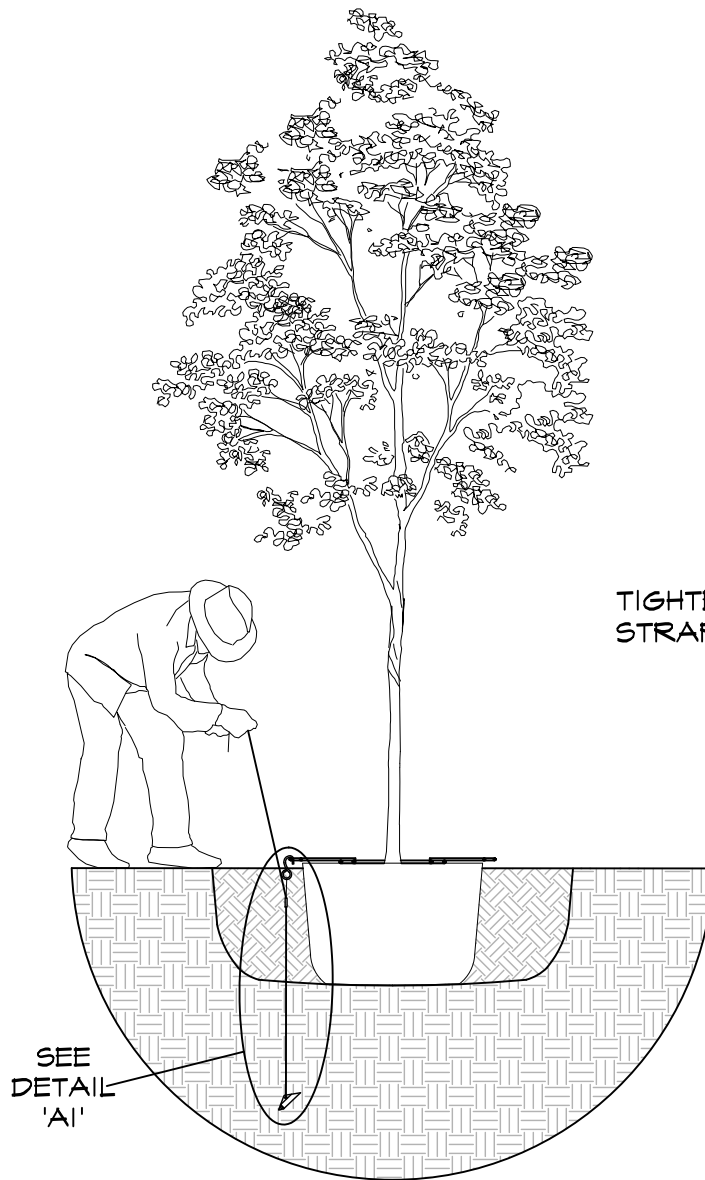
CONTACT: CODY R. BROOKS, P.E.



GENERAL NOTES :

1. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
2. Contractor shall advise the Owner and Landscape Architect of any condition found on site which prohibits installation as shown on these plans.
3. If a discrepancy between drawings and plant schedule is found, the drawings shall take precedent over the plant schedule.
4. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock.'
5. Contractor shall stake out tree locations and bed configuration for approval by Owner prior to installation.
6. Substitutions shall not be made without prior written authorization from the Owner or Landscape Architect.
7. All disturbed areas not indicated as planting beds shall be sodded or seeded by Contractor to provide an established turf area.
8. Contractor shall remove reasonable amount of stones, dead roots, detritus and other undesirable material from existing soil.
9. If rocks are encountered, remove to a depth of 3" and add 3" of friable fertile topsoil to all sodded areas. Contractor to ensure that site is graded according to the Engineer's grading plan.
10. Lawn areas shall have 3" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
11. Soil preparation for planting beds shall be as follows:
  - 3A of organic compost
  - 20 pounds of organic fertilizer / 1,000 sf of bed area
  - Till bed to a depth of 6A to 8A
  - Check soil acidity. Soil acidity should range from 5.0 to 7.0 pH. Regulate if necessary.
12. All plant beds shall be top dressed with a minimum 3" of Native Hardwood Mulch.
13. Tree planting pits shall be cleared of undesirable material and backfilled with prepared top soil. Place 1" of compost and 3" of shredded hardwood mulch on top of root ball.
14. The Contractor will be held liable for any damage caused to trees due to improper staking methods, including absence of staking throughout the warranty period.
15. Trees shall be planted at least 2.5 feet from any right-of-way line, curb, walk or fire hydrant, and outside all utility easements.
16. Trees shall be planted at least 8 feet from any public utility line where possible. In the event this is not possible, Contractor shall install a root barrier, per the detail(s) noted on this sheet.
17. Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
18. Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. All plant material shall be maintained in a healthy condition in accordance with the season. Dead, damaged or destroyed plant material shall be replaced in kind within thirty days. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
19. Landscape areas shall be kept free of trash, litter and weeds.
20. An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets is prohibited.
22. Installing contractor to maintain landscaping for 30 days from owner occupancy to establish plants and grass, mowing and trimming to be included.
23. All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved with a minimum of 70% coverage. This is to include all areas to the back of curb around the property.
24. Any hardwood mulched beds on site shall have permeable weed mat installed prior to plant material and mulch being installed.
25. All bedding areas with ground cover (Asian Jasmine, Wintercreeper, etc.) shall be top dressed with hardwood mulch until ground cover has covered area completely.
26. Any switch gear devices, electrical transformers, telephone pedestals, and hvac units located on the property are to be screened. If these devices have been altered from the most recent plans, the contractor is to verify placement of these utilities and contact Landscape Architect for plant material specifications and placement.
27. Landscape contractor shall not place topsoil or mulch above brick ledge of the building and shall not block weep holes on the building.
28. If the grades on site at the time the landscape contractor is set to begin work does not allow the brick ledge and weep holes to remain uncovered, it is the landscape contractor's responsibility to notify the owner or general contractor immediately.

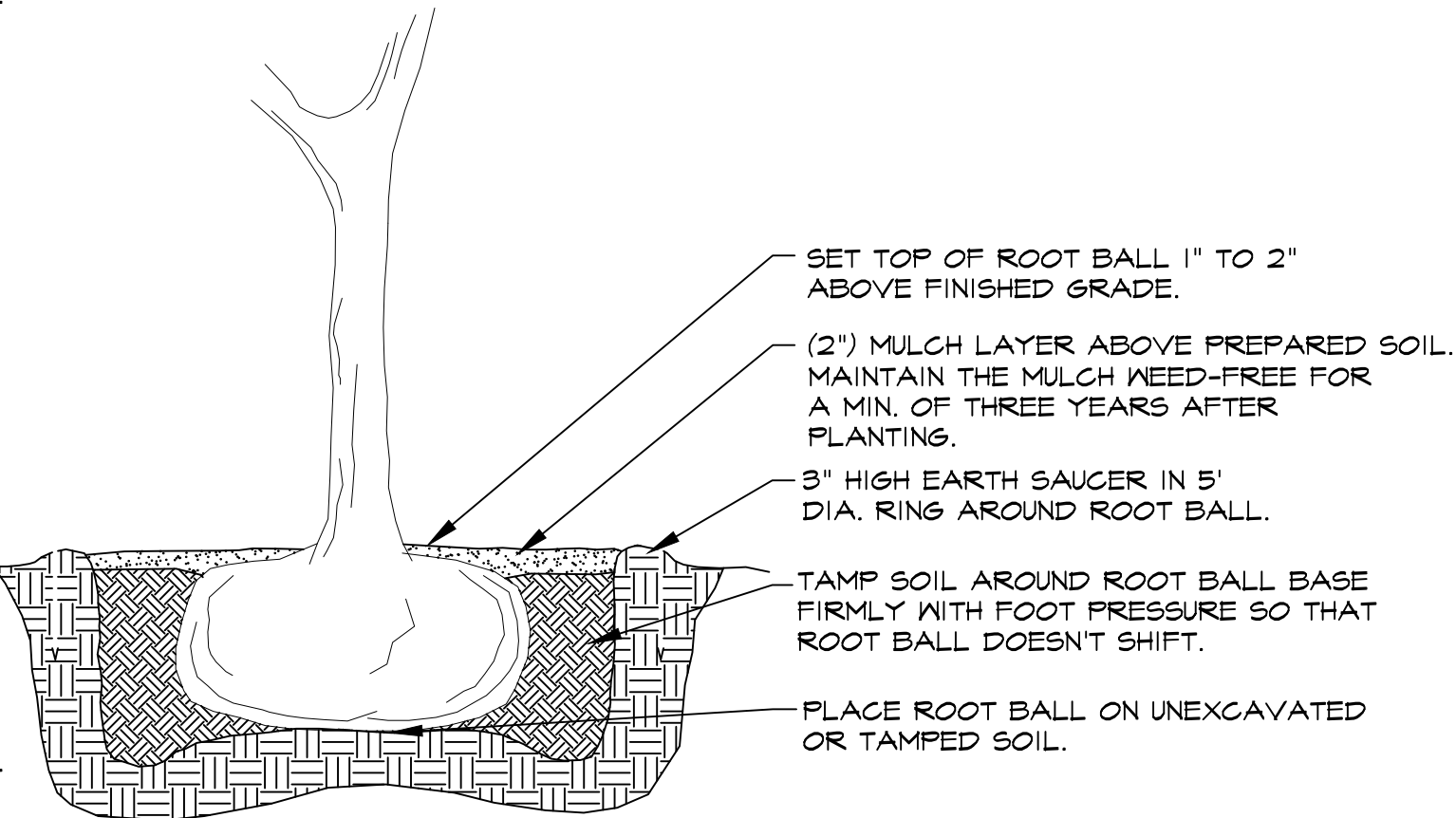
| ROOT ANCHOR ITEM# | ROOT BALL & CONTAINER SIZE         | ANCHOR INSTALLATION DEPTH | QUANTITY & ANCHOR SIZE |
|-------------------|------------------------------------|---------------------------|------------------------|
| 15-B6             | 10 / 15 Gallon or 17" root ball    | 12 - 18" Minimum Depth    | 3 - V68 Anchors        |
| 30-B6             | 20 / 34 Gallon or 22" root ball    | 18 - 24" Minimum Depth    | 3 - V68 Anchors        |
| 45/65-B6          | 45 / 65 Gallon or 27-30" root ball | 24 - 30" Minimum Depth    | 3 - V68 Anchors        |
| 100-B6            | 95 / 100 Gallon or 36" root ball   | 30 - 36" Minimum Depth    | 3 - V68 Anchors        |
| 150-B6            | 150 Gallon or 42" root ball        | 48" Minimum Depth         | 3 - V68 Anchors        |
| 200-B6            | 200 Gallon or 48" root ball        | 48" Minimum Depth         | 3 - V88 Anchors        |
| 300-B6            | 300 Gallon or 58" root ball        | 48" Minimum Depth         | 3 - V88 Anchors        |
| CUSTOM-B6         | Root Balls larger than 60"         | TBD                       |                        |



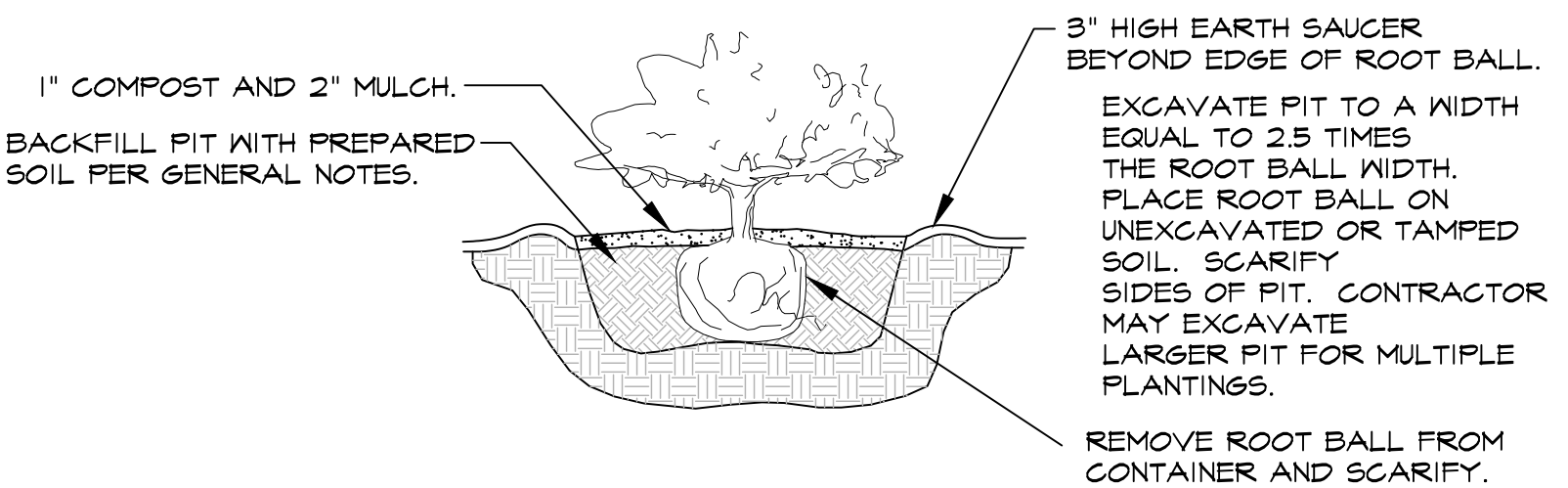
- STEP 1:
- Set tree in planting pit.
  - Place anchor with ring side down against top of root ball.
  - Center root anchor's inner ring(s) around trunk of tree.
  - Align drive rod as close as possible to outside edge of u-bracket.
- STEP 2:
- Drive anchor straight down into undisturbed subbase soil.
  - See chart for recommended depths per tree size.
- STEP 3:
- Remove drive rod.
  - Repeat steps 1 & 2 for all three (3) anchor locations.
  - Pull back on strap approximately 3" for the v-68 anchor, or 6" to 7" for the v-88 anchor to set anchor into a horizontal or locked position. A fulcrum may be required to assist in setting the anchor.
  - Place "5" hook over the end of the u-bracket.
  - Pull strap up vertically until root anchor rings bite into the top of the root ball and u-brackets are setting flush on top of the root ball.
  - Tie excess strap off to the u-bracket allowing enough remaining strap to adjust tree, if necessary.

A TREE STAKING DETAIL (TREE STAKE SOLUTIONS) NOT TO SCALE

- NOTES:
1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
  2. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
  3. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.
  4. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.



B TREE PLANTING DETAIL NOT TO SCALE



C SHRUB PLANTING DETAIL NOT TO SCALE

LANDSCAPE PLAN

GAS STATION WITH CONVENIENCE  
STORE  
N.W. OF CORNER OF BUS. 287 &  
TURNER WARNELL  
MANSFIELD, TEXAS  
LOT 1, BLOCK 2  
NEWPORT ADDITION  
1.483 ACRES



11/28/2021

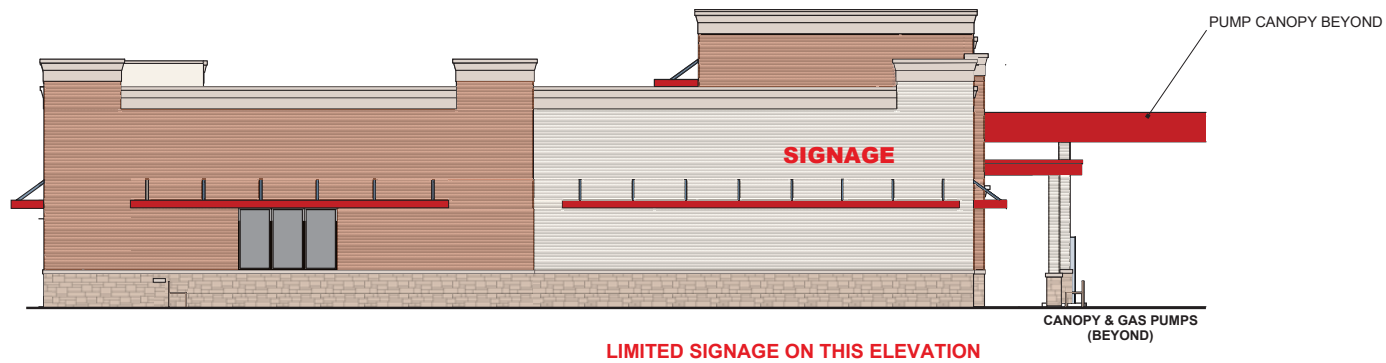
SUP#20-006  
EXHIBIT-D



240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)

CONTACT: CODY R. BROOKS, P.E.

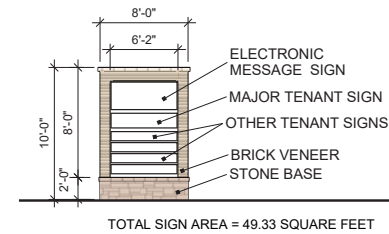




LIMITED SIGNAGE ON THIS ELEVATION

WEST ELEVATION: ELEVATION (GERTIE BARRETT ROAD SIDE)

SCALE: 1/8" = 1'-0"



TOTAL SIGN AREA = 49.33 SQUARE FEET

ELEVATION: MONUMENT SIGN

SCALE: 1/8" = 1'-0"

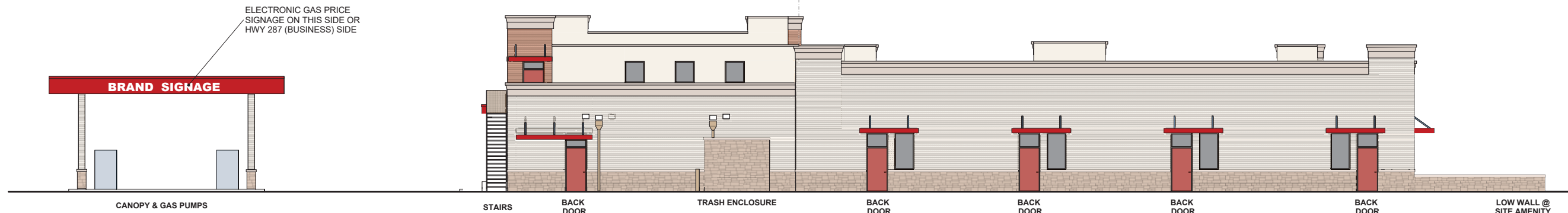
MONUMENT SIGN FACES HWY 287



WALL SIGN BY TENANT

ELEVATION: FROM Hwy 287

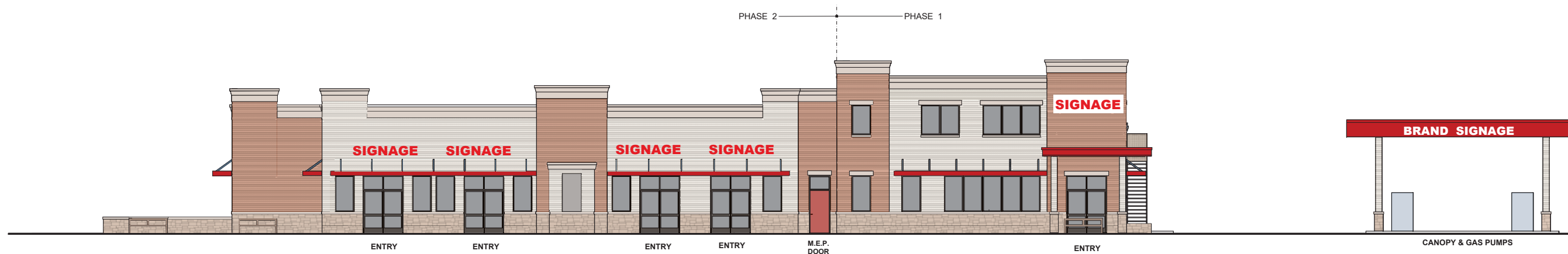
SCALE: 1/8" = 1'-0"



NO SIGNAGE ON THIS ELEVATION - EXCEPT ADDRESSES & STORE NAMES ON BACK DOORS

NORTH ELEVATION: REAR ELEVATION

SCALE: 1/8" = 1'-0"



WALL SIGNS BY TENANTS

SOUTH ELEVATION: FRONT ELEVATION (TURNER WARNELL SIDE)

SCALE: 1/8" = 1'-0"





Andrew Bogda <andrew.bogda@mansfieldtexas.gov>

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## SUP # 20-006

---

**Craig Summers** <cxs1226@gmail.com>

Fri, Sep 3, 2021 at 3:19 PM

To: andrew.bogda@mansfieldtexas.gov

Andrew,  
Thank you for speaking with me regarding SUP # 20-006.

As discussed, I own the Dollar General property just next door located at 2851 N Main St. in Mansfield, TX

My Dollar General property was built with upgraded construction to represent a flagship store, so as to enhance this growing and prosperous area. This business satisfies a real special need in the area.

I disapprove of this Special Use Permit #20-006, as this designated property has better uses for this area than a gas station, such as boutique retail which will add to the community services and Main St. ambiance.

I understand your division has recommended disapproval to the City for this Special Use Permit # 20-006, which I firmly support disapproval as well.

Please let me know one way or the other the City's decision on accepting your disapproval recommendation.

I live in Bozeman, MT, so unable to attend any Public Hearing on this matter. I am available for video appearance for both the Sept. 7th and 27th Public Hearing meetings, if helpful. Please let me know I can offer any further input to oppose this Permit.

Thank you,  
Craig Summers  
171 Bushnell Rd  
Bozeman, MT 59718  
(406) 595-4410





Andrew Bogda &lt;andrew.bogda@mansfieldtexas.gov&gt;

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**SUP # 20-006**

---

**Craig Summers** <cxs1226@gmail.com>

Sun, Oct 24, 2021 at 6:56 PM

To: Andrew Bogda &lt;andrew.bogda@mansfieldtexas.gov&gt;

Andrew,

This matter is being reviewed on the outside on my behalf. However, to begin with I firmly oppose the Special Permit Use submitted for this property due to the listed following reasons, although there are more objections.

- \* Objection to the specified use and intent for this type of business per se, for this certain area
- \* Objection to any intent to have this property function 24/7 hours
- \* Objection to the environmental concerns with buried fuel storage tanks. I want to see the Environmental Impact Statement and the City assuming co-liability for any environmental impact pollution or issues.
- \* Objection to the significantly added traffic with this type of business to the area, not supported by the current City street and neighborhood development. If the City feels otherwise, please submit documentation to support your position

If the Planning Department or City Counsel do not agree with any one of the above Objections, please state so in writing back to me.....to be reviewed by outside 3rd party.

Please send complete copy of the Special Use Permit in PDF format.

I respectfully request the Planning Department and City Council to reject this Special Use Permit all together....which is fraught with many legal issues.

Thank you,  
Craig Summers  
Owner Dollar General  
2851 N. Main St  
Mansfield, TX

On Oct 19, 2021, at 1:09 PM, Andrew Bogda <[andrew.bogda@mansfieldtexas.gov](mailto:andrew.bogda@mansfieldtexas.gov)> wrote:

[Quoted text hidden]



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--- CONFIDENTIALITY NOTICE ---





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4381

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** Public Hearing

**In Control:** City Council

**File Type:** Ordinance

**Agenda Number:**

**Title**

Ordinance - Public Hearing and First Reading on an Ordinance Approving a Historic Landmark Overlay District Classification for the 1894 Post Office Building at 130 N. Main Street; Jeff Delavega Investments LLC, owner

**Requested Action**

To consider the proposed Historic Landmark Overlay District classification.

**Recommendation**

The Historic Landmark Commission held a public hearing on October 14, 2021, and voted 4 to 0 to recommend approval.

The Planning and Zoning Commission held a public hearing on November 1, 2021 and voted 5 to 0 to recommend approval.

Staff recommends approval.

**Description/History**

Existing Use: Bicycle shop

Existing Zoning: D, Downtown District, D3 Zone

*Surrounding Land Use & Zoning:*

North - Office, D

South - Office/retail, D

East - Auto repair/city parking lot, D

West - Office/retail, D

**Comments and Considerations**

Jeff Delavega, owner of the 2-story Old Post Office Building (c. 1894) at 130 N. Main Street, is requesting a Historic Landmark Overlay District classification. The property is currently zoned D, Downtown District and is occupied by the Hilltop Bicycle Center.

Mr. Delavega plans to remove the slipcovers from the second floor of the building on the front and south side facades if possible. A portion of the slipcover on the north façade has been painted with a mural that the owner is obligated to maintain. The building anchors the northern edge of a potential Main Street Historical District and possesses historical significance for its use as a post office.



## **Historic Background**

According to the *Tarrant County Historic Resources Survey, 1983*, this two-story brick building was constructed by Dr. J.N. Thomas to house Mansfield's second post office on the ground floor and Dr. Thomas's office on the second floor. Dr. Thomas and his son, Dr. Raymond Thomas, moved their office to the back of the drugstore in 1929, and the second story hall was purchased by the Woodmen of the World Life Insurance Society, Walnut Creek Lodge No. 273, which was chartered in Mansfield on April 8, 1897. In 1956 the post office moved to a new building on the west side of the street.

## **Designation Criteria**

The Historic Landmark Overlay District designation should be considered in light of the following:

1. *Character, interest or value as part of the development, heritage or cultural characteristics of the City of Mansfield, State of Texas, or the United States.* The 1894 Post Office served the community of Mansfield for 62 years, nearly half the age of the City.
2. *Relationship to other distinctive buildings, sites or areas which are eligible for preservation based on architectural, historic or cultural motif.* The two-story building anchors the north end of the historic buildings on Block 1 of the Original Town. The two buildings north of the Post Office are non-contributing structures in any potential Historic Downtown District.
3. *Identification with a person or persons who significantly contributed to the culture or development of the City.* The building was constructed by Dr. J.N. Thomas and used by Dr. Thomas and his son, Raymond, two prominent physicians in Mansfield. It also served as the meeting place for the Woodmen of the World Society.

## **Prepared By**

Art Wright, Planner II/HPO  
817-276-4226



**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO GRANT A HISTORIC LANDMARK OVERLAY DISTRICT CLASSIFICATION FOR THE 1894 POST OFFICE BUILDING LOCATED AT 130 N. MAIN STREET; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS**, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended.

**NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:**

**SECTION 1.**

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described buildings a Historic Landmark Overlay District Classification, said buildings being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

**SECTION 2.**

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

**SECTION 3.**

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

**SECTION 4.**

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be



invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

#### **SECTION 5.**

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

#### **SECTION 6.**

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

**FIRST READING APPROVED ON THE 8<sup>TH</sup> DAY OF NOVEMBER, 2021.**

**DULY PASSED ON THE SECOND AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.**

\_\_\_\_\_  
**Michael Evans, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Susana Marin, City Secretary**

**APPROVED AS TO FORM AND LEGALITY:**

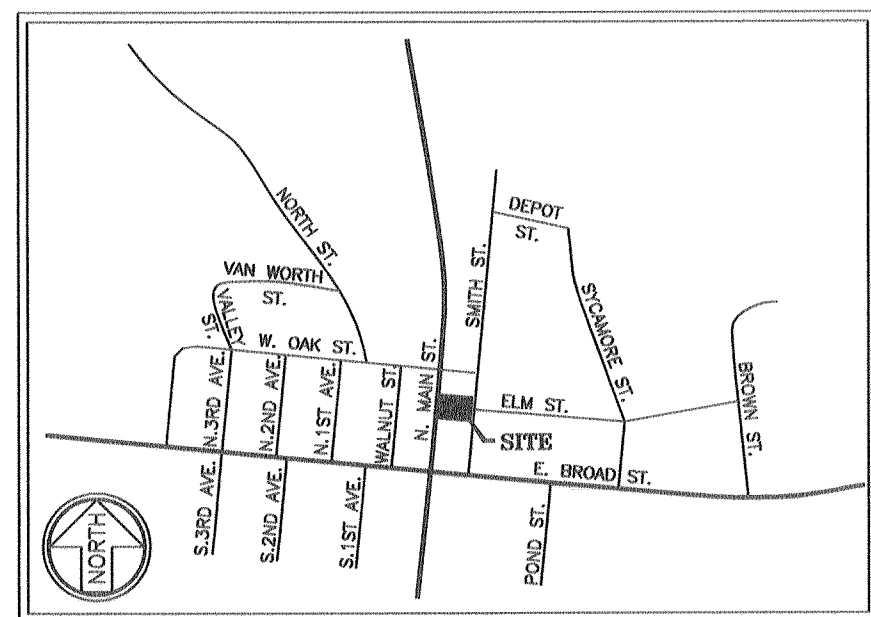
\_\_\_\_\_  
**Allen Taylor, City Attorney**



## **EXHIBIT A**

Being all of Lot 2R2, Block 1, Original Town of Mansfield, according to the plat filed in Instrument No. D219192162, Plat Records, Tarrant County, Texas, a copy of which is attached hereto.



VICINITY MAP  
NOT TO SCALE

## \* NOTES \*

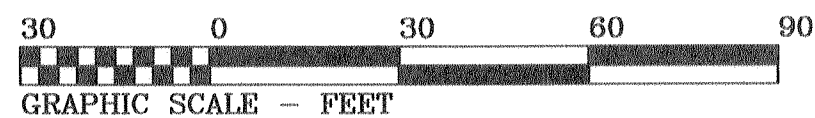
1. NOTICE: SELLING A PORTION OF ANY LOT IN THE ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.

2. BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL TEXAS ZONE DERIVED FROM CITY OF MANSFIELD MONUMENTS BC-2 & BC-6.

3. NO PORTION OF THIS PROPERTY LIES WITHIN A 100-YEAR FLOOD BOUNDARY LINE ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, COMMUNITY PANEL No. 48439C0460 K, MAP REVISED SEPTEMBER 25, 2009.

4. THIS PLAT DOES NOT ALTER OR REMOVE EXISTING COVENANTS OR RESTRICTIONS, IF ANY, ON THIS PROPERTY.

5. PROPERTY CORNERS ARE AS SHOWN HEREON.

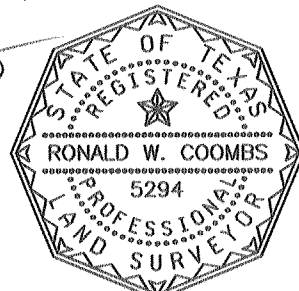


SCALE: 1" = 30'

## SURVEYOR'S CERTIFICATE

THIS is to certify that I, RONALD W. COOMBS, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground and that all lot corners, angle points and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

RONALD W. COOMBS, R.P.L.S.  
Texas Registration No. 5294



THE REASON FOR THIS REPLAT IS TO  
CREATE TWO SEPARATE LOTS

AFTER RECORDING RETURN TO THE CITY OF  
MANSFIELD 1200 E. BROAD STREET, MANSFIELD,  
TEXAS 76063

THIS PLAT RECORDED IN INSTRUMENT # **D219192162**, T.C.T. DATE: **8-27-19**

IPF DENOTES IRON PIPE FOUND  
IRF DENOTES IRON ROD FOUND  
IRS DENOTES IRON ROD SET  
W/ORANGE PLASTIC CAP STAMPED  
"R. W. COOMBS RPLS 5294"  
C.M. DENOTES CONTROLLING MONUMENT

STATE OF TEXAS

COUNTY OF TARRANT

WHEREAS, JIMMY R. McCLENDON and wife, MARY E. McCLENDON and JEFF DELAVEGA INVESTMENTS, LLC are the sole owners of Lot 2R, Block 1, Original Town of Mansfield, an addition to the City of Mansfield, Tarrant County, Texas according to the plat recorded in Clerk's File No. D210202307 of the Official Public Records of Tarrant County, Texas and more particularly described by metes and bounds as follows:

BEGINNING at an "X" cut in concrete found at the Northeast corner of said Lot 2R, being the Southeast corner of Lot 1, Block 1, Original Town of Mansfield, an addition to the City of Mansfield, Tarrant County, Texas according to the plat recorded in Volume 63, Page 53 of the Plat Records of Tarrant County, Texas and lying in the West right-of-way line of Smith Street (a 50-foot wide right-of-way);

THENCE S 04° 44' 45" W, 75.00 feet along the said West right-of-way line of Smith Street to an "X" cut in concrete found at the Southeast corner of said Lot 2R, being the Northeast corner of that certain portion of Lot 3, said Block 1 described in deed to 128 N. Main St., LLC recorded in Clerk's File No. D212058022 of the Official Public Records of Tarrant County, Texas;

THENCE N 85° 15' 15" W, 100.00 feet along the South boundary line of said Lot 2R with the North boundary line of said 128 N. Main Tract to a point in a wall at the Southwest corner of said Lot 2R, lying in the East right-of-way line of North Main Street (a called 101-foot wide right-of-way) and from which an "X" cut in concrete found bears N 85° 15' 15" W, 1.00 feet;

THENCE N 04° 44' 45" E, 75.00 feet along the said East right-of-way line of North Main Street to a P.K. Nail found with a yellow plastic cap stamped "GEODATA" at the Northwest corner of said Lot 2R, being the Southwest corner of aforesaid Lot 1;

THENCE S 85° 15' 15" E, 100.00 feet along the common boundary line between said Lots 1 and 2R to the PLACE OF BEGINNING, containing 0.172 acre (7,500 square feet) of land.

STATE OF TEXAS

COUNTY OF TARRANT

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, JIMMY R. McCLENDON and wife, MARY E. McCLENDON and JEFF DELAVEGA INVESTMENTS, LLC, acting by and through the undersigned, its duly authorized agent, being the sole owners of the above described parcel, do hereby adopt the herein above described property as LOTS 2R1 AND 2R2, BLOCK 1, ORIGINAL TOWN OF MANSFIELD, an addition to the City of Mansfield, Tarrant County, Texas and do dedicate to the public use the streets and easements as shown thereon.

WE hereby set our signatures for the purposes herein expressed this the 7th day of

August, 2019.

JIMMY R. McCLENDON

MARY E. McCLENDON

I hereby set my signature for the purposes herein expressed this the 2 day of

August, 2019.

JEFF DELAVEGA INVESTMENTS, LLC

BY:

Jeff DeLavega  
JEFF DELAVEGA, President

STATE OF TEXAS

COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared JIMMY R. McCLENDON and wife, MARY E. McCLENDON, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 7th day of

August, 2019.

NOTARY PUBLIC

STATE OF TEXAS

STATE OF TEXAS

COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared JEFF DELAVEGA, President of Jeff Delavega Investments, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed in the capacity therein stated and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 2 day of

August, 2019.

NOTARY PUBLIC

STATE OF TEXAS

REPLAT

## LOTS 2R1 & 2R2, BLOCK 1 ORIGINAL TOWN OF MANSFIELD

BEING A REVISION OF LOT 2R, BLOCK 1  
ORIGINAL TOWN OF MANSFIELD ACCORDING TO  
THE PLAT FILED IN CLERK'S FILE No. D210202307  
OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS  
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

2 LOTS 0.172 ACRE

JULY 26, 2019

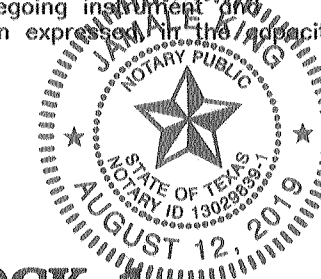
SD# 19-034

|                                   |             |      |                             |
|-----------------------------------|-------------|------|-----------------------------|
| APPROVED BY THE CITY OF MANSFIELD | <u>8/19</u> | 2019 | <u>Jeff DeLavega</u>        |
| APPROVED BY:                      | <u>8/19</u> | 2019 | <u>Jeff DeLavega</u>        |
| ATTEST:                           |             |      |                             |
|                                   |             |      | PLANNING & ZONING SECRETARY |

OWNER LOT 2R1:  
JIMMY AND BETH McCLENDON  
27 FOREST DRIVE  
MANSFIELD, TEXAS 76063  
CONTACT: BETH McCLENDON  
PHONE (817) 228-5089  
email: bethmcclendon@yahoo.com  
CC# D210202307, O.P.R.T.C.T.

OWNER LOT 2R2:  
JEFF DELAVEGA INVESTMENTS, LLC  
130 N. MAIN STREET  
MANSFIELD, TEXAS 76063  
CONTACT: JEFF DELAVEGA  
PHONE (817) 225-6275  
email: hilltopbicycle@gmail.com  
CC# D217291312, O.P.R.T.C.T.

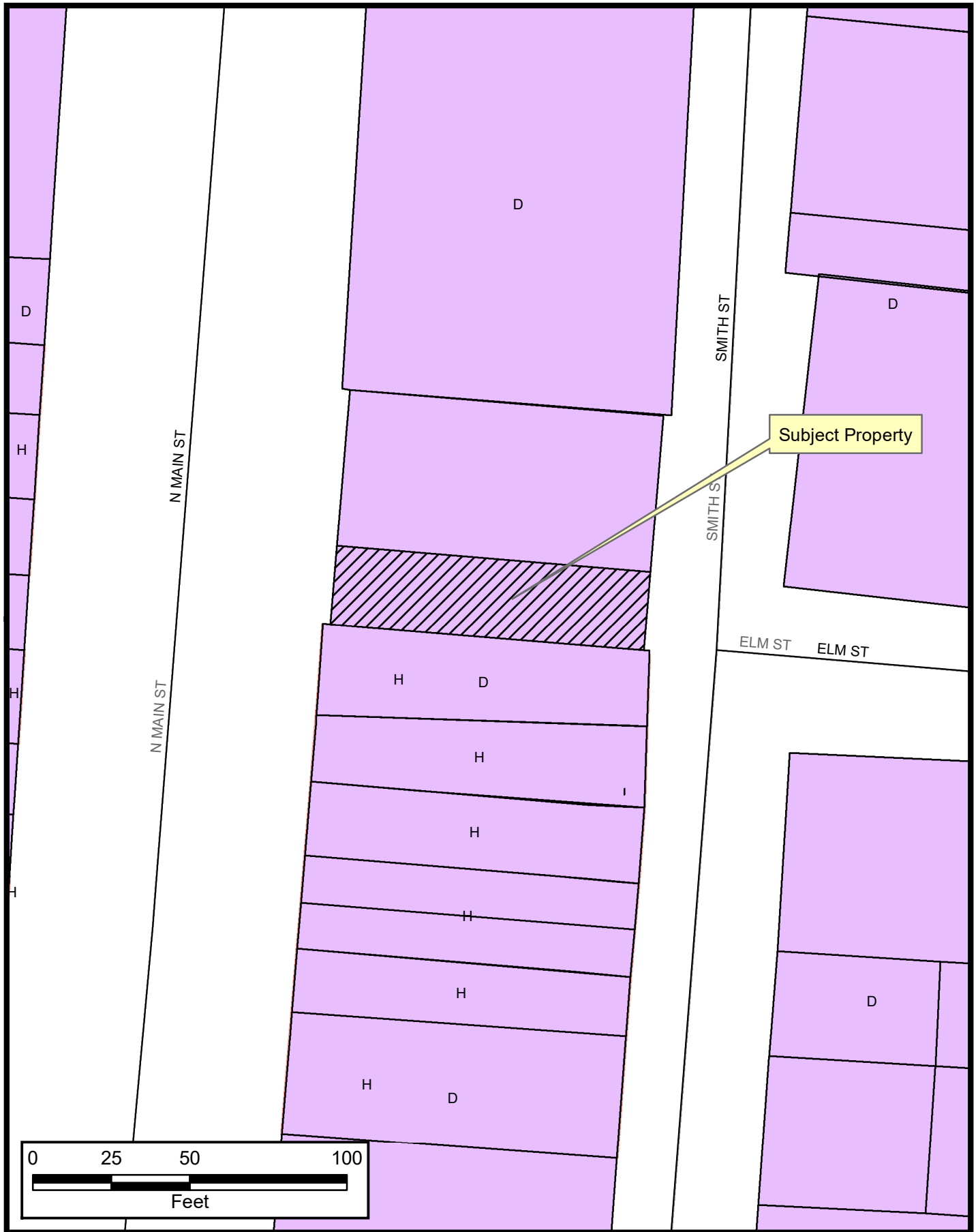
SURVEYOR:  
COOMBS LAND SURVEYING, INC.  
P. O. BOX 6160  
FORT WORTH, TEXAS 76115  
CONTACT: RON COOMBS, R.P.L.S.  
PHONE (817) 920-7600  
email: ron.coombs@sbglobal.net













# Old Post Office, c. 1894

130 N. Main Street

This two-story brick building was constructed by Dr. J.N. Thomas to house Mansfield's second post office on the ground floor and Dr. Thomas' office on the second floor.

Dr. Thomas and his son, Dr. Raymond Thomas moved their office to the back of the Chorn Drugstore in 1929, and the second story hall was purchased by the Woodmen of the World Life Insurance Society, Walnut Creek Lodge No. 273, which was chartered in Mansfield on April 8, 1897.

In 1956 the post office moved to a new building on the west side of the street. Although in poor condition and altered, the structure anchors the northern edge of the potential Main Street Historical District and possesses historical significance for its use as a post office.

This building is an officially recognized historic resource of the City of Mansfield.











# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4383

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** Public Hearing

**In Control:** City Council

**File Type:** Ordinance

**Agenda Number:**

**Title**

Ordinance - Public Hearing and First Reading on an Ordinance Approving on a Zoning Change from PR Pre-Development District to PD, Planned Development District for Light Industrial Use on Approximately 146.48 Acre Tract of Land Situated in the William Styles Survey, Abstract No. 791; JQ Wheeler Survey, Abstract 903; and SM Kemp Survey, Abstract 492 Located in the City of Mansfield, Johnson County., TX, Generally Bounded by S 7th Ave on the East, Jessica Dr. on the East Hank St on the North and the Northern Boundary of M3 Ranch to the South. Blake Wilson, Stonelake Capital Partners (developer) on Behalf of Mansfield ISD, Ira T. Kimbrough and Andree E. Kimbrough Real Estate LLC (owner) (ZC#21-009)

**Requested Action**

To consider the subject zoning change request.

**Recommendation**

The Planning and Zoning Commission held a public hearing on October 18, 2021, and made a motion to deny the zoning change. The motion was defeated by a vote of 3 to 4 (Commissioners Axen, Gilmore, Goodwin and Weydeck voting No).

According to the 2012 Land Use Plan for Sub-area 2, low-intensity residential uses are recommended as the predominant development pattern. Encouraging industrial uses to the west of existing and future S. 7th Avenue would allow incompatible uses to encroach into areas that are either entitled for residential use or would permit residential use as a matter of right.

Staff recommends denial.

**Description/History**

*Existing Use:* vacant

*Existing Zoning:* PR, Pre-Development District

*Surrounding Land Use & Zoning:*

North -Future Southwest Community Park (PR, Pre-Development District)

South - Residential: M3 Ranch (under construction)

East - PD, Planned Development District for I-1, Light-Industrial Uses; Mansfield International Business Park (53 acres under construction, 65 acres vacant, 15 acres drainage)

West - Rural Residential, Extra-Territorial Jurisdiction (ETJ)



***Thoroughfare Plan Specification:***

Easy Drive (north of project) - Minor Collector (three-lane undivided, not constructed)

Jessica Drive (west boundary) - Major Arterial (four-lane divided, currently 2 lanes)

Klein Tools Boulevard (middle) - Major Arterial (four-lane divided, not constructed)

**Comments and Considerations**

The subject vacant property consists of 146.48 acres with existing residential PR, Pre-Development zoning. The applicant is requesting to rezone the property to PD, Planned Development District for Light Industrial Use.

**Development Plan and Standards**

The applicant is proposing the development of an industrial business park consisting of three phases of development. Phase 1 is proposed to utilize 49.92 acres of the site and would consist of 658,686 sf of industrial/warehouse development. Phase 2 is proposed to utilize 30.91 acres of the site and would consist of 472,894 sf of industrial/warehouse development. Phase 3 is proposed to utilize 43.44 acres of the site and would consist of 687,934 sf of industrial/warehouse. All phases combined would consist of 1,819,514 sf of industrial/warehouse. At the time of submittal, the exact light industrial use(s) has not been identified and all buildings are set up for speculative users.

All development regulations will follow area and height regulations for the I-1, Light Industrial District found in Section 155.055. All exterior materials will include masonry-like construction materials such as fiber reinforced cement exterior siding, stucco, exterior insulated finish systems (EIFS) or similar exterior cladding, and concrete tilt wall (pour in place and pre-cast).

Lot Dimension: None

Maximum Floor Area Ratio: 2

Minimum Setback: Abutting: ROW 30, Non-Residential None, Residential 40

Maximum Height: None

All sign standards for I-1, Light Industrial District found in 155.090 will be followed.

Parking is being provided for office and warehouse use. The office use is approximately 4-6% of the overall building square footage. The developer is proposing to provide 1,252 spaces where 904 spaces are required.

**Land Use Compatibility Considerations**

The area proposed for rezoning sits along a western boundary of the existing city limits. To the east of this property is the Mansfield International Business Park, which is a 155-acre development, with 53 acres under construction for end user Amazon. To the north of the property is land owned by the City that is currently under phase one development for the Southwest Community Park (identified in the 2020 Mansfield Parks and Recreation Master Plan, approximately 140 acres).



## **2012 Land Use Plan**

The 2012 Land Use Plan is a summary of recommended goals, policies, and strategies that will enable the City to make the best decisions about the future. The proposed rezoning is not consistent with the Plan. The Plan covers the entire jurisdiction of the municipality and has a time horizon of 10 years, though trends were analyzed through 2030 in the Plan. The property is within the boundaries of Sub-Area 2. Sub-Area 2 in the Land Use Plan describes the future land use of the area in question as recommended for residential land uses, which was also previously identified in the 2002 Land Use Plan. The Plan recommends “mellowing” land uses to single-family as you move west. Specifically, the Plan recommends that “west of the industrial areas, housing should be grouped to help create open space and park land that is nonexistent and to encourage creative solutions to add identity to the area and transition zoning from industrial land uses” (pg. 59).

From a Parks and Open Space perspective, the Plan sets goals to create a park system that will improve the physical form and appearance of the City and provide an adequate distribution of parks and recreation facilities throughout Mansfield (pg. 44).

From a land use perspective, although there is nearby zoned industrial property, the construction of the South 7th Avenue to the east of the subject property acts as a defined physical boundary between industrial and residential/transitional land uses. Utilizing the ROW as a physical boundary is an intentional way to allow land uses to transition, as opposed to utilizing bufferyards and setbacks for land uses that share property lines.

The property is currently zoned PR, Pre-Development District, which allows by right, residential uses that adhere to the SF-12/22, Single-family Residential District standards, which is consistent with the Plan.

## **Development Projects in Surrounding Areas**

The existing industrial developments in this part of the City forms a defined edge with multiple planned residential developments in this area following the alignment of S 7th Avenue up to W Broad Street. The properties to the west of that edge have been, or are seeking, entitlements as residential developments. M3 Ranch on the southern edge of the property creates a south boundary for the existing and under construction industrial properties. This places the planned Southwest Community Park at a central location for the almost 2,354 new/planned lots within the SW Quadrant of the City. This residential development creates a western edge of the City limits that is residential in character, as suggested in the 2012 Land Use Plan.

Recently approved or under construction residential developments in this sector of the City include:

**Bird Song (Main)** 185.65 acres, 540 total lots



**Bird Song (West)** 55.899 acres, 197 total lots

**M3 Ranch** 714.5 acres, 1,571 total lots

**Oaks Preserve** 158 acres, 171 total lots (1/3 to 1 acre)

**Silver Oak** 91.7 acres, 200 lots on southern phases with 5.4 acres of commercial

Planned residential developments in this sector of the City include:

**Proposed Residential (with frontage on West Broad Street)** 121 acres, 412 total units

**ETJ Areas** Discussions on three adjacent master planned residential communities underway

**Prepared By**

Arty Wheaton-Rodriguez, Assistant Director  
817-276-4245



**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING CHAPTER 155 OF THE CODE OF ORDINANCES, "ZONING," OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR LIGHT INDUSTRIAL USE, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS**, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of Chapter 155 of Code of Ordinances, "Zoning," have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that Chapter 155 of the Code of Ordinances, "Zoning," and Zoning Map should be amended.

**NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:**

**SECTION 1.**

That Chapter 155 of the Code of Ordinances, "Zoning" of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new zoning district classification of PD, Planned Development District for light industrial use; said property being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

**SECTION 2.**

That the use and development of the hereinabove described property shall be in accordance with the development plan shown on Exhibits "B - E" attached hereto and made a part hereof for all purposes.

**SECTION 3.**

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

**SECTION 4.**

That the above described properties shall be used only in the manner and for the purposes provided for in the Chapter 155 of the Code of Ordinances, "Zoning," of the City, as amended herein by the granting of this zoning classification.



**SECTION 5.**

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of Chapter 155 of the Code of Ordinances, "Zoning," as a whole.

**SECTION 6.**

Any person, firm or corporation violating any of the provisions of this ordinance or Chapter 155 of the Code of Ordinances, "Zoning," as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

**SECTION 7.**

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

**FIRST READING APPROVED ON THE 8<sup>TH</sup> DAY OF NOVEMBER, 2021.**

**DULY PASSED ON THE SECOND AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.**

\_\_\_\_\_  
**Michael Evans, Mayor**

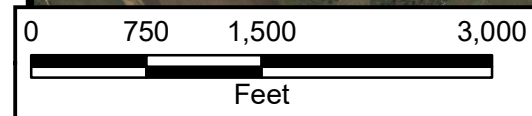
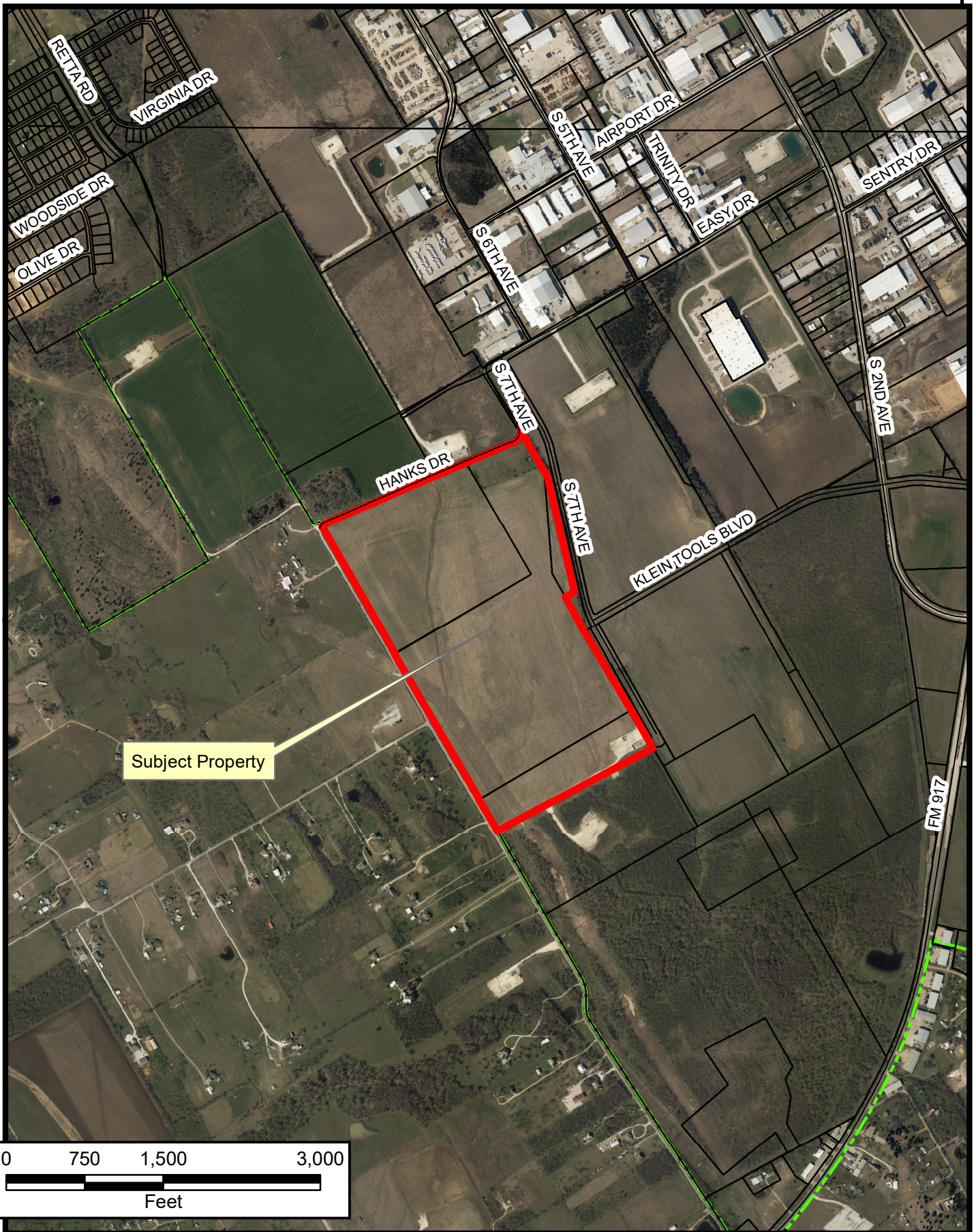
**ATTEST:**

\_\_\_\_\_  
**Susana Marin, City Secretary**

**APPROVED AS TO FORM AND LEGALITY:**

\_\_\_\_\_  
**Allen Taylor, City Attorney**



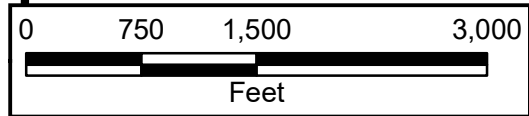


**ZC#21-009**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

10/6/2021





10/6/2021



## Property Owner Notification for ZC#21-009

| LEGAL DESC 1   | LEGAL DESC 2 | OWNER NAME                     | OWNER ADDRESS              | CITY            | ZIP        |
|----------------|--------------|--------------------------------|----------------------------|-----------------|------------|
|                |              |                                | *** NO ADDRESS ***         | *** NO CITY *** | * NO ZIP * |
| J Q WHEELER    | TR 1         | KIMBROUGH IRA T & ANDREE E     | PO BOX 1369                | GLEN ROSE, TX   | 76043-1369 |
| J Q WHEELER    | TR 2, 4      | MANSFIELD ECONOMIC DEVELOPMENT | 301 S MAIN ST              | MANSFIELD, TX   | 76063      |
| J Q WHEELER    | TR 2, 4 PT   | MANSFIELD ECONOMIC DEVELOPMENT | 301 S MAIN ST              | MANSFIELD, TX   | 76063      |
| MANSFIELD DDF4 | BLK 1        | CLPF EASY DRIVE LP             | 1717 MCKINNEY AVE STE 1900 | DALLAS, TX      | 75202      |
| MANSFIELD DDF4 | BLK 1        | MANSFIELD BUSINESS PARK 7 PROP | 301 S MAIN ST              | MANSFIELD, TX   | 76063      |
| MANSFIELD DDF4 | BLK 1        | MANSFIELD BUSINESS PARK 7 PROP | 301 S MAIN ST              | MANSFIELD, TX   | 76063      |
| MANSFIELD DDF4 | BLK 1        | MANSFIELD ECONOMIC DEVELOPMENT | 301 S MAIN ST              | MANSFIELD, TX   | 76063      |
| S M KEMP       | TR 1         | KIMBROUGH IRA T & ANDREE E     | PO BOX 1369                | GLEN ROSE, TX   | 76043-1369 |
| W M STILES     | TR 1         | CITY OF MANSFIELD              | 1200 E BROAD ST            | MANSFIELD, TX   | 76063-1805 |
| W M STILES     | TR 2         | MANSFIELD ECONOMIC DEVELOPMENT | 301 S MAIN ST              | MANSFIELD, TX   | 76063      |
| W M STILES     | TR 3         | KIMBROUGH IRA T & ANDREE E     | PO BOX 1369                | GLEN ROSE, TX   | 76043-1369 |
| W M STILES     | TR 3A        | MANSFIELD ISD                  | 605 E BROAD ST             | MANSFIELD, TX   | 76063      |



**EXHIBIT A**  
**ZC#21-009**  
**ZONING METES & BOUNDS DESCRIPTION**

**BEING** a 146.4801 acre (6,380,673 square foot) tract of land situated in the William Styles Survey, Abstract No. 791, the John Q. Wheeler Survey, Abstract No. 903, and the S.M. Kemp Survey, Abstract No. 492, City of Mansfield, Johnson County, Texas, and being all of a called 144.248 acre tract of land described in Special Warranty Deed to Ira T. Kimbrough and Andree E. Kimbrough Real Estate, LLC, recorded in Instrument No. 2012-12986, Official Public Records, Johnson County, Texas, and being all of a called 43.330 acre tract of land described in General Warranty Deed to Mansfield Independent School District recorded in Volume 3935, Page 293, Deed Records, Johnson County, Texas, and being all of a called 3.151 acre tract of land described in Deed without Warranty to Ira T. Kimbrough and Andree E. Kimbrough Real Estate, LLC recorded in Instrument No. 2020-1749, said Official Public Records, and being more particularly described as follows:

**BEGINNING** at a 2-inch iron pipe found for the southeast corner of the said called 144.248 acre tract;

**THENCE** South 60°34'44" West, along the south line of the said called 144.248 acre tract, a distance of 1708.09 feet to a 1-inch iron pipe found for the southwest corner of the said called 144.248 acre tract, and being in the northeast line of Jessica Drive, (no right-of-way dedication document found);

**THENCE** North 30°17'30" West, along the west line of the said called 144.248 acre tract, at a distance of 2068.31 feet passing the southwest corner of the said called 43.330 acre tract of land, and continuing with the west line of the said called 43.330 acre tract of land in all a total distance of 3437.43 feet to a 1/2-inch iron rod found at the northwest corner of the said called 43.330 acre tract, being at the intersection of said Jessica Drive and Hanks street (no right-of-way dedication document found);

**THENCE** North 66°17'34" East, along the north line of the said called 43.330 acre tract of land, a distance of 1230.23 feet to a 1/2-inch iron rod found for corner;

**THENCE** North 66°32'11" East, continuing along the said north line, at a distance of 249.12 feet passing a 1/2-inch iron rod with cap stamped "R.W. COOMBS RPLS 5294" found at the northeast corner of the said called 43.330 acre tract, and continuing in all a total distance of 940.88 feet to a 1/2-inch iron rod with cap stamped "R.W. COOMBS RPLS 5294" found for corner;

**THENCE** South 30°38'58" East, along the east line of the said called 144.248 acre tract of land, a distance of 59.69 feet to a 1/2-inch iron rod with cap stamped "R.W. COOMBS RPLS 5294" found for corner, being at the northwest corner of the said called 3.151 acre tract of land;

**THENCE** North 62°14'22" East, along the north line of the said called 3.151 acre tract, a distance of 141.75 feet to a 1/2-inch iron rod found in the west right-of-way line of 7th Street, a



70-foot wide right-of-way, being at the beginning of a non-tangent curve to the right having a central angle of  $13^{\circ}04'01''$ , a radius of 965.00 feet, a chord bearing and distance of South  $19^{\circ}26'25''$  East, 219.60 feet;

**THENCE** in a southeasterly direction, along the said west right-of-way line, with said curve to the right, an arc distance of 220.08 feet to a 1/2-inch iron rod found for corner;

**THENCE** South  $12^{\circ}54'24''$  East, continuing along the said west right-of-way line, a distance of 1411.34 feet to a 1/2-inch iron rod with cap found at the beginning of a tangent curve to the left having a central angle of  $11^{\circ}12'47''$ , a radius of 1055.00 feet, a chord bearing and distance of South  $18^{\circ}30'48''$  East, 206.14 feet;

**THENCE** in a southeasterly direction, continuing along the said west right-of-way line, with said curve to the left, an arc distance of 206.47 feet to a 1/2-inch iron rod with cap stamped "GOODWIN & MARSHALL" found at the southeast corner of the said called 3.151 acre tract of land;

**THENCE** South  $60^{\circ}05'53''$  West, along the south line of the said called 3.151 acre tract of land, a distance of 63.87 feet to a 1/2-inch iron rod with cap stamped "GOODWIN & MARSHALL" found at the southwest corner of the said called 3.151 acre tract of land, and being on the east line of the said called 144.248 acre tract of land;

**THENCE** South  $28^{\circ}40'24''$  East, along the said east line, a distance of 38.91 feet to a 1/2-inch iron rod with cap stamped "PACHECO KOCH" found for corner;

**THENCE** South  $29^{\circ}25'24''$  East, continuing along the said east line, a distance of 1341.86 feet to the **POINT OF BEGINNING** and containing 146.4801 acres or 6,380,673 square feet of land, more or less.

This document was prepared under 22 Texas Administrative Code §138.95, does not reflect the results of an on the ground survey, and is not to be used to convey or established interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

Bearing system is based on the Texas Coordinate System of 1983(2011 adjustment), North Central Zone (4202).

Joshua D. Wargo  
Registered Professional Land Surveyor No. 6391



# VICINITY MAP



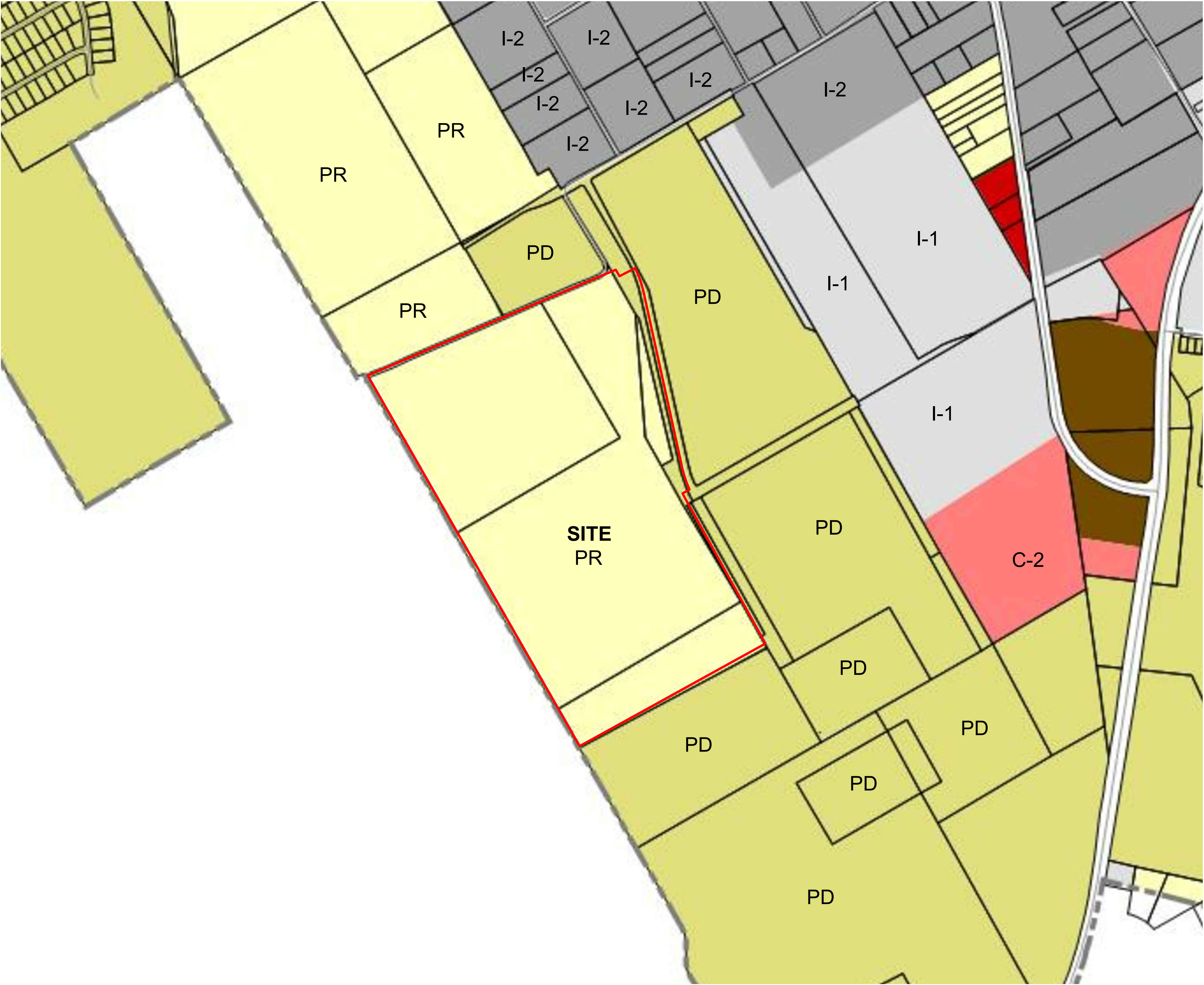
**STONELAKE CAPITAL PARTNERS**  
100 CRESCENT COURT, SUITE 850  
DALLAS, TEXAS 75201  
214-965-0630

**POWERS BROWN ARCHITECTURE**  
2100 TRAVIS STREET  
HOUSTON, TEXAS 77002  
713-335-0456

**DEVELOPMENT SITE PLAN- EXHIBIT B**  
**ZC#21-009**  
146.50 ACRES OF LAND LOCATED IN THE  
V.M. STYLES SURVEY ABSTRACT NO. 791,  
J.Q. WHEELER SURVEY, ABSTRACT NO. 903 &  
S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006



# ZONING EXHIBIT



## LEGEND

- 2F
- A
- C-1
- C-2
- C-3
- C-4
- H
- I-1
- I-2
- MF-1
- MF-2
- MH
- OP
- PD
- PR
- SF-12/22
- SF-5AC/24
- SF-6/12
- SF-7.5/12
- SF-7.5/16
- SF-7.5/18
- SF-8.4/16
- SF-8.4/18
- SF-9.6/20
- SP

- PROPERTY BND
- Freeway Overlay Zones
- FREWAY OVERLAY DISTRICT
- SECONDARY FREWAY OVERLAY DISTRICT

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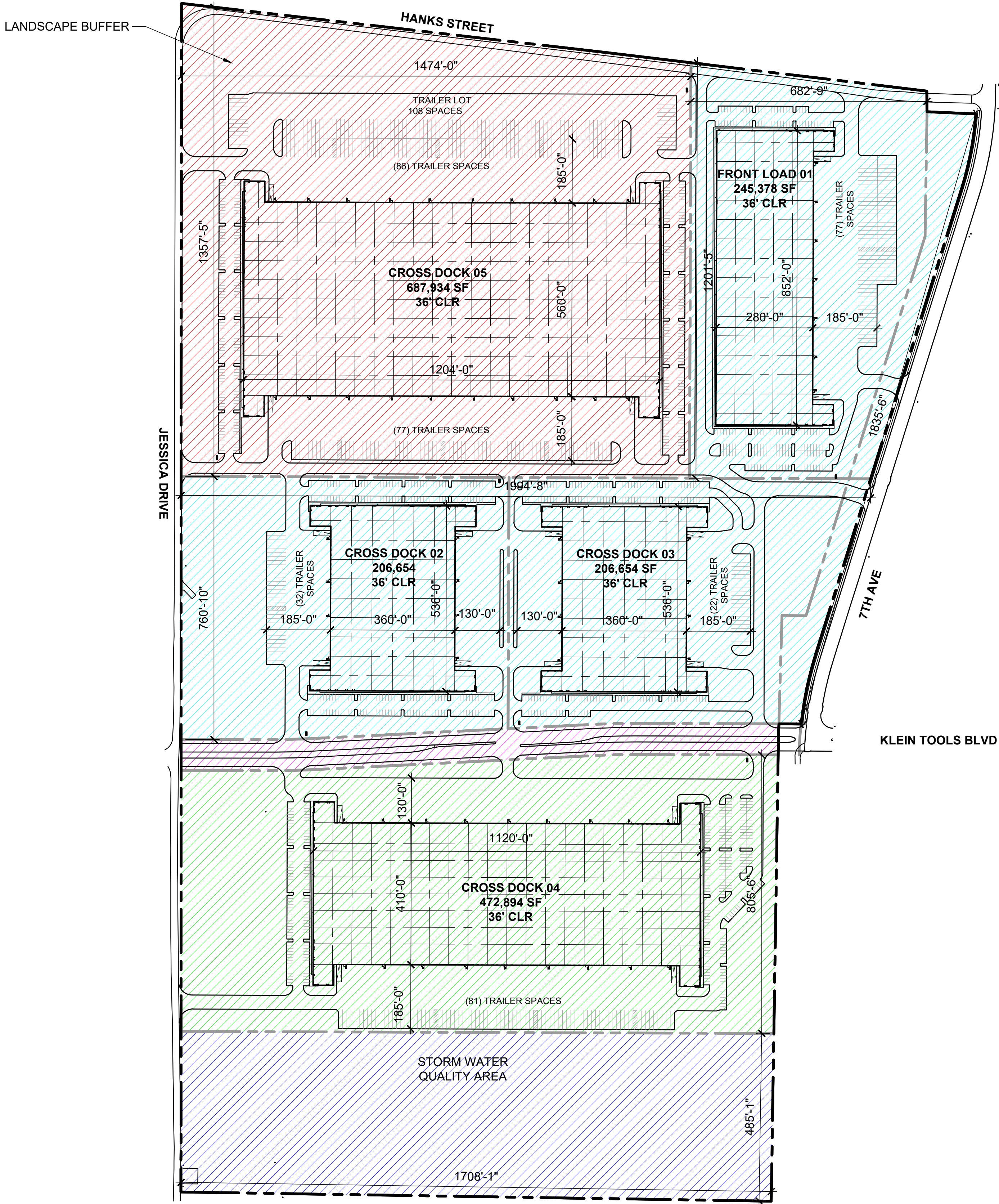


# MASTER PLAN- PHASING

SITE AREA : 146.50 ACRES (6,381,485 SF)

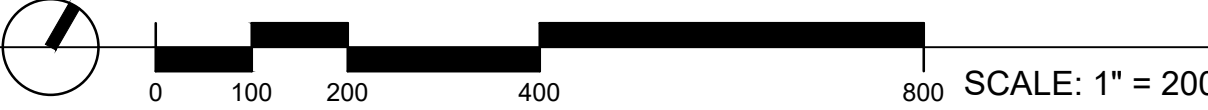
TOTAL BUILDING AREA : 1,819,514 SF

COVERAGE : 28.5 %



|  |                                    |
|--|------------------------------------|
|  | <b>PHASE I</b>                     |
|  | SITE AREA: 49.92 AC (2,174,467 SF) |
|  | BUILDING AREA: 658,686 SF          |
|  | COVERAGE: 30.3%                    |
|  | USE: LIGHT INDUSTRIAL              |
|  | <b>PHASE II</b>                    |
|  | SITE AREA: 30.91 AC (1,346,400 SF) |
|  | BUILDING AREA: 472,894 SF          |
|  | COVERAGE: 35.1%                    |
|  | USE: LIGHT INDUSTRIAL              |
|  | <b>PHASE III</b>                   |
|  | SITE AREA: 43.44 AC (1,892,462 SF) |
|  | BUILDING AREA: 687,934 SF          |
|  | COVERAGE: 36.4%                    |
|  | USE: LIGHT INDUSTRIAL              |
|  | <b>R.O.W.</b>                      |
|  | AREA: 3.57 AC (155,633 SF)         |
|  | <b>STORM WATER QUALITY</b>         |
|  | AREA: 18.65 AC (812,523 SF)        |

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MANSFIELD BUSINESS PARK  
a project for  
STONELAKE CAPITAL PARTNERS

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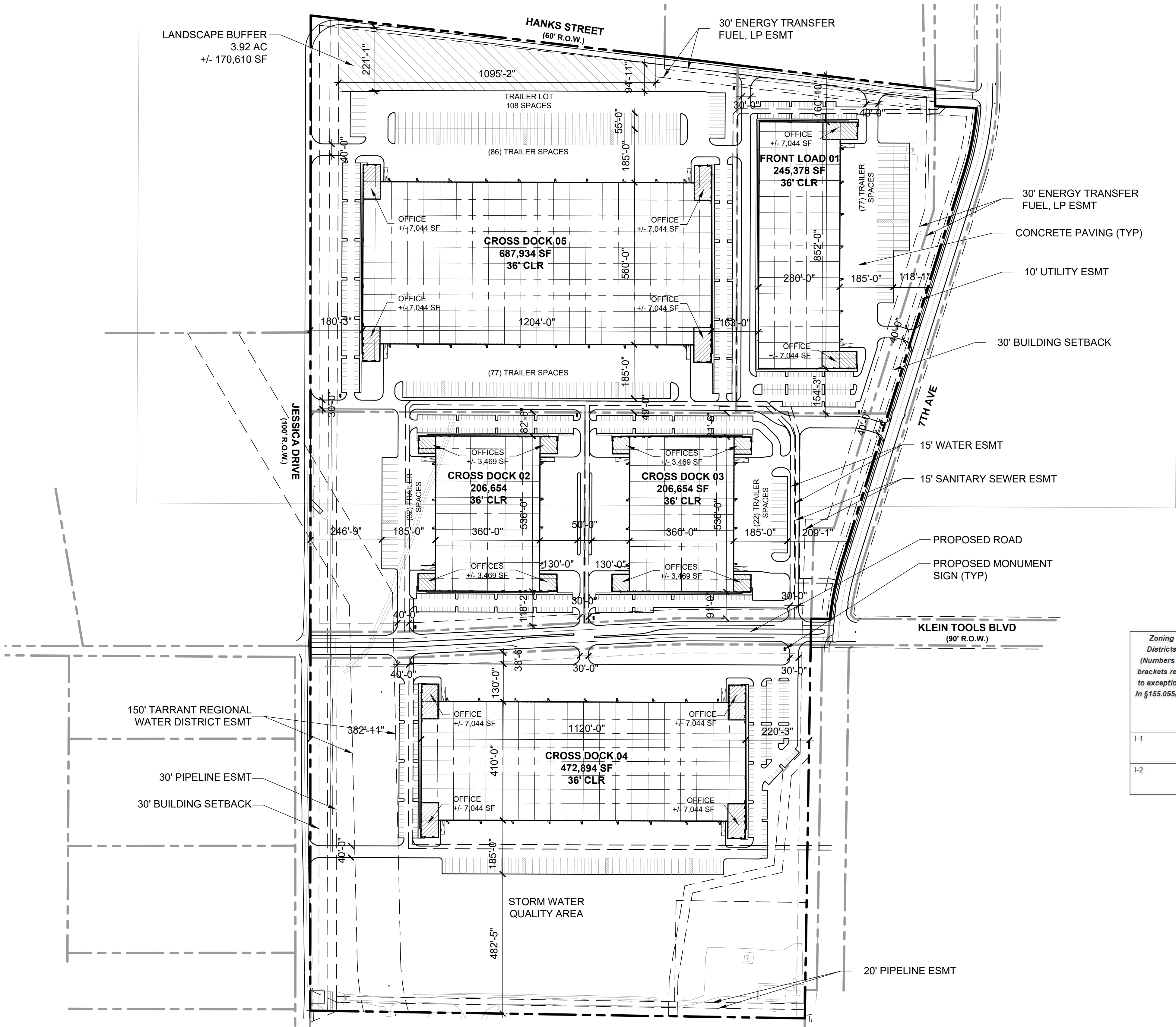


# MASTER PLAN

SITE AREA : 146.50 ACRES (6,381,485 SF)

TOTAL BUILDING AREA : 1,819,514 SF

COVERAGE : 28.5 %



**MANSFIELD PARKING REQUIREMENTS**  
NO MORE THAN FIFTEEN (15) CONTIGUOUS SPACES SHALL BE LOCATED TOGETHER WITHOUT A TREE-ISLAND.

OFFICE: 1 SPACE PER 300 SF  
LIGHT INDUSTRIAL- WAREHOUSE AND ENCLOSED STORAGE: 1 SPACE PER 3,000 SF

**FRONT LOAD 01: 245,378 SF**  
OFFICE (14,088 SF): 47 SPACES  
WAREHOUSE (231,290 SF): 78 SPACES  
**PARKING REQUIRED: 125 SPACES**  
**PARKING PROVIDED: 190 SPACES**  
**CROSS DOCK 02: 206,654 SF**  
OFFICE (13,876 SF): 47 SPACES:  
WAREHOUSE (192,778 SF): 64 SPACES  
**PARKING REQUIRED: 111 SPACES**  
**PARKING PROVIDED: 228 SPACES**  
**CROSS DOCK 03: 206,654 SF**  
OFFICE (13,876 SF): 47 SPACES:  
WAREHOUSE (192,778 SF): 64 SPACES  
**PARKING REQUIRED: 111 SPACES**  
**PARKING PROVIDED: 192 SPACES**  
**CROSS DOCK 04: 472,894 SF**  
OFFICE (28,176 SF): 94 SPACES  
WAREHOUSE (444,718 SF): 149 SPACES  
**PARKING REQUIRED: 243 SPACES**  
**PARKING PROVIDED: 310 SPACES**  
**CROSS DOCK 05: 687,934 SF**  
OFFICE (28,176 SF): 94 SPACES  
WAREHOUSE (659,758 SF): 220 SPACES  
**PARKING REQUIRED: 314 SPACES**  
**PARKING PROVIDED: 332 SPACES**

**TOTAL PARKING REQUIRED: 904 SPACES**  
**TOTAL PARKING PROVIDED: 1,252 SPACES**

| Zoning Districts<br>(Numbers in brackets refer to exceptions in §155.055(C)) | Lot Dimension<br>(i.e. area, width, depth) | Maximum Floor Area Ratio | Minimum Building Setback (feet) (7) (10) (12) |  |                           | Masonry Construction Requirement | Maximum Height (Feet)<br>(2) (6) |
|--|--|--------------------------|---|--|---------------------------|----------------------------------|----------------------------------|
|  |  |                          | When abutting street<br><br>right-of-way      | When abutting other property lines (1) (3) |                           |                                  |                                  |
|  |  |                          |   | In a non-residential district              | In a residential district |                                  |                                  |
| I-1  | None                                       | 2.0                      | 30  | None                                       | 40                        | Refer to §155.056                | None                             |
| I-2  | None                                       | 1.0                      | 30  | None                                       | 40                        | Refer to §155.056                | None                             |

NO ONSITE LIQUID WASTE  
NO TRASH DUMPERS

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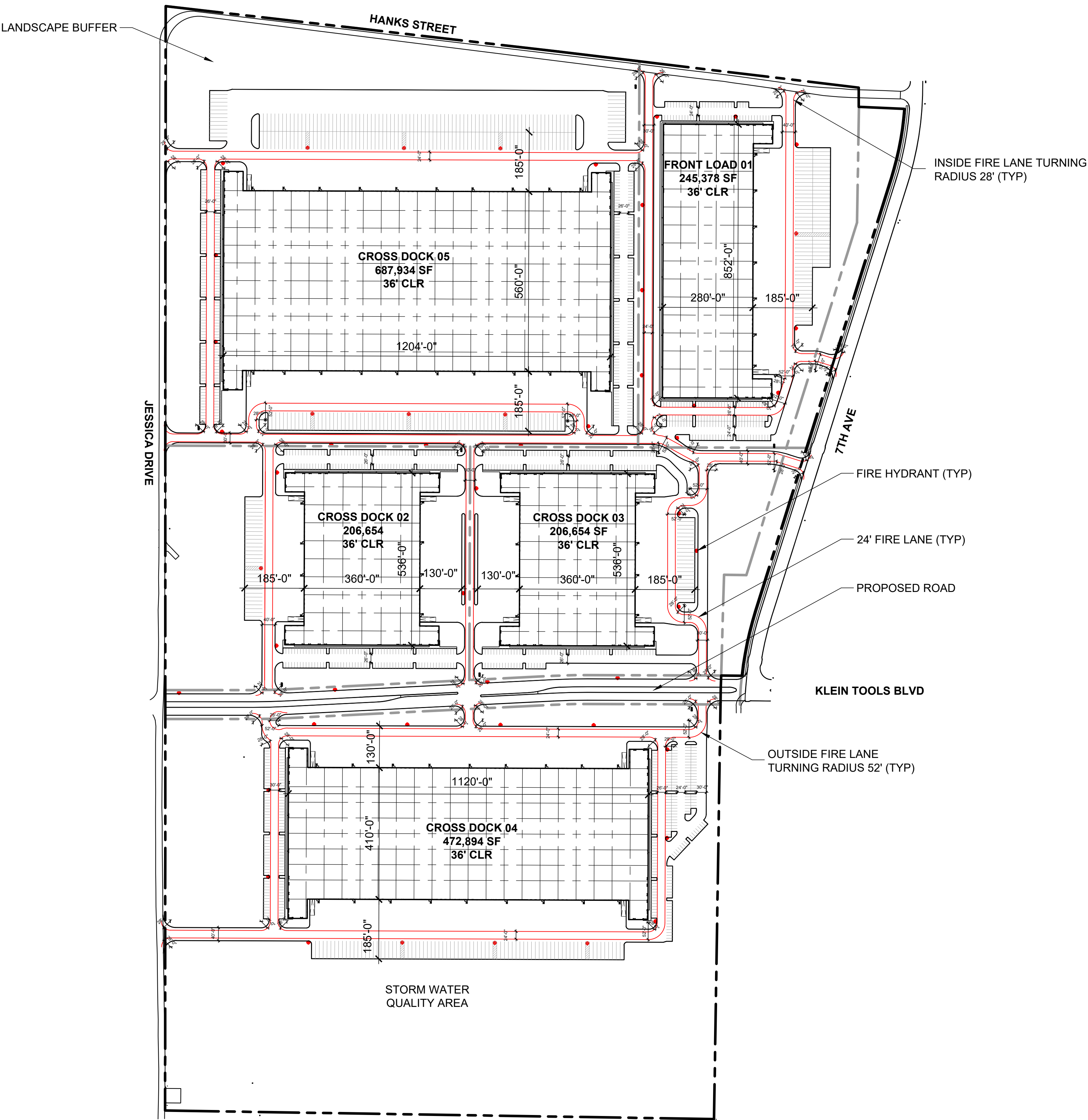
MANSFIELD BUSINESS PARK  
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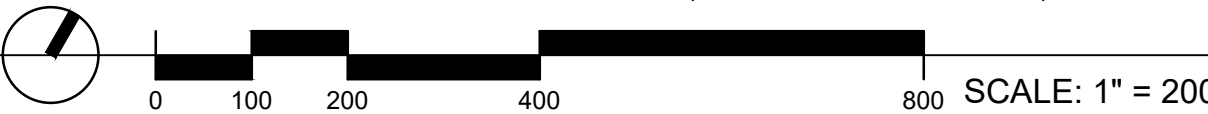


# MASTER PLAN- FIRE ACCESS

— FIRE LANE      ○ FIRE HYDRANT



**DEVELOPMENT SITE PLAN- EXHIBIT B**  
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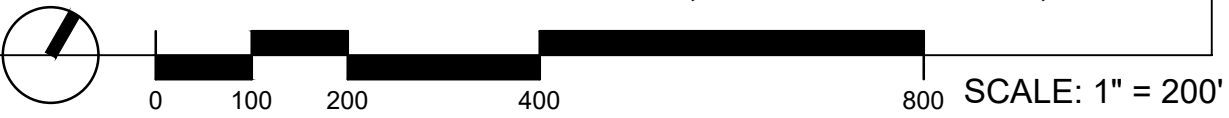
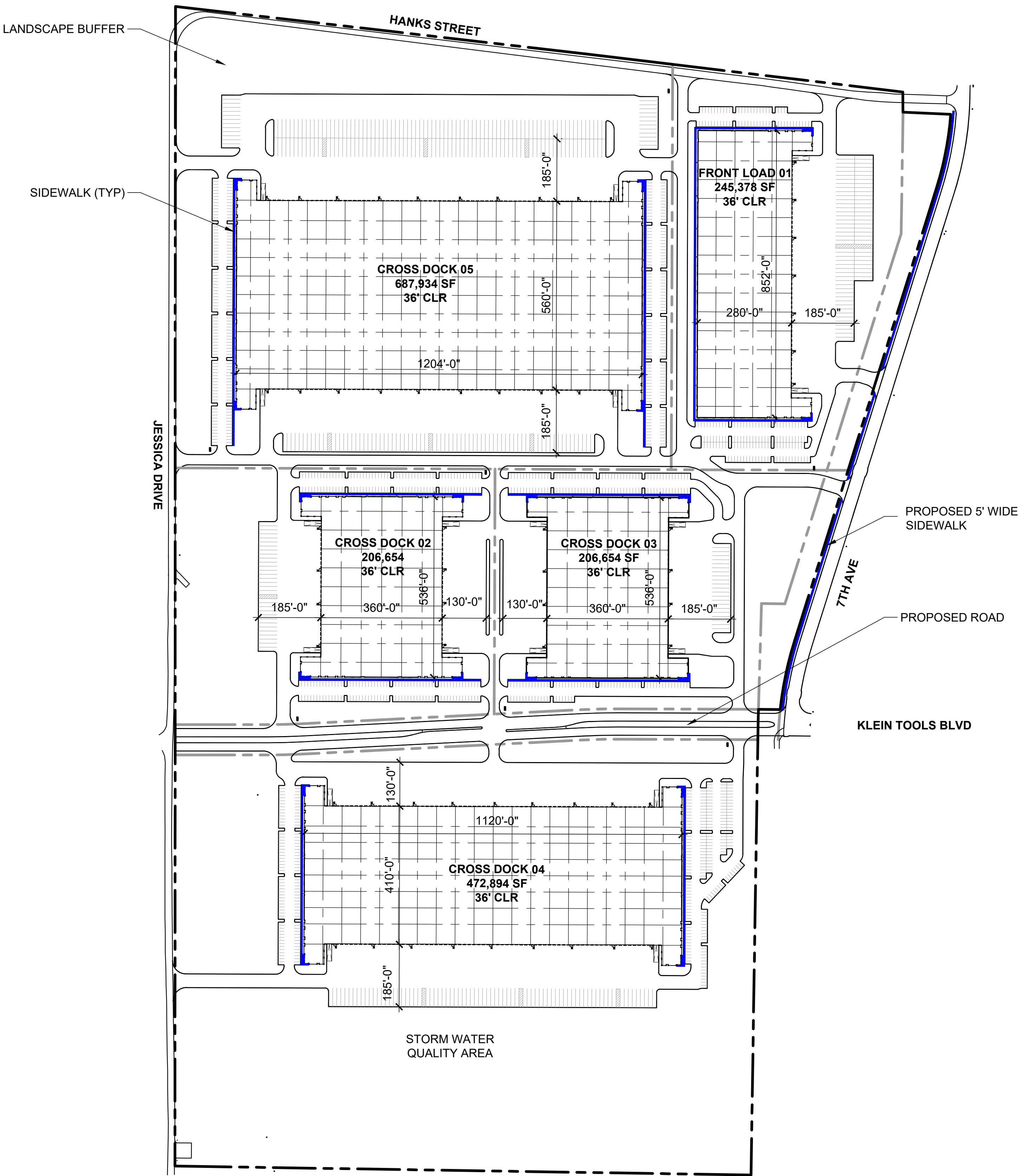
**MANSFIELD BUSINESS PARK**  
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ecture**



# MASTER PLAN- PEDESTRIAN ACCESS

 SIDEWALKS



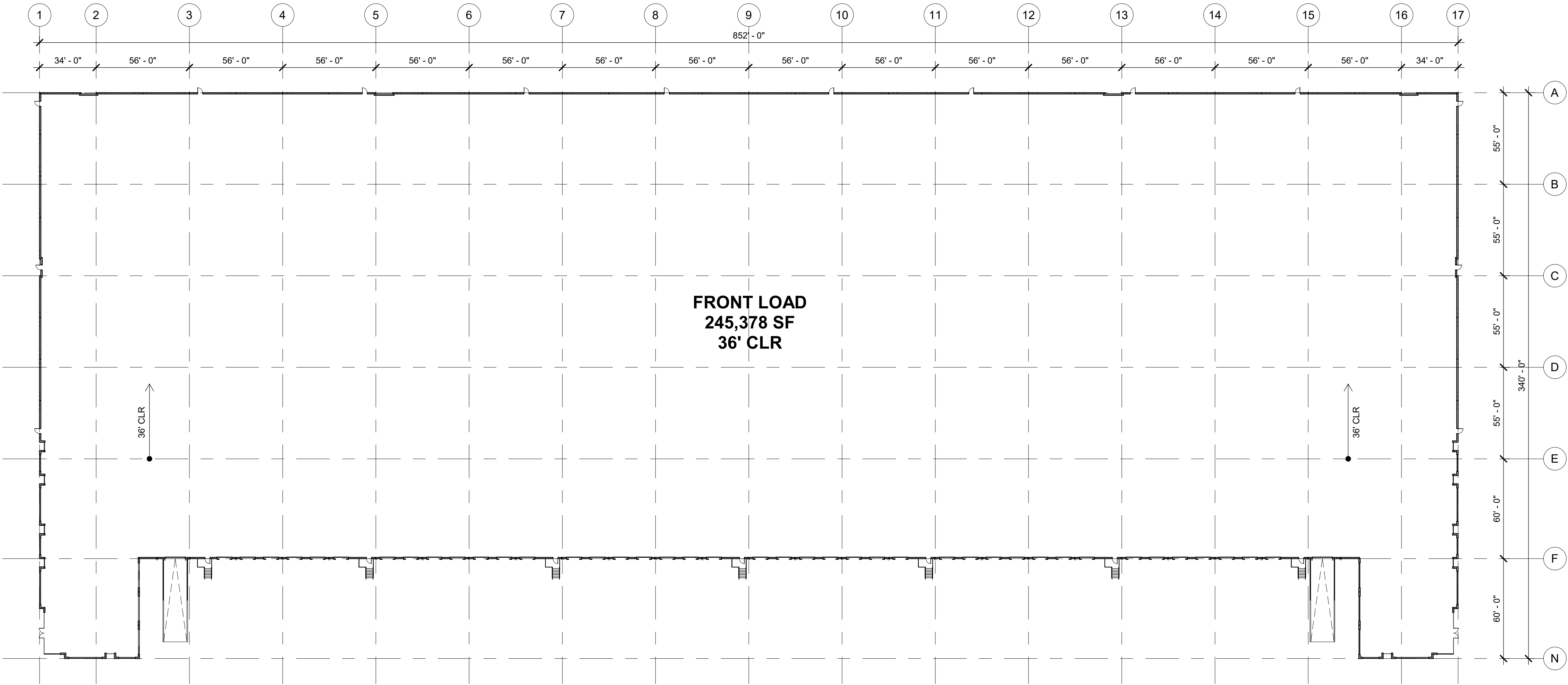
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PREPARED MARCH 26, 2021 & JULY 24, 2006



BUILDING 1- OVERALL PLAN

BUILDING AREA- 245,378 SF

SCALE: 1" = 40'-0"



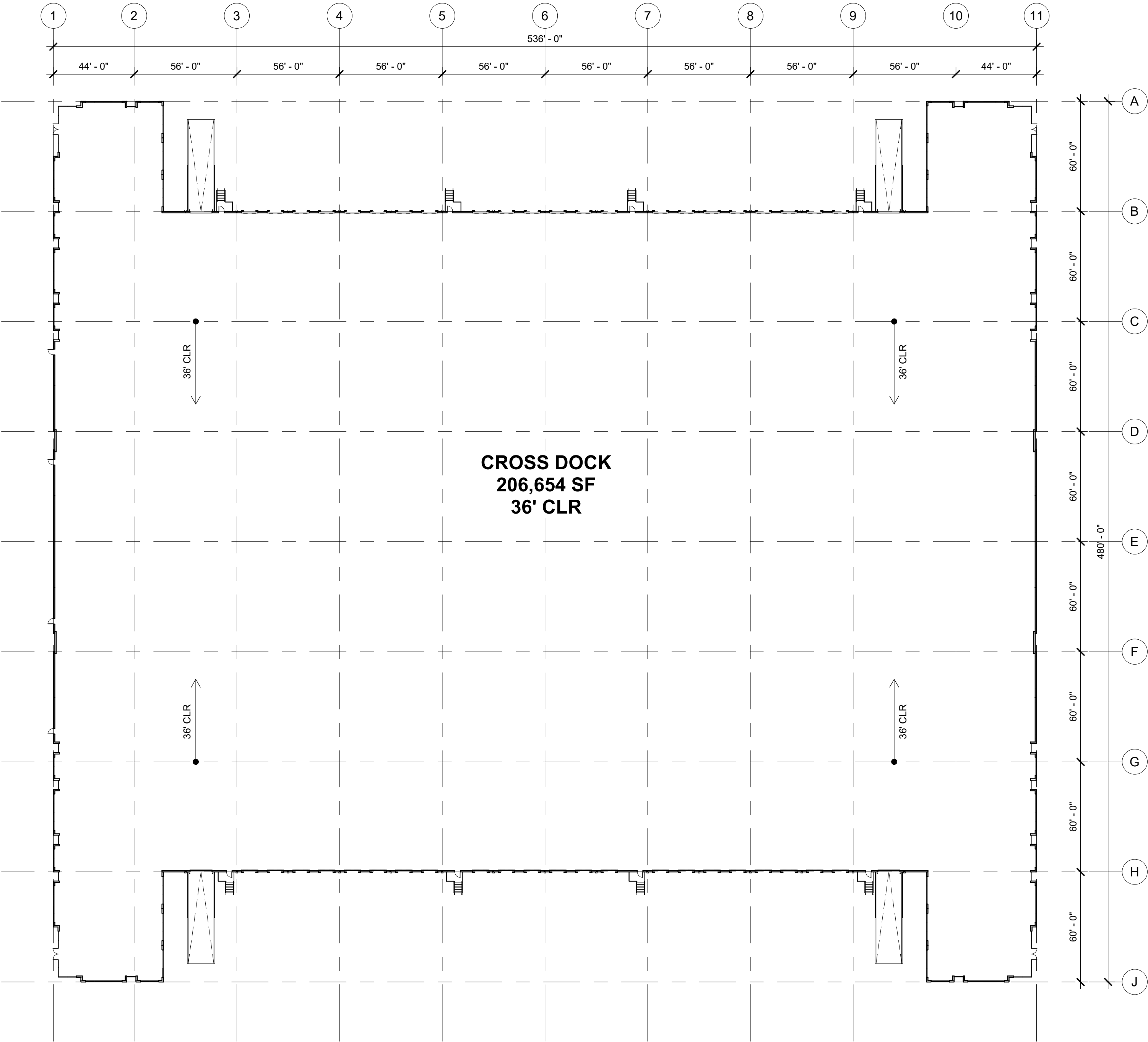
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BUILDINGS 2 & 3- OVERALL PLAN

BUILDING AREA- 206,654 SF

SCALE: 1" = 40'-0"



DEVELOPMENT SITE PLAN- EXHIBIT B  
ZC#21-009

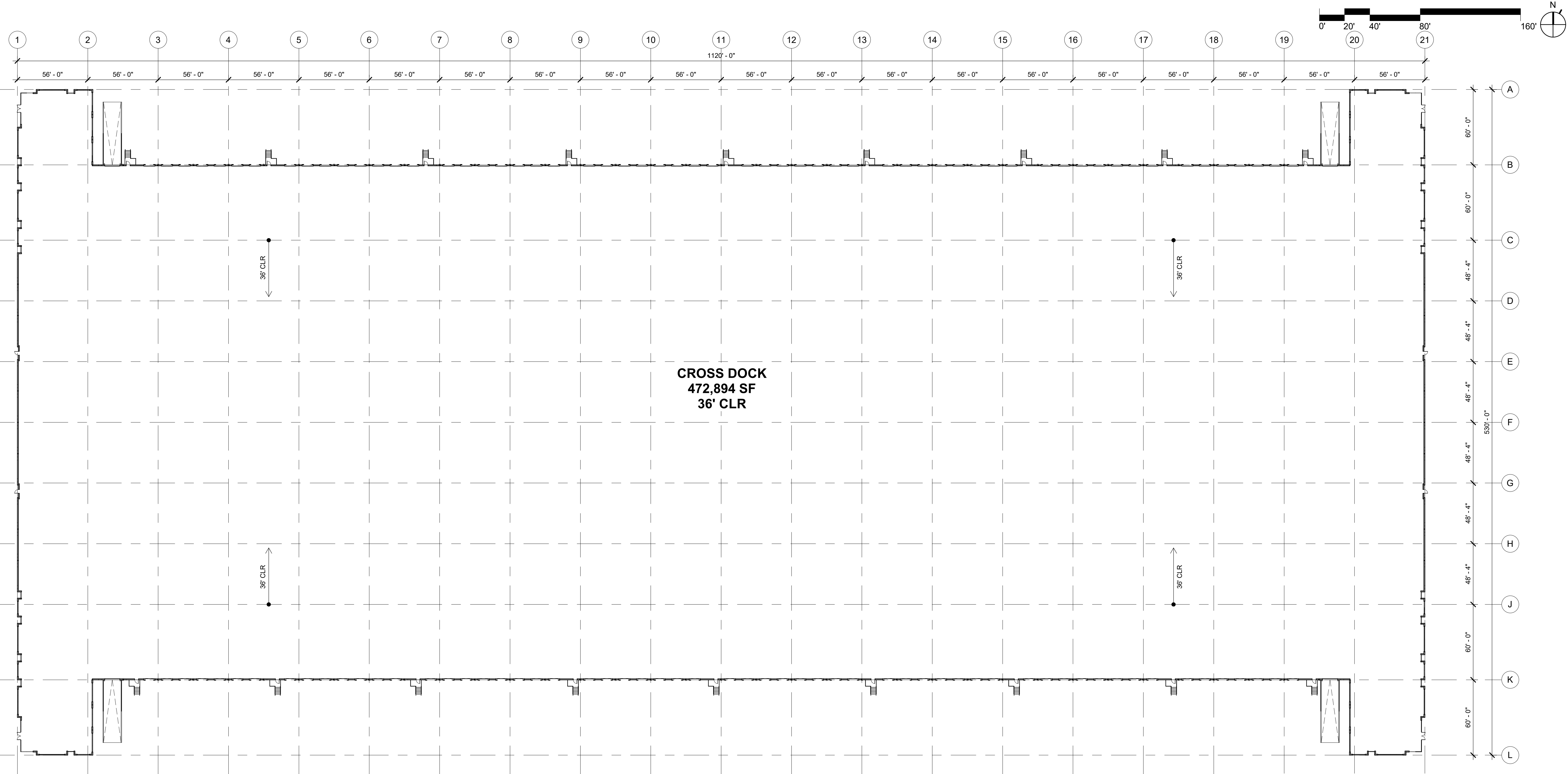
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BUILDING 4- OVERALL PLAN

BUILDING AREA- 472,894 SF

SCALE: 1" = 40'-0"



DEVELOPMENT SITE PLAN- EXHIBIT B  
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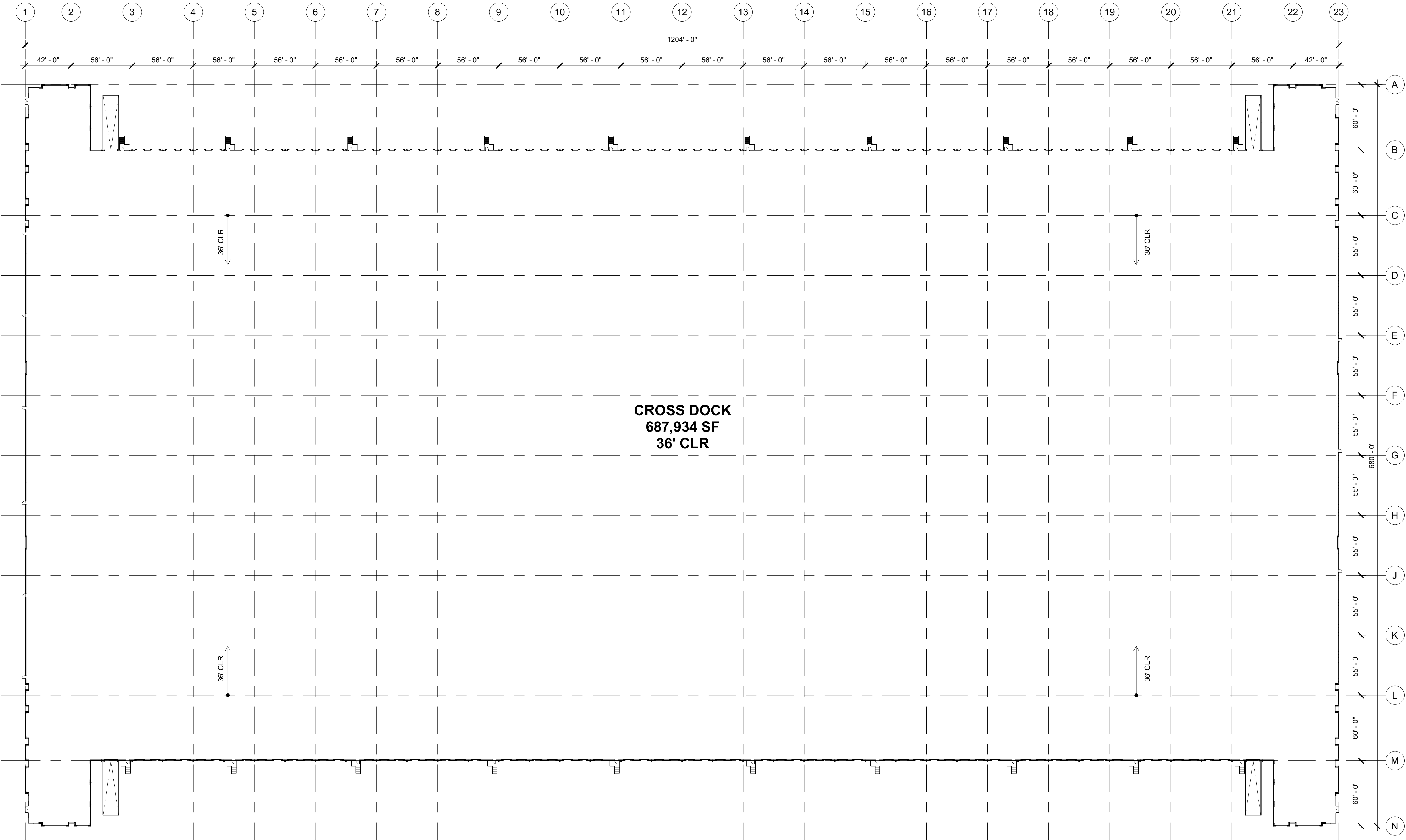
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BUILDING 5- OVERALL PLAN

BUILDING AREA- 687,934 SF

SCALE: 1" = 50'-0"



DEVELOPMENT SITE PLAN- EXHIBIT B  
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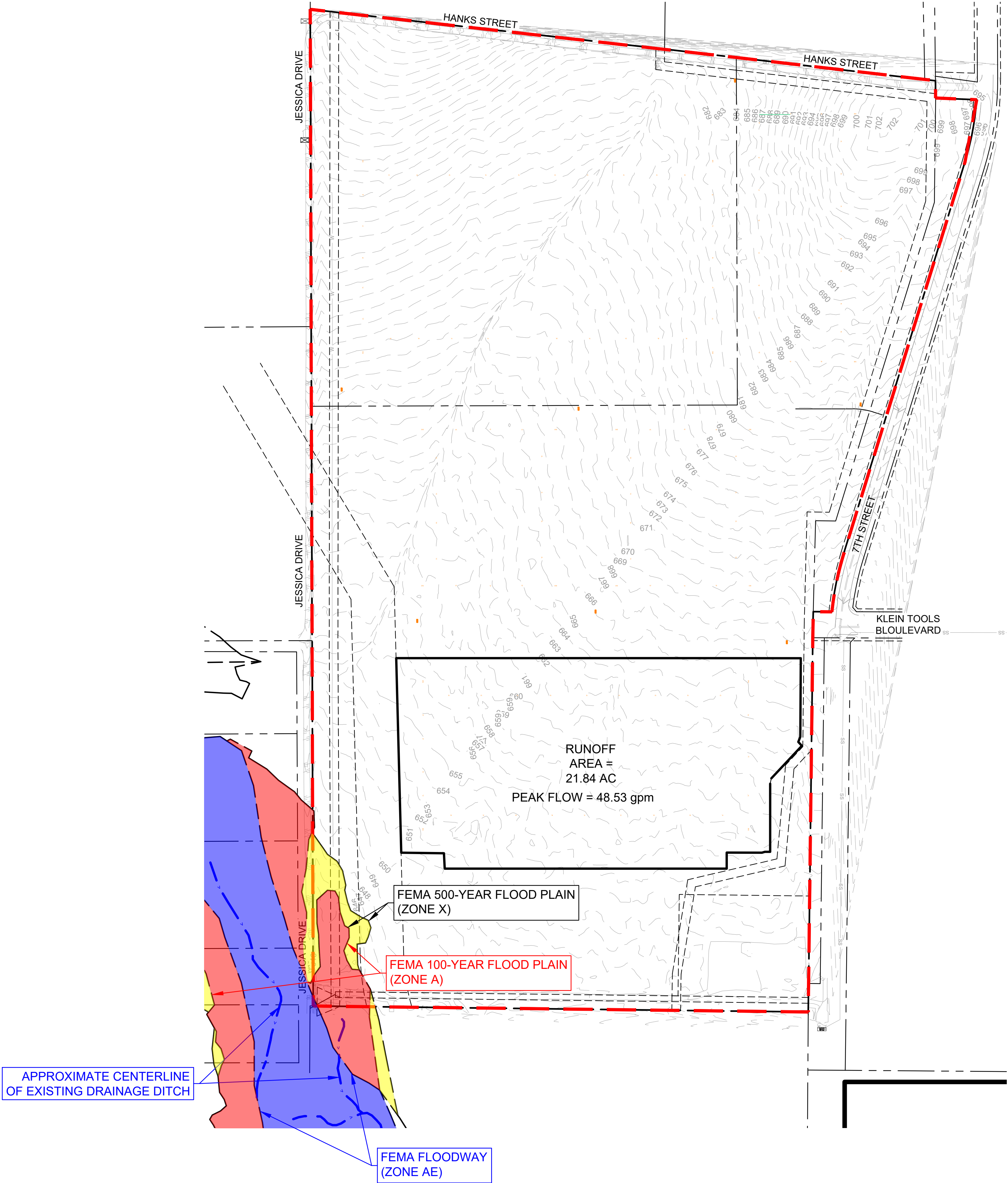
146.50 ACRES OF LAND LOCATED IN THE  
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S.M. KEMP SURVEY, ABSTRACT NO. 492  
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Plotted By: Zimmerman, Mitchell    Sheet Set: Renome Me    Sheet: Existing Conditions    July 19, 2021    10:07:41am    K:\DAL\_Civil\064405619 - StoneLake Mansfield\Coa\PlanSheets\A-C-SITE - 064405619.dwg  
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MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006

|                                 |                              |   |           |  |      |    |
|---------------------------------|------------------------------|---|-----------|--|------|----|
| <b>EXISTING SITE CONDITIONS</b> | <b>DEVELOPMENT SITE PLAN</b> | <b>Kimley»Horn</b><br>13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER<br>SUITE 700, DALLAS, TX 75240<br>PHONE: 972-770-1300 FAX: 972-239-3820<br>WWW.KIMLEY-HORN.COM TX F-928<br>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. | REVISIONS |  | DATE | BY |
|                                 |                              |   | No.       |  |      |    |
| ZC#21-009                       |                              |   |           |  |      |    |
| SHEET NUMBER                    |                              |   |           |  |      |    |
| <b>EXH 2</b>                    |                              |   |           |  |      |    |



Plotted By: Zimmerman, Mitchell    Sheet Set: Renome Me    Layout: Site Layout    July 19, 2021    10:09:37am    K:\DAL\_Civil\064405619 - StoneLake Mansfield\064405619 - Stormwater Management\20210603 - Stormwater Management.dwg  
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**DRAINAGE KEY**

A

ACRES

— DRAINAGE AREA DESIGNATION

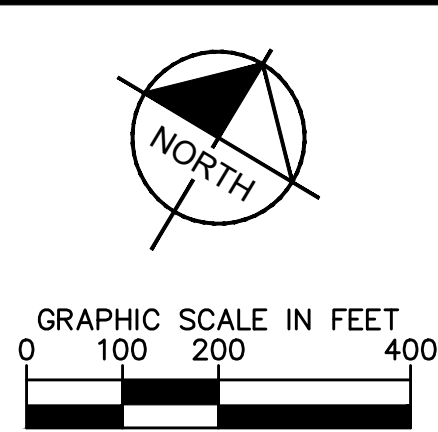
— AREA (ACRES)

----- PROPOSED DRAINAGE AREA BOUNDARY

**WATER QUALITY ORIFICE CALCULATIONS**

$R_v$  = VOLUMETRIC RUNOFF COEFFICIENT  
 $WQ_v$  = WATER QUALITY PROTECTION VOLUME (AC-FT)  
 $A$  = TOTAL DRAINAGE AREA IN ACRES  
 $I$  = PERCENT IMPERVIOUS COVER  
 $Q_{wv}$  = WATER QUALITY PROTECTION VOLUME (INCHES)

$A = 142.9$  ACRES  
 $I = 62\%$   
 $R_v = 0.05 + 0.009 \times I = 0.56$   
 $WQ_v = (1.5 \times R_v \times A) / 12 = 10.00$   
 $Q_{wv} = 1.5 (R_v) = 0.84$

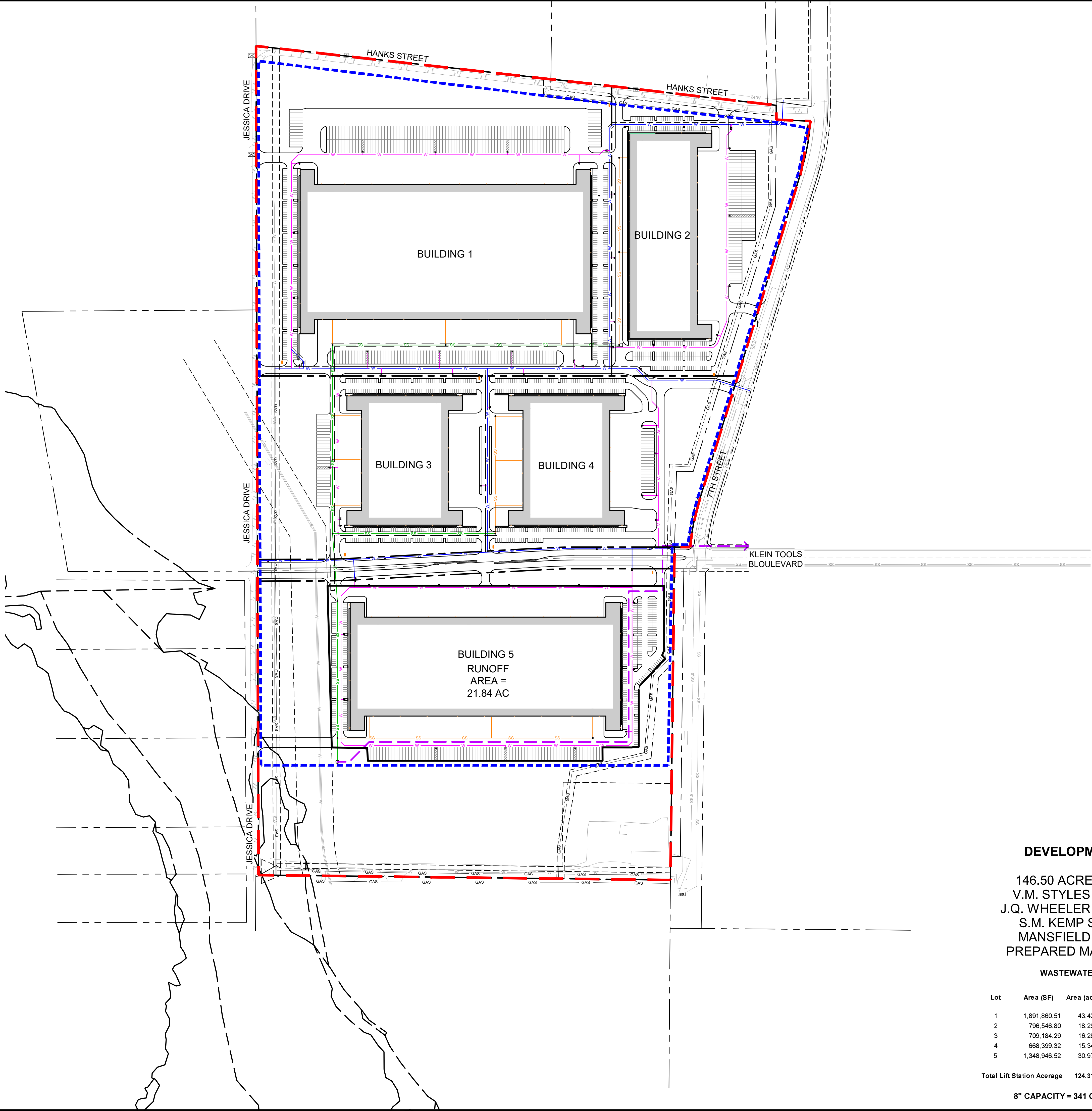


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MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006

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| PRELIMINARY<br>STORMWATER<br>MANAGEMENT<br>SITE PLAN | ZC#21-009 | SHEET NUMBER<br>EX 1 | MANSFIELD | TEXAS | KHA PROJECT<br>064405619<br>DATE<br>JUNE 2021<br>SCALE AS SHOWN<br>DESIGNED BY BJM<br>DRAWN BY MZ<br>CHECKED BY BJM | Kimley»Horn<br>13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER<br>SUITE 700, DALLAS, TX 75240<br>PHONE: 972-770-1300 FAX: 972-239-9820<br>WWW.KIMLEY-HORN.COM TX F-528<br>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
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**DEVELOPMENT SITE PLAN- EXHIBIT B**  
**ZC#21-009**  
146.50 ACRES OF LAND LOCATED IN THE  
V.M. STYLES SURVEY ABSTRACT NO. 791,  
J.Q. WHEELER SURVEY, ABSTRACT NO. 903 &  
S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006

WASTEWATER FLOWS - MANSFIELD INDUSTRIAL

| Lot                        | Area (SF)    | Area (ac) | Design Factor (gal/ac)  | Flow (gpd) | Flow (gpm) | Peak Flow (gpm) | Peak Flow (cfs) |
|----------------------------|--------------|-----------|-------------------------|------------|------------|-----------------|-----------------|
| 1                          | 1,891,860.51 | 43.43     | 800                     | 34,744.91  | 24.13      | 96.51           | 0.22            |
| 2                          | 796,546.80   | 18.29     | 800                     | 14,628.96  | 10.16      | 40.64           | 0.09            |
| 3                          | 709,184.29   | 16.28     | 800                     | 13,024.50  | 9.04       | 36.18           | 0.08            |
| 4                          | 668,399.32   | 15.34     | 800                     | 12,275.47  | 8.52       | 34.10           | 0.08            |
| 5                          | 1,348,946.52 | 30.97     | 800                     | 24,774.04  | 17.20      | 68.82           | 0.15            |
| Total Lift Station Acreage |              | 124.31    | Total Lift Station Flow |            | 276.24     | 0.62            |                 |

8" CAPACITY = 341 GPM | 8" CAPACITY = 0.76 CFS

PRELIMINARY UTILITY PLAN

ZC#21-009

SHEET NUMBER

UT-1

DEVELOPMENT SITE PLAN

MANSFIELD

TEXAS

KHA PROJECT  
064405619

DATE  
AUGUST 2021

SCALE AS SHOWN

DESIGNED BY  
BJM

DRAWN BY  
MNZ

CHECKED BY  
BJM

Kimley»Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-528  
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REVISIONS

No.

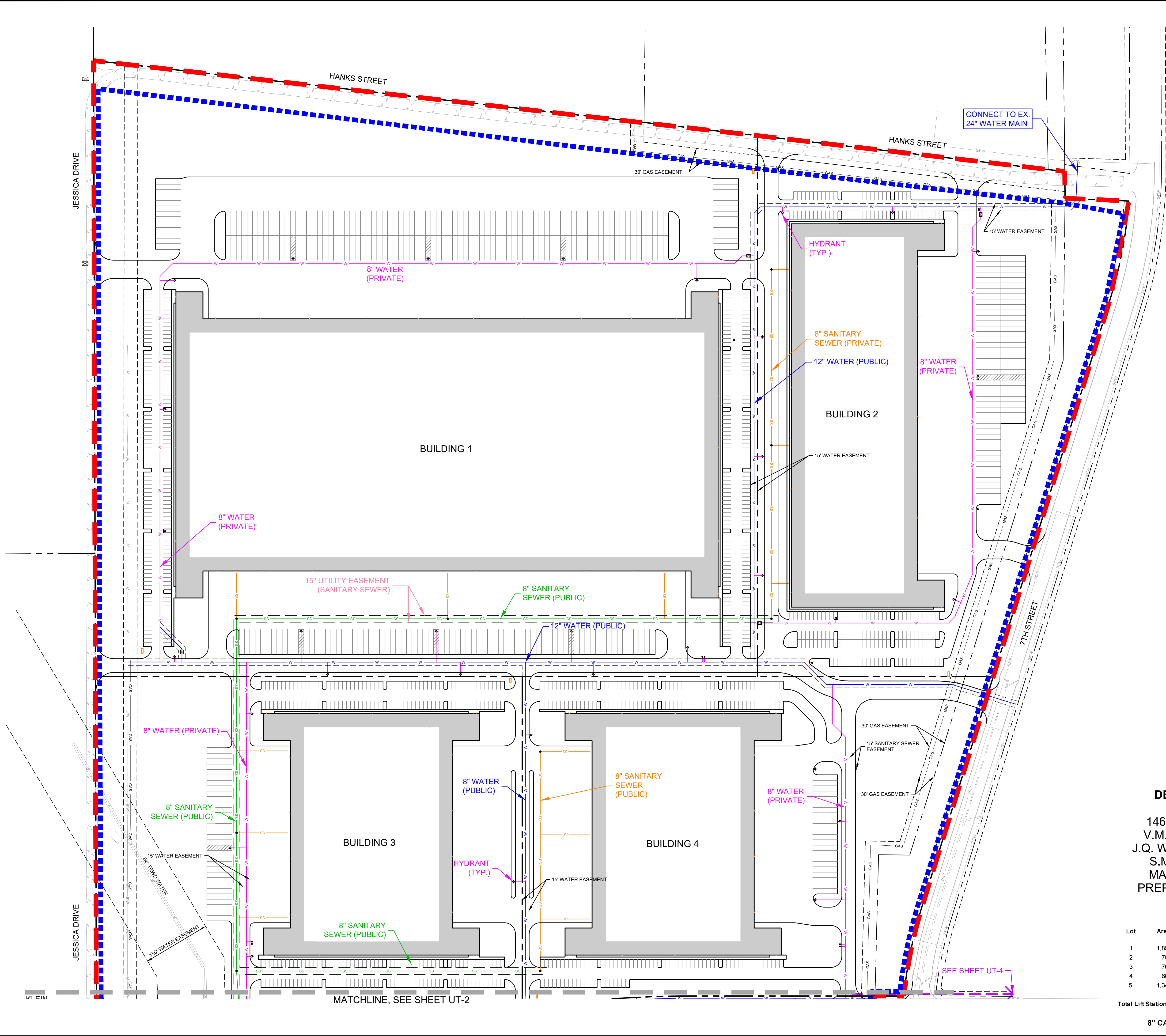
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| LEGEND                |  |
|-----------------------|--|
| SITE BOUNDARY         |  |
| SEWER BASIN BOUNDARY  |  |
| PUBLIC WATER MAIN     |  |
| PRIVATE WATER MAIN    |  |
| PUBLIC SANITARY MAIN  |  |
| PRIVATE SANITARY MAIN |  |
| PRIVATE FORCE MAIN    |  |

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KHA PROJECT  
064405619

DATE  
AUGUST 2021

SCALE AS SHOWN

DESIGNED BY  
BJM

DRAWN BY  
MZV

CHECKED BY  
BJM

DEVELOPMENT SITE  
PLAN

PRELIMINARY  
UTILITY PLAN

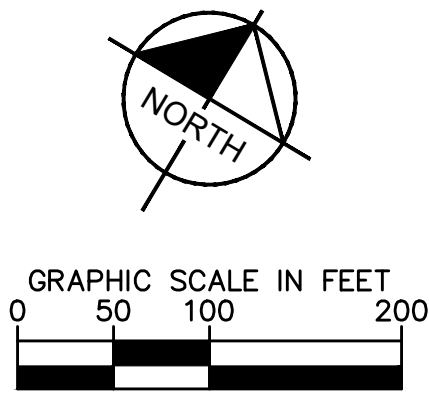
ZC#21-009  
SHEET NUMBER  
UT-2







TEXAS  
MANSFIELD

REVISIONS

BY  
DATE





| LEGEND                |   |
|-----------------------|---|
| SITE BOUNDARY         |  |
| PUBLIC WATER MAIN     |  |
| PRIVATE WATER MAIN    |  |
| PUBLIC SANITARY MAIN  |  |
| PRIVATE SANITARY MAIN |  |
| PRIVATE FORCE MAIN    |  |

[illegible]

**Kimley»»Horn**  
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928  
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|             |             |
|-------------|-------------|
| KHA PROJECT | DATE        |
| 064405619   | AUGUST 2021 |
| SCALE       | AS SHOWN    |
| DESIGNED BY | BJM         |
| DRAWN BY    | MVZ         |
| CHECKED BY  | BJM         |

# DEVELOPMENT SITE PLAN

MANSFIELD

# PRELIMINARY UTILITY PLAN

ZC#21-009

SHEET NUMBER  
**UT-3**

**DEVELOPMENT SITE PLAN- EXHIBIT B**  
**ZC#21-009**  
146.50 ACRES OF LAND LOCATED IN THE  
V.M. STYLES SURVEY ABSTRACT NO. 791,  
J.Q. WHEELER SURVEY, ABSTRACT NO. 903 &  
S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006  
**WASTEWATER FLOWS - MANSFIELD INDUSTRIAL**

| Lot                        | Area (SF)    | Area (ac) | Design Factor (gal/ac) | Flow (gpd)              | Flow (gpm) | Peak Flow (gpm) | Peak Flow (cfs) |
|----------------------------|--------------|-----------|------------------------|-------------------------|------------|-----------------|-----------------|
| 1                          | 1,891,860.51 | 43.43     | 800                    | 34,744.91               | 24.13      | 96.51           | 0.22            |
| 2                          | 796,546.80   | 18.29     | 800                    | 14,628.96               | 10.16      | 40.64           | 0.09            |
| 3                          | 709,184.29   | 16.28     | 800                    | 13,024.50               | 9.04       | 36.18           | 0.08            |
| 4                          | 688,359.32   | 15.34     | 800                    | 12,275.47               | 8.52       | 34.10           | 0.08            |
| 5                          | 1,348,946.52 | 30.97     | 800                    | 24,774.04               | 17.20      | 68.82           | 0.15            |
| Total Lift Station Acreage |              | 124.31    |                        | Total Life Station Flow |            | 278.24          | 0.62            |
| 8" CAPACITY = 341 GPM      |              |           |                        | 8" CAPACITY = 0.76 CFS  |            |                 |                 |



**EXISTING 12" SANITARY SEWER MAIN**

**PROPOSED 8" SANITARY SEWER MAIN TO CONNECT TO EXISTING 12" MAIN**

**PROPOSED PARALLEL 8" SANITARY SEWER MAIN WITHIN EXISTING EASEMENT**

**EXISTING 8" SANITARY SEWER MAIN (AT CAPACITY)**

**PROPOSED MAN HOLE**

**EXISTING MANHOLE**

**PROPOSED PARALLEL 8" SANITARY SEWER MAIN WITHIN EXISTING EASEMENT**

**EXISTING 8" SANITARY SEWER MAIN (AT CAPACITY)**

**PROPOSED 8" SANITARY SEWER MAIN WITHIN EXISTING 10' UTILITY EASEMENT**

**EXISTING 8" SANITARY SEWER MAIN (AT CAPACITY)**

**PROPOSED ON SITE SANITARY SEWER MAIN**

**SITE PROPERTY LINE**

**PROPOSED MAN HOLE**

**EXISTING MANHOLE**

**PROPOSED STONELAKE BUSINESS PARK SANITARY SEWER DEMAND = ± 277 GPM**

**PROPOSED 8" SANITARY SEWER CAPACITY AT 75% FULL = 341 GPM**

**PROPOSED FORCE MAIN**

**EXISTING FORCE MAIN**

**S. 6TH AVE**

**EASY DR.**

**S. 2ND AVE**

**S. 7TH AVE**

**HANKS ST.**

**KLEIN TOOLS BLVD.**

**SITE LOCATION**

**LEGEND**

- SITE PROPERTY LINE
- PROPOSED PUBLIC SANITARY MAIN
- EXISTING PUBLIC SANITARY MAIN
- PROPOSED FORCE MAIN
- EXISTING FORCE MAIN

**811 Know what's below. Call before you dig.**

**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

**BENCH MARK LIST**

**BM#100**  
MAG NAIL WITH SHINER STAMPED "YP CONTROL POINT" SET IN THE NORTHWEST SIDE OF A CONCRETE DRIVEWAY, 27± NORTHEAST FROM THE JESSICA DRIVE CENTERLINE, AND 17± SOUTHEAST OF A BARBED WIRE FENCE.  
ELEV: 645.85

**BM#101**  
MAG NAIL WITH SHINER SET STAMPED "YP CONTROL POINT" SET IN THE NORTH SIDE OF A CONCRETE DRIVEWAY, 27± NORTHEAST FROM THE JESSICA DRIVE CENTERLINE, 45± SOUTH OF A CABLE VAULT, AND 1500± SOUTH OF HANKS STREET CENTERLINE.  
ELEV: 662.11

**BM#102**  
MAG NAIL WITH SHINER STAMPED "YP CONTROL POINT" SET IN ASPHALT ON THE EAST SIDE OF JESSICA DRIVE, 400± SOUTH OF HANKS STREET, 35± EAST OF A GRAVEL DRIVEWAY, 10± WEST OF A BARBED WIRE FENCE.  
ELEV: 664.66

The bearing system is based on the Texas Coordinate System of 1983, North Central Zone 4202 based on observations made on April 6, 2021 with an applied combined scale factor of 1.00012.

**DEVELOPMENT SITE PLAN- EXHIBIT B**  
**ZC#21-009**  
146.50 ACRES OF LAND LOCATED IN THE V.M. STYLES SURVEY ABSTRACT NO. 791, J.Q. WHEELER SURVEY, ABSTRACT NO. 903 & S.M. KEMP SURVEY, ABSTRACT NO. 492 MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006

|           |                             |                          |  |  |  |
|-----------|-----------------------------|--------------------------|--|--|--|
| ZC#21-009 | PRELIMINARY<br>UTILITY PLAN | DEVELOPMENT SITE<br>PLAN | KHA PROJECT<br>064405619<br>DATE<br>AUGUST 2021<br>SCALE AS SHOWN<br>DESIGNED BY BIM<br>DRAWN BY MNZ<br>CHECKED BY BIM | KIMLEY-HORN<br>13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER<br>SUITE 700, DALLAS, TX 75240<br>PHONE: 972-776-1300 FAX: 972-239-3820<br>WWW.KIMLEY-HORN.COM TX F-628<br>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. | No. _____<br>REVISIONS _____<br>DATE _____<br>BY _____ |
|           |                             |                          |  |  |  |



# BUILDING 1- OVERALL ELEVATIONS- EXHIBIT C

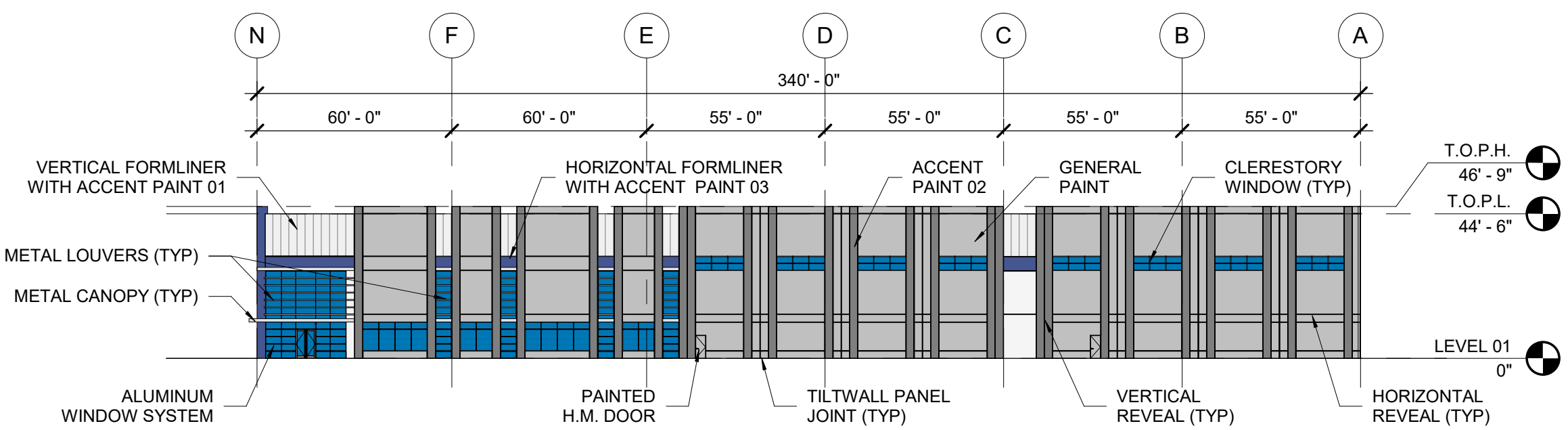
## ELEVATIONS

SCALE: 1" = 40'-0"



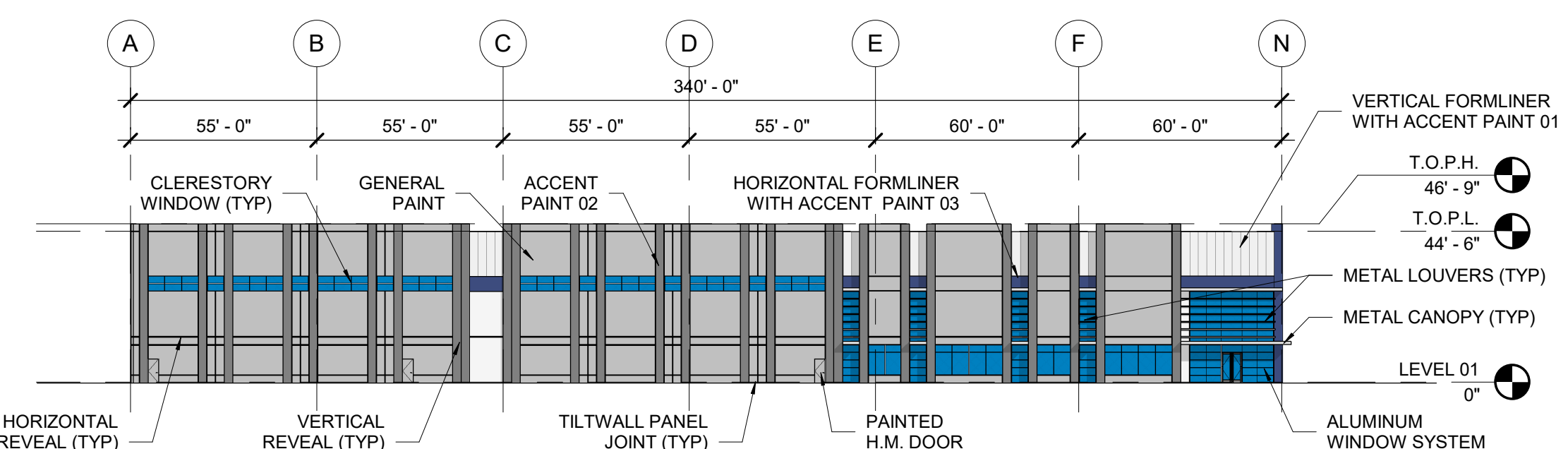
### MATERIALS LEGEND

- ALUMINUM / PREFINISHED METAL
- SOLID - GRAY (LIGHT) - GENERAL PAINT
- SOLID - WHITE - ACCENT 1
- SOLID - GRAY (DARK) - ACCENT PAINT 02
- SOLID - BLUE - ACCENT PAINT 03
- FORMLINER - HORIZONTAL
- FORMLINER - VERTICAL
- GLAZING - VISION
- GLAZING - SPANDREL



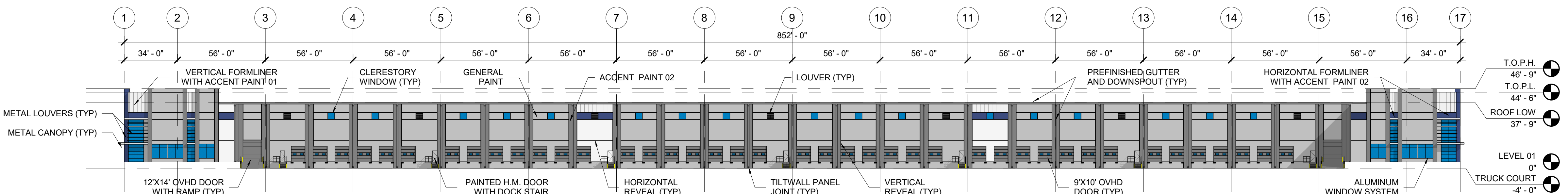
### NORTH ELEVATION

SCALE: 1" = 40'-0"



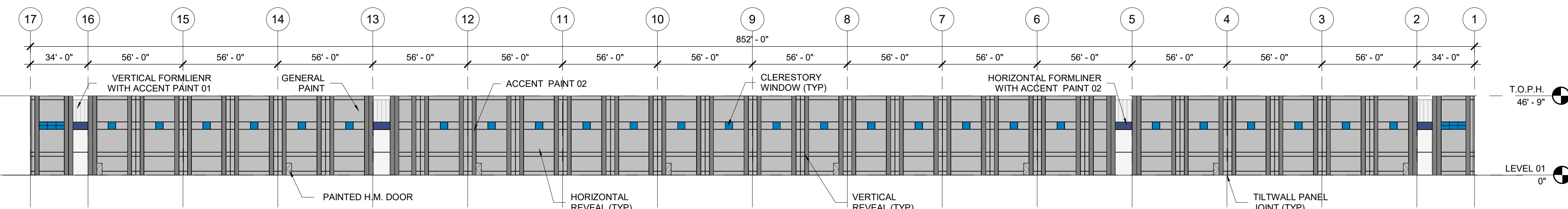
### SOUTH ELEVATION

SCALE: 1" = 40'-0"



### EAST ELEVATION

SCALE: 1" = 40'-0"



### WEST ELEVATION

SCALE: 1" = 40'-0"

### MANSFIELD BUSINESS PARK- EXHIBIT C ZC#21-009

146.50 ACRES OF LAND LOCATED IN THE  
V.M. STYLES SURVEY ABSTRACT NO. 791,  
J.Q. WHEELER SURVEY, ABSTRACT NO. 903 &  
S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006

**MANSFIELD BUSINESS PARK**  
A PROJECT FOR  
**STONELAKE CAPITAL PARTNERS**

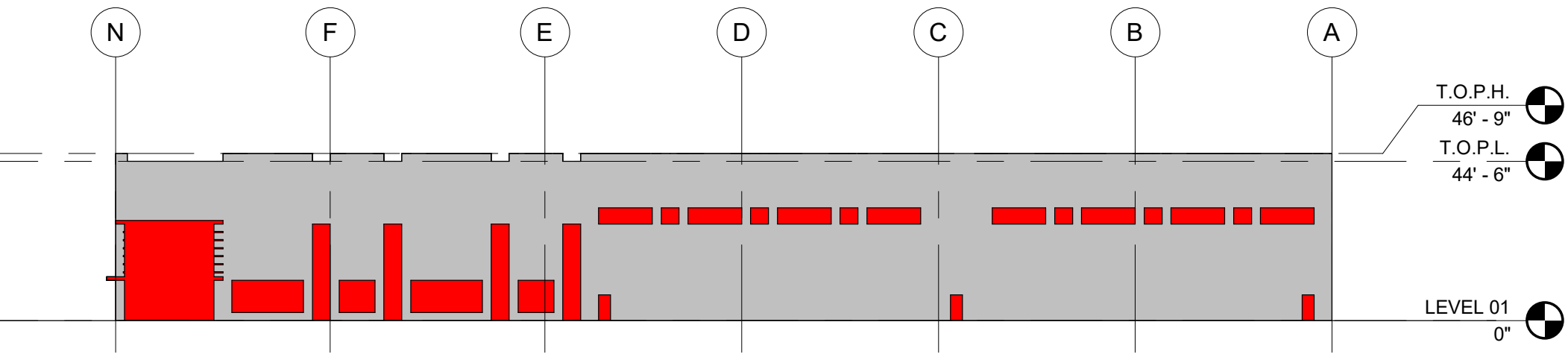
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BUILDING 1- MATERIALS DIAGRAMS- EXHIBIT C

MATERIALS DIAGRAM

SCALE: 1" = 40'-0"

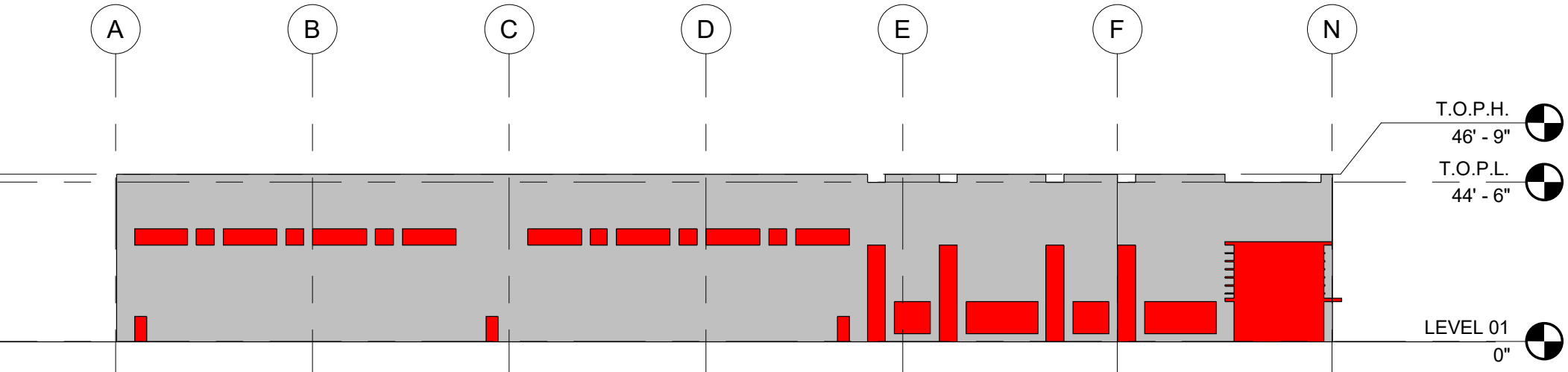


**NORTH FACADE:**  
TOTAL SURFACE AREA: 15,792 SF  
TILT WALL (MASONRY-LIKE-MATERIAL): 13,247 SF (83.9%)  
OTHER MATERIALS: 2,545 SF (16.1%)

**MASONRY-LIKE CONSTRUCTION MATERIALS –**  
MASONRY-LIKE CONSTRUCTION MATERIALS INCLUDE FIBER REINFORCED CEMENT EXTERIOR SIDING, STUCCO, EXTERIOR INSULATED FINISH SYSTEMS (E.I.F.S.), OR SIMILAR EXTERIOR CLADDING; AND CONCRETE TILT WALL, POUR-IN-PLACE CONCRETE WALL AND PRE-CAST WALL THAT ARE AT LEAST TWO (2) INCHES THICK AND THAT ARE PROFILED, SCULPTURED, FLUTED, EXPOSED-AGGREGATED OR HAVE OTHER NON-SMOOTH ARCHITECTURAL CONCRETE FINISH. ORD. NO. 1484, 5/10/04)

NORTH ELEVATION- MATERIALS

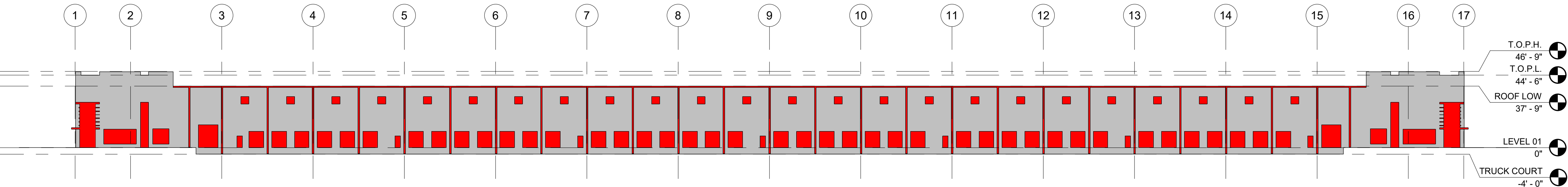
SCALE: 1" = 40'-0"



**SOUTH FACADE:**  
TOTAL SURFACE AREA: 15,792 SF  
TILT WALL (MASONRY-LIKE-MATERIAL): 13,247 SF (83.9%)  
OTHER MATERIALS: 2,545 SF (16.1%)

SOUTH ELEVATION- MATERIALS

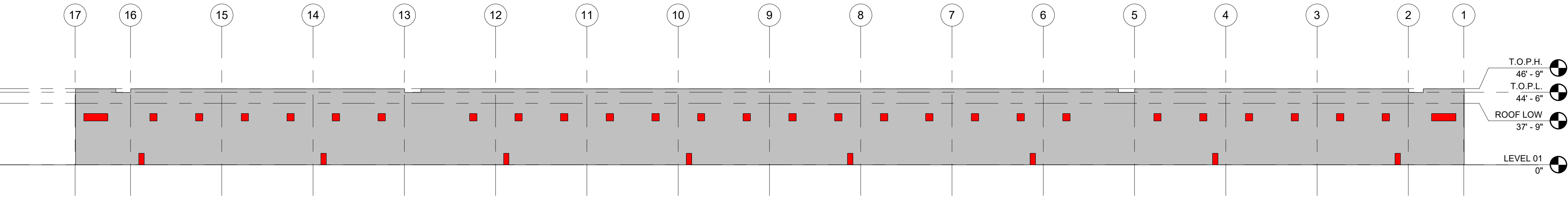
SCALE: 1" = 40'-0"



**EAST FACADE:**  
TOTAL SURFACE AREA: 35,988 SF  
TILT WALL (MASONRY-LIKE-MATERIAL): 28,197 SF (78.4%)  
OTHER MATERIALS: 7,791 SF (21.6%)

EAST ELEVATION- MATERIALS

SCALE: 1" = 40'-0"



**WEST FACADE:**  
TOTAL SURFACE AREA: 39,746 SF  
TILT WALL (MASONRY-LIKE-MATERIAL): 38,894 SF (97.9%)  
OTHER MATERIALS: 852 SF (2.1%)

WEST ELEVATION- MATERIALS

SCALE: 1" = 40'-0"

**MANSFIELD BUSINESS PARK- EXHIBIT C  
ZC#21-009**

146.50 ACRES OF LAND LOCATED IN THE  
V.M. STYLES SURVEY ABSTRACT NO. 791,  
J.Q. WHEELER SURVEY, ABSTRACT NO. 903 &  
S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006



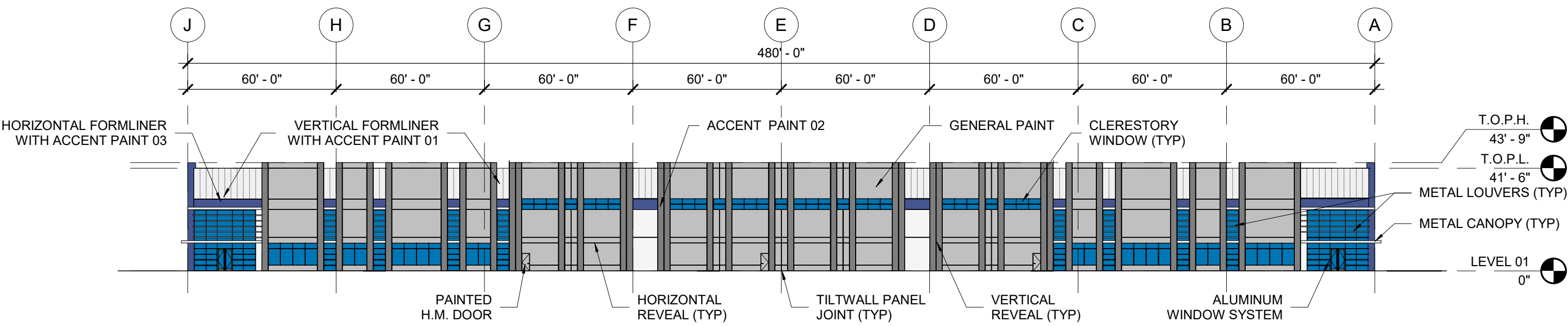
BUILDINGS 2 & 3- OVERALL ELEVATIONS- EXHIBIT C

ELEVATIONS

SCALE: 1" = 40'-0"

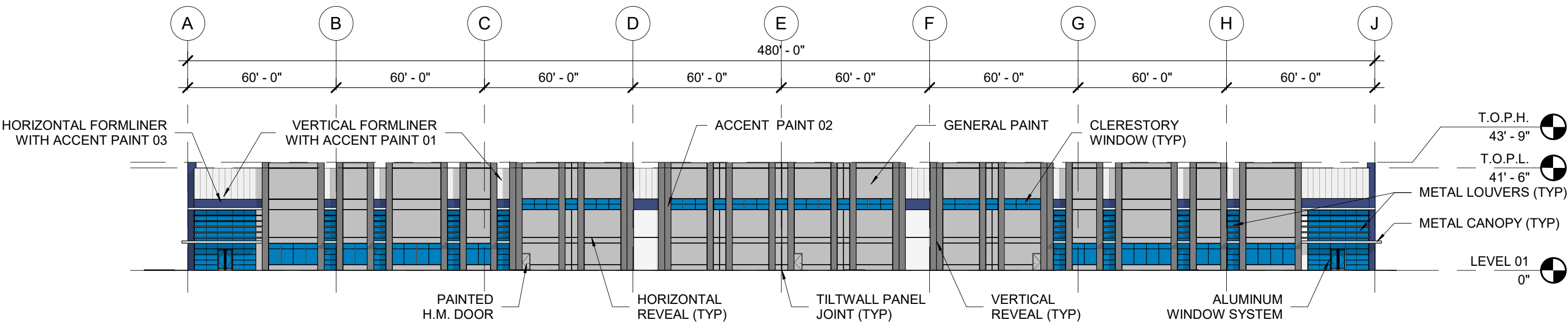


- MATERIALS LEGEND**
- ALUMINUM / PREFINISHED METAL
  - SOLID - GRAY (LIGHT) - GENERAL PAINT
  - SOLID - WHITE - ACCENT 1
  - SOLID - GRAY (DARK) - ACCENT PAINT 02
  - SOLID - BLUE - ACCENT PAINT 03
  - FORMLINER - HORIZONTAL
  - FORMLINER - VERTICAL
  - GLAZING - VISION
  - GLAZING - SPANDREL



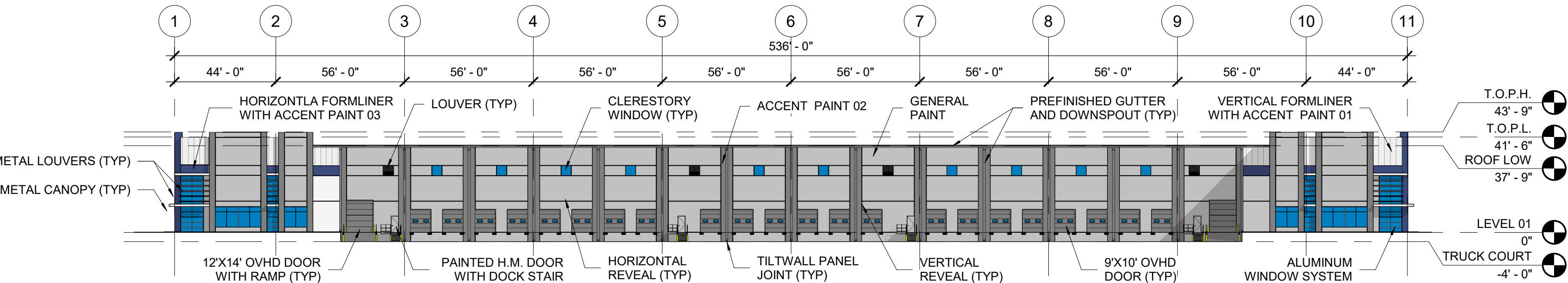
NORTH ELEVATION

SCALE: 1" = 40'-0"



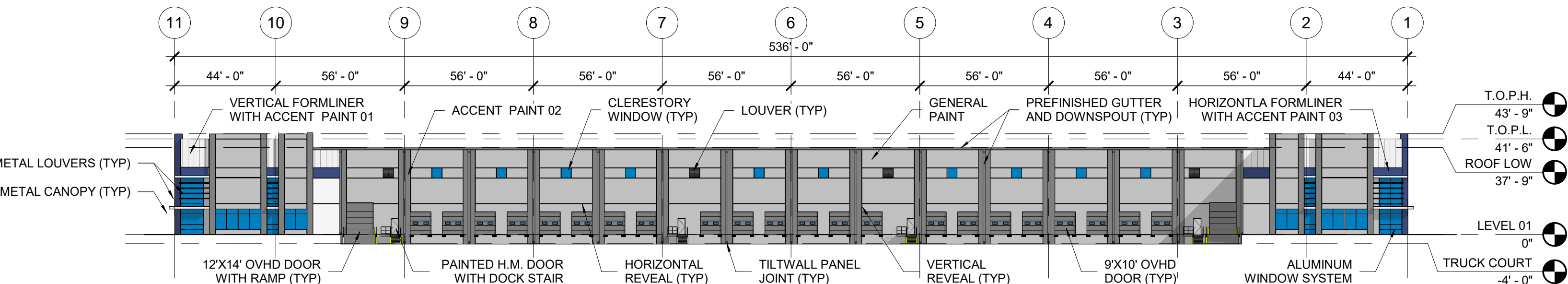
SOUTH ELEVATION

SCALE: 1" = 40'-0"



EAST ELEVATION

SCALE: 1" = 40'-0"



WEST ELEVATION

SCALE: 1" = 40'-0"

MANSFIELD BUSINESS PARK- EXHIBIT C  
ZC#21-009

146.50 ACRES OF LAND LOCATED IN THE  
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S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006

MANSFIELD BUSINESS PARK  
A PROJECT FOR  
STONELAKE CAPITAL PARTNERS

HOUSTON

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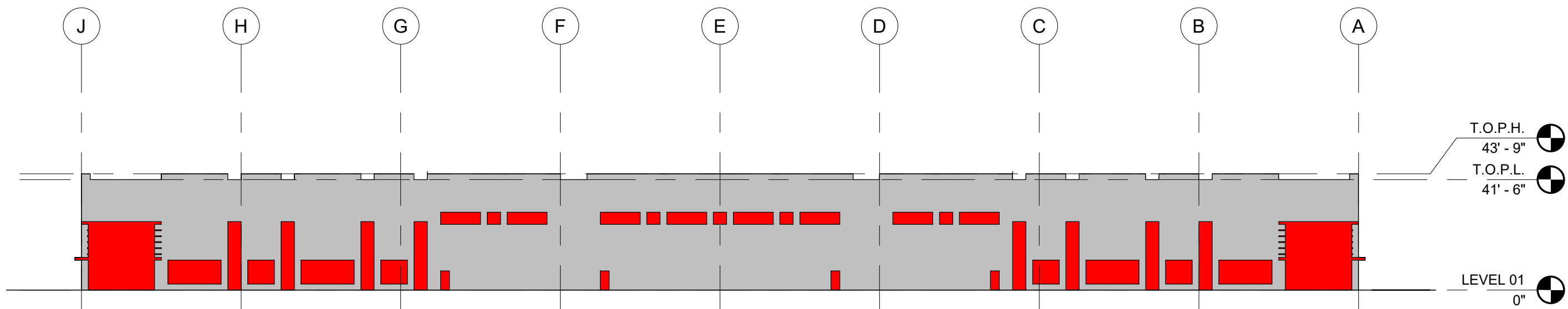
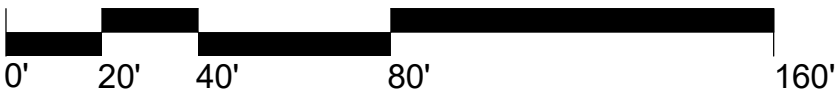
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BUILDINGS 2 & 3- MATERIALS DIAGRAMS- EXHIBIT C

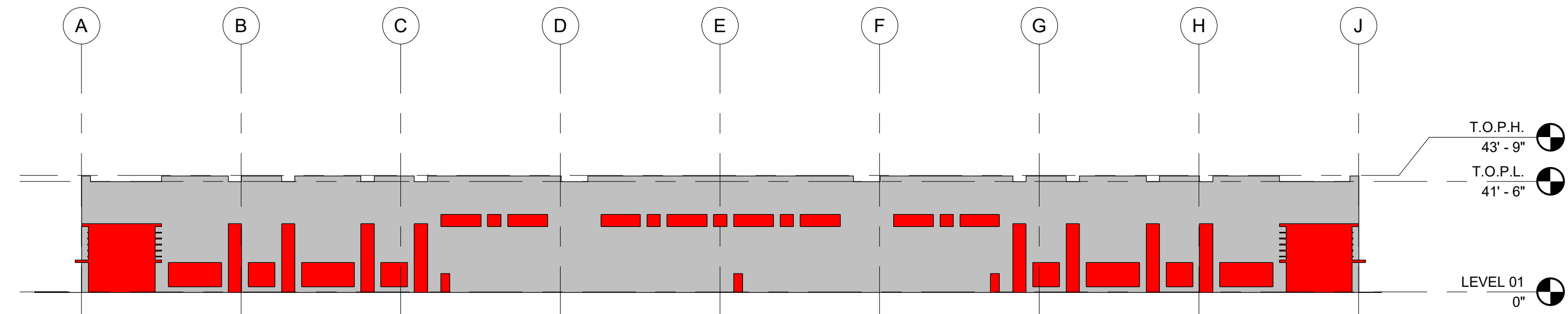
MATERIALS DIAGRAM

SCALE: 1" = 40'-0"



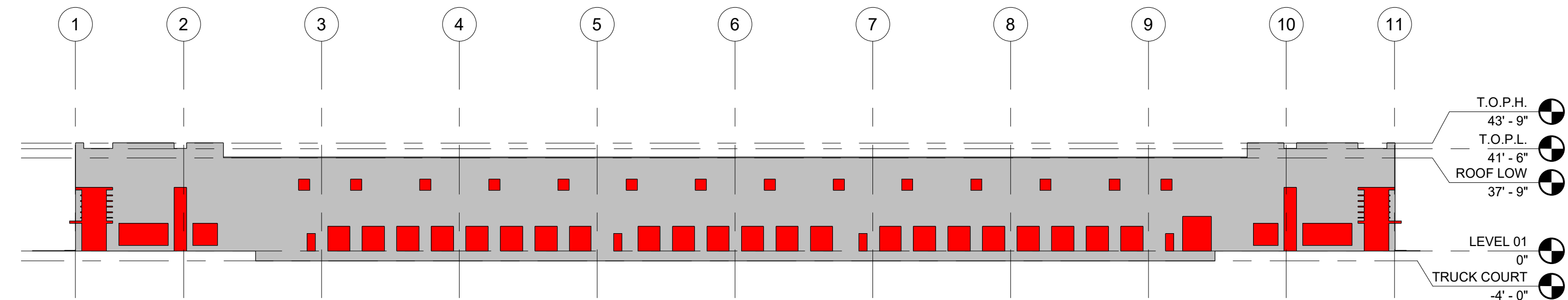
NORTH ELEVATION- MATERIALS

SCALE: 1" = 40'-0"



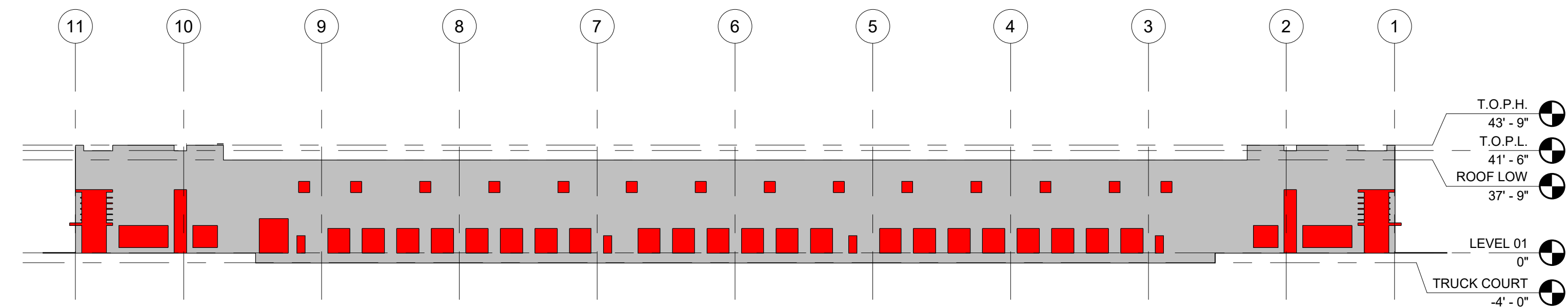
SOUTH ELEVATION- MATERIALS

SCALE: 1" = 40'-0"



EAST ELEVATION- MATERIALS

SCALE: 1" = 40'-0"



WEST ELEVATION- MATERIALS

SCALE: 1" = 40'-0"

**NORTH FACADE:**  
TOTAL SURFACE AREA: 20,750 SF  
TILT WALL (MASONRY-LIKE-MATERIAL): 16,594 SF (80.0%)  
OTHER MATERIALS: 4,156 SF (20.0%)

**SOUTH FACADE:**  
TOTAL SURFACE AREA: 20,750 SF  
TILT WALL (MASONRY-LIKE-MATERIAL): 16,594 SF (80.0%)  
OTHER MATERIALS: 4,156 SF (20.0%)

**EAST FACADE:**  
TOTAL SURFACE AREA: 22,439 SF  
TILT WALL (MASONRY-LIKE-MATERIAL): 18,564 SF (82.7%)  
OTHER MATERIALS: 3,875 SF (17.3%)

**WEST FACADE:**  
TOTAL SURFACE AREA: 22,439 SF  
TILT WALL (MASONRY-LIKE-MATERIAL): 18,564 SF (82.7%)  
OTHER MATERIALS: 3,875 SF (17.3%)

**MASONRY-LIKE CONSTRUCTION MATERIALS –**  
MASONRY-LIKE CONSTRUCTION MATERIALS INCLUDE FIBER REINFORCED CEMENT EXTERIOR SIDING, STUCCO, EXTERIOR INSULATED FINISH SYSTEMS (E.I.F.S.), OR SIMILAR EXTERIOR CLADDING; AND CONCRETE TILT WALL, POUR-IN-PLACE CONCRETE WALL AND PRE-CAST WALL THAT ARE AT LEAST TWO (2) INCHES THICK AND THAT ARE PROFILED, SCULPTURED, FLUTED, EXPOSED-AGGREGATED OR HAVE OTHER NON-SMOOTH ARCHITECTURAL CONCRETE FINISH. ORD. NO. 1484, 5/10/04)

**MANSFIELD BUSINESS PARK- EXHIBIT C  
ZC#21-009**

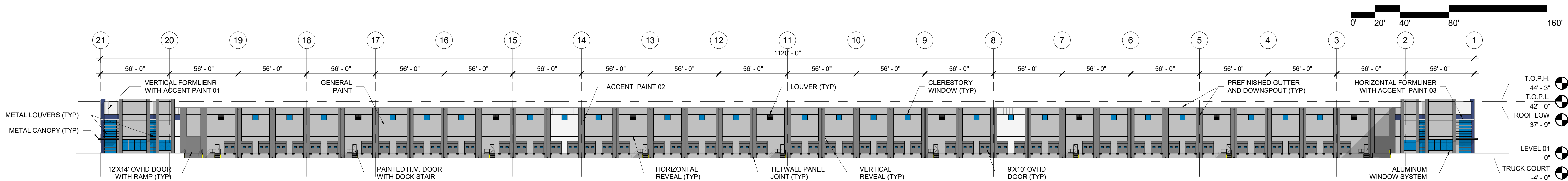
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J.Q. WHEELER SURVEY, ABSTRACT NO. 903 &  
S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006



BUILDING 4- OVERALL ELEVATIONS- EXHIBIT C

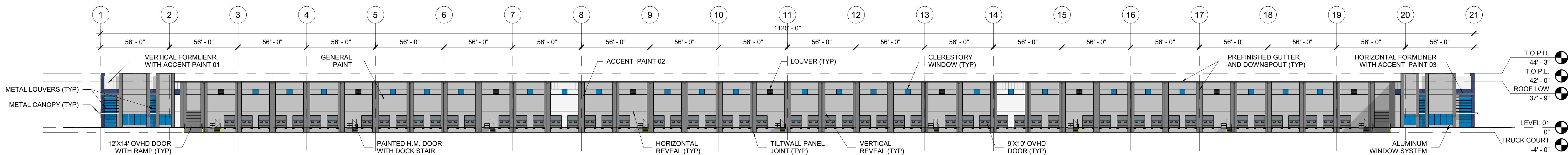
ELEVATIONS

SCALE: 1" = 40'-0"



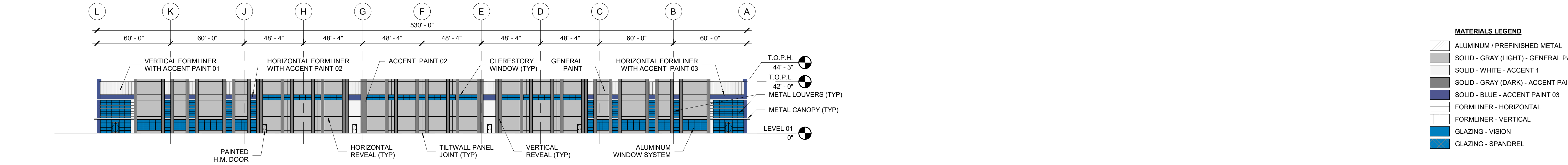
NORTH ELEVATION

SCALE: 1" = 40'-0"



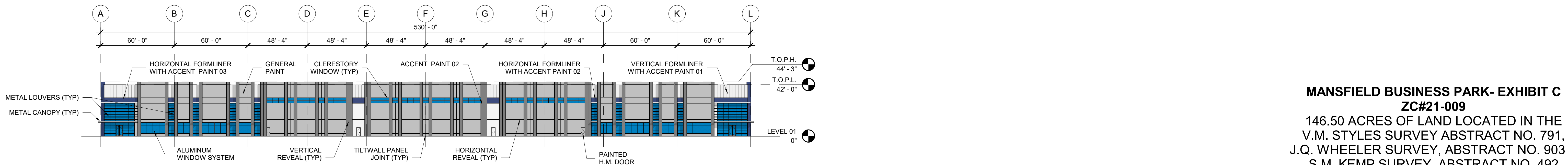
SOUTH ELEVATION

SCALE: 1" = 40'-0"



EAST ELEVATION

SCALE: 1" = 40'-0"



WEST ELEVATION

SCALE: 1" = 40'-0"

**MATERIALS LEGEND**

|           |                                       |
|-----------|---------------------------------------|
| [Pattern] | ALUMINUM / PREFINISHED METAL          |
| [Pattern] | SOLID - GRAY (LIGHT) - GENERAL PAINT  |
| [Pattern] | SOLID - WHITE - ACCENT 1              |
| [Pattern] | SOLID - GRAY (DARK) - ACCENT PAINT 02 |
| [Pattern] | SOLID - BLUE - ACCENT PAINT 03        |
| [Pattern] | FORMLINER - HORIZONTAL                |
| [Pattern] | FORMLINER - VERTICAL                  |
| [Pattern] | GLAZING - VISION                      |
| [Pattern] | GLAZING - SPANDREL                    |

**MANSFIELD BUSINESS PARK- EXHIBIT C**  
**ZC#21-009**  
146.50 ACRES OF LAND LOCATED IN THE  
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MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006

**MANSFIELD BUSINESS PARK**  
A PROJECT FOR  
**STONELAKE CAPITAL PARTNERS**

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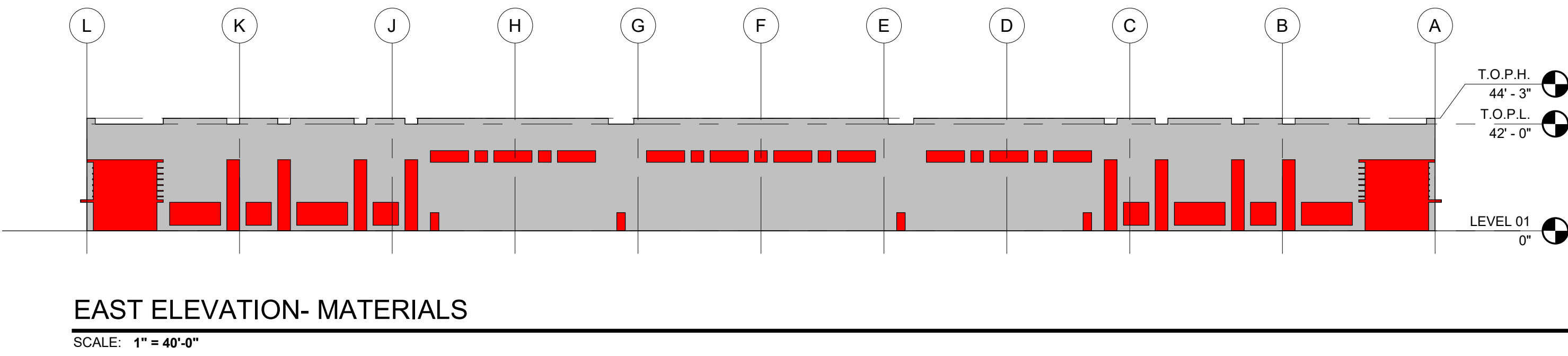
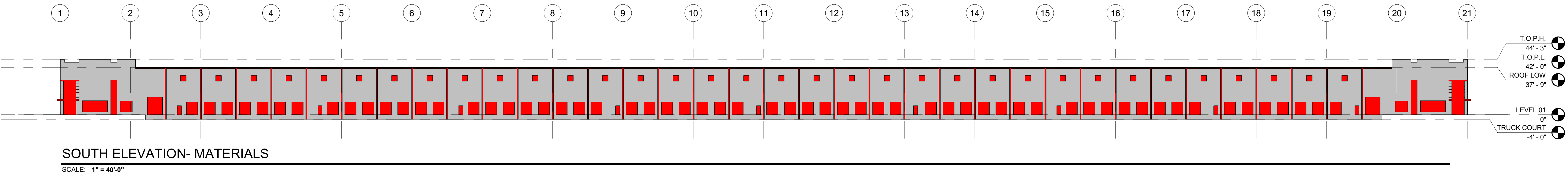
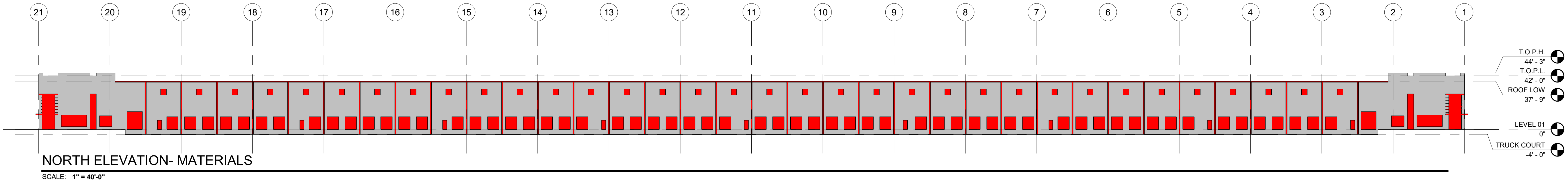
BUILDING 4- MATERIALS DIAGRAMS- EXHIBIT C

MATERIALS DIAGRAM

SCALE: 1" = 40'-0"



**NORTH FACADE:**  
TOTAL SURFACE AREA: 46,924 SF  
TILTWALL (MASONRY-LIKE-MATERIAL): 36,875 SF (78.6%)  
OTHER MATERIALS: 10,049 SF (21.4%)

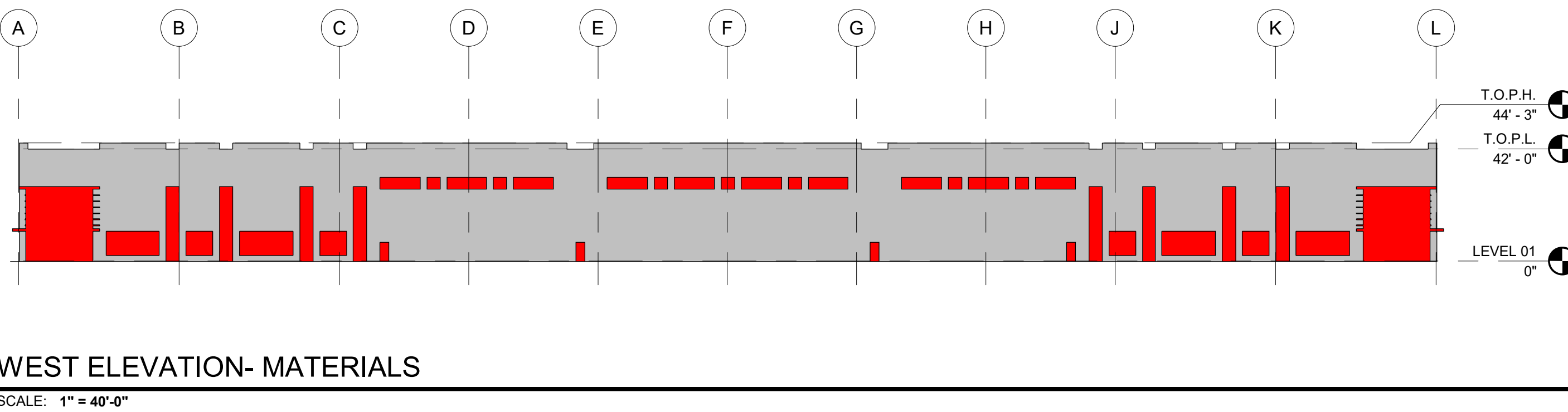


**EAST FACADE:**  
TOTAL SURFACE AREA: 23,202 SF  
TILTWALL (MASONRY-LIKE-MATERIAL): 18,638 SF (80.3%)  
OTHER MATERIALS: 4,564 SF (19.7%)

**SOUTH FACADE:**  
TOTAL SURFACE AREA: 46,924 SF  
TILTWALL (MASONRY-LIKE-MATERIAL): 36,875 SF (78.6%)  
OTHER MATERIALS: 10,049 SF (21.4%)

**MASONRY-LIKE CONSTRUCTION MATERIALS –**  
MASONRY-LIKE CONSTRUCTION MATERIALS INCLUDE FIBER REINFORCED CEMENT EXTERIOR SIDING, STUCCO, EXTERIOR INSULATED FINISH SYSTEMS (E.I.F.S.), OR SIMILAR EXTERIOR CLADDING; AND CONCRETE TILT WALL, POUR-IN-PLACE CONCRETE WALL AND PRE-CAST WALL THAT ARE AT LEAST TWO (2) INCHES THICK AND THAT ARE PROFILED, SCULPTURED, FLUTED, EXPOSED-AGGREGATED OR HAVE OTHER NON-SMOOTH ARCHITECTURAL CONCRETE FINISH. ORD. NO. 1484, 5/10/04)

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OTHER MATERIALS: 4,564 SF (19.7%)



**MANSFIELD BUSINESS PARK- EXHIBIT C  
ZC#21-009**

146.50 ACRES OF LAND LOCATED IN THE V.M. STYLES SURVEY ABSTRACT NO. 791, J.Q. WHEELER SURVEY, ABSTRACT NO. 903 & S.M. KEMP SURVEY, ABSTRACT NO. 492 MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006



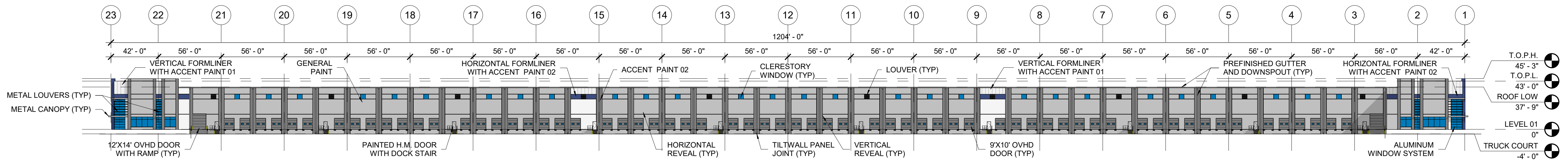
BUILDING 5- OVERALL ELEVATIONS- EXHIBIT C

ELEVATIONS

SCALE: 1" = 50'-0"

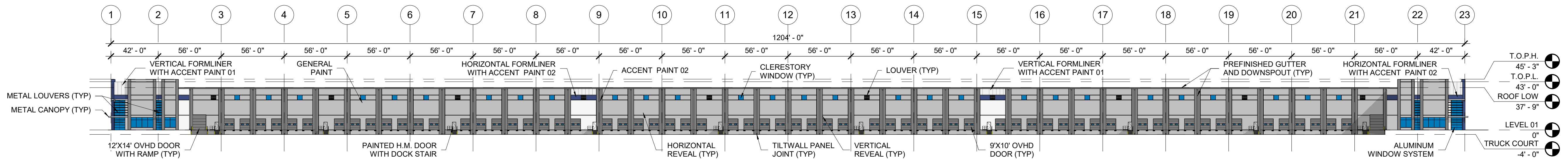


- MATERIALS LEGEND**
- ALUMINUM / PREFINISHED METAL
  - SOLID - GRAY (LIGHT) - GENERAL PAINT
  - SOLID - WHITE - ACCENT 1
  - SOLID - GRAY (DARK) - ACCENT PAINT 02
  - SOLID - BLUE - ACCENT PAINT 03
  - FORMLINER - HORIZONTAL
  - FORMLINER - VERTICAL
  - GLAZING - VISION
  - GLAZING - SPANDREL



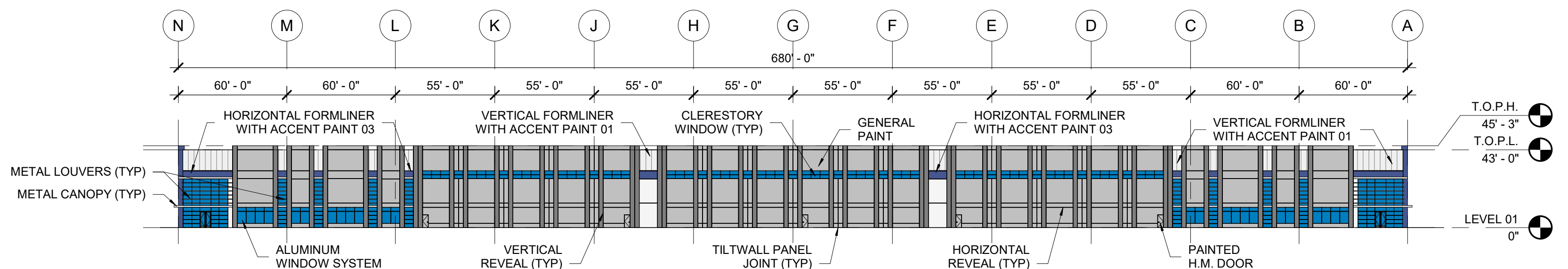
NORTH ELEVATION

SCALE: 1" = 50'-0"



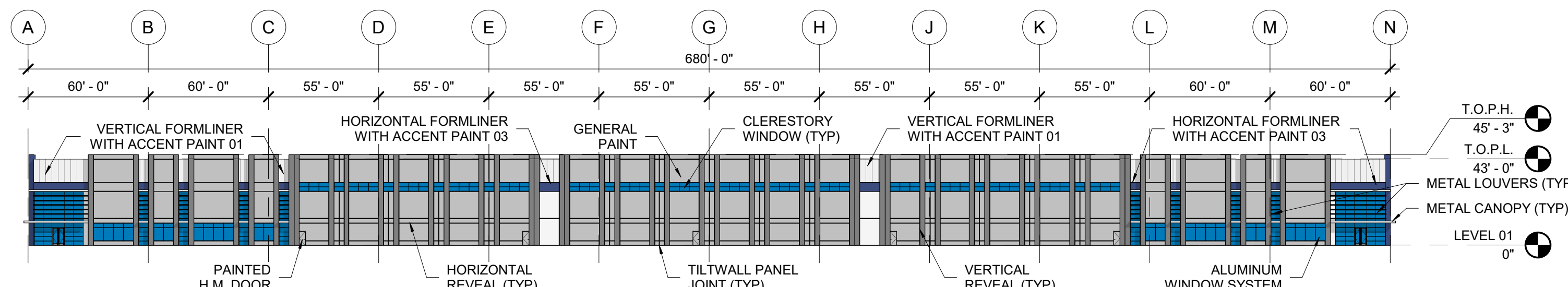
SOUTH ELEVATION

SCALE: 1" = 50'-0"



EAST ELEVATION

SCALE: 1" = 50'-0"



WEST ELEVATION

SCALE: 1" = 50'-0"

**MANSFIELD BUSINESS PARK- EXHIBIT C**  
**ZC#21-009**  
146.50 ACRES OF LAND LOCATED IN THE  
V.M. STYLES SURVEY ABSTRACT NO. 791,  
J.Q. WHEELER SURVEY, ABSTRACT NO. 903 &  
S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006

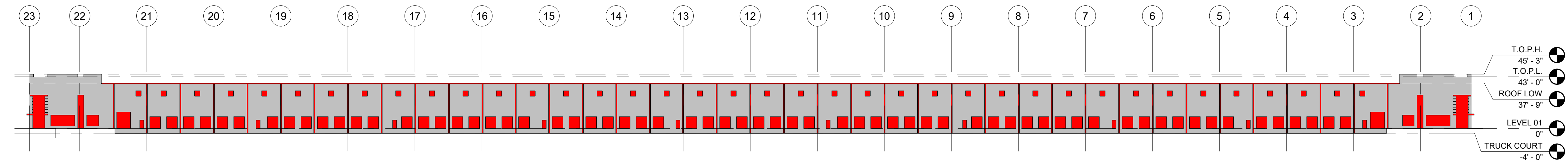
**MANSFIELD BUSINESS PARK**  
A PROJECT FOR  
**STONELAKE CAPITAL PARTNERS**



BUILDING 5- MATERIALS DIAGRAMS- EXHIBIT C

MATERIALS DIAGRAM

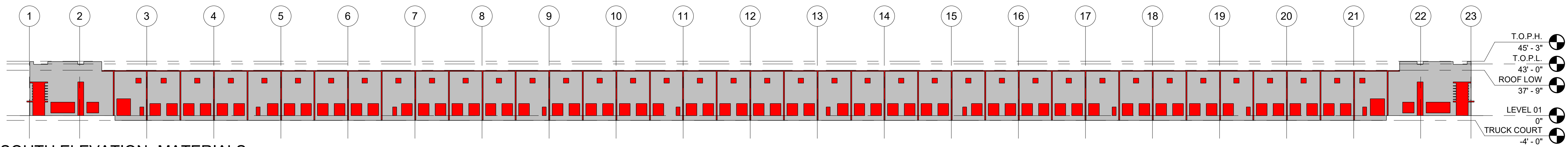
SCALE: 1" = 50'-0"



NORTH ELEVATION- MATERIALS

SCALE: 1" = 50'-0"

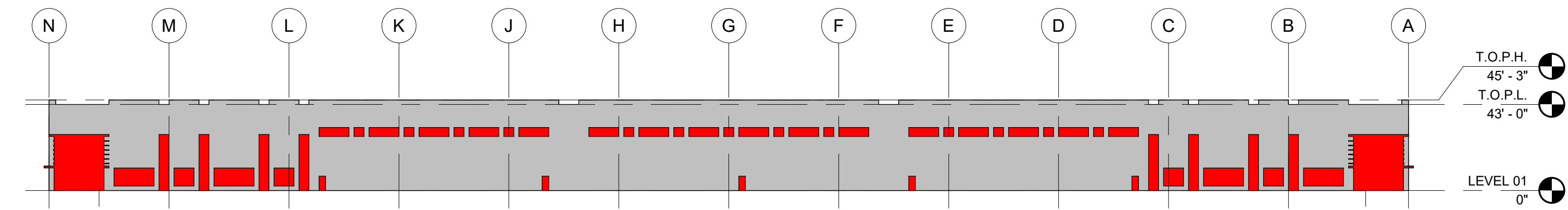
**NORTH FACADE:**  
TOTAL SURFACE AREA: 50,529 SF  
MASONRY MATERIALS: 39,704 SF (78.6%)  
OTHER MATERIALS: 10,825 SF (21.4%)



SOUTH ELEVATION- MATERIALS

SCALE: 1" = 50'-0"

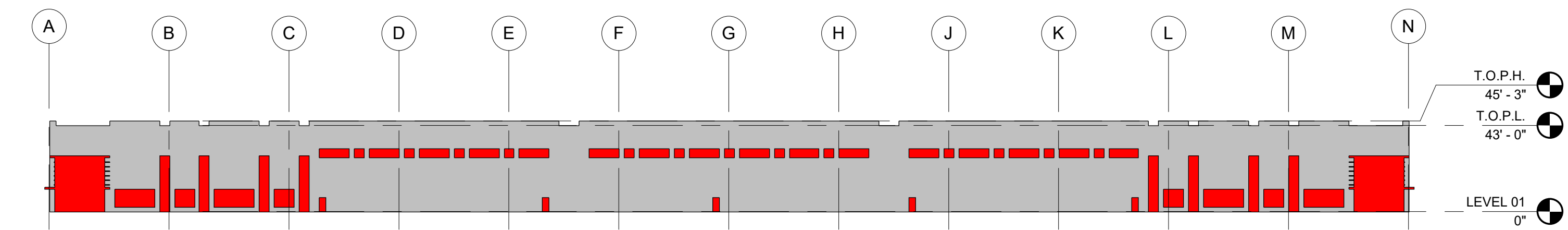
**SOUTH FACADE:**  
TOTAL SURFACE AREA: 50,529 SF  
MASONRY MATERIALS: 39,704 SF (78.6%)  
OTHER MATERIALS: 10,825 SF (21.4%)



EAST ELEVATION- MATERIALS

SCALE: 1" = 50'-0"

**EAST FACADE:**  
TOTAL SURFACE AREA: 30,520 SF  
MASONRY MATERIALS: 25,392 SF (83.2%)  
OTHER MATERIALS: 5,128 SF (16.8%)



WEST ELEVATION- MATERIALS

SCALE: 1" = 50'-0"

**WEST FACADE:**  
TOTAL SURFACE AREA: 30,520 SF  
MASONRY MATERIALS: 25,392 SF (83.2%)  
OTHER MATERIALS: 5,128 SF (16.8%)

MANSFIELD BUSINESS PARK- EXHIBIT C  
ZC#21-009

146.50 ACRES OF LAND LOCATED IN THE  
V.M. STYLES SURVEY ABSTRACT NO. 791,  
J.Q. WHEELER SURVEY, ABSTRACT NO. 903 &  
S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006



BUILDING IMAGE- EXHIBIT C

CORNER ENTRY



**MANSFIELD BUSINESS PARK- EXHIBIT C**  
**ZC#21-009**

146.50 ACRES OF LAND LOCATED IN THE  
V.M. STYLES SURVEY ABSTRACT NO. 791,  
J.Q. WHEELER SURVEY, ABSTRACT NO. 903 &  
S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006

\*RENDERING IS REPRESENTATIVE OF DESIGN INTENT ONLY. IT IS NOT A PHOTOREALISTIC REPRESENTATION OF ACTUAL MATERIALS PROPOSED AND SHOULD BE CONSIDERED PRELIMINARY AT ALL STAGES.

**MANSFIELD BUSINESS PARK**  
A PROJECT FOR  
**STONELAKE CAPITAL PARTNERS**

HOUSTON

09/14/21

TEXAS

JT

211057

powers  
brown  
archi-  
tecture

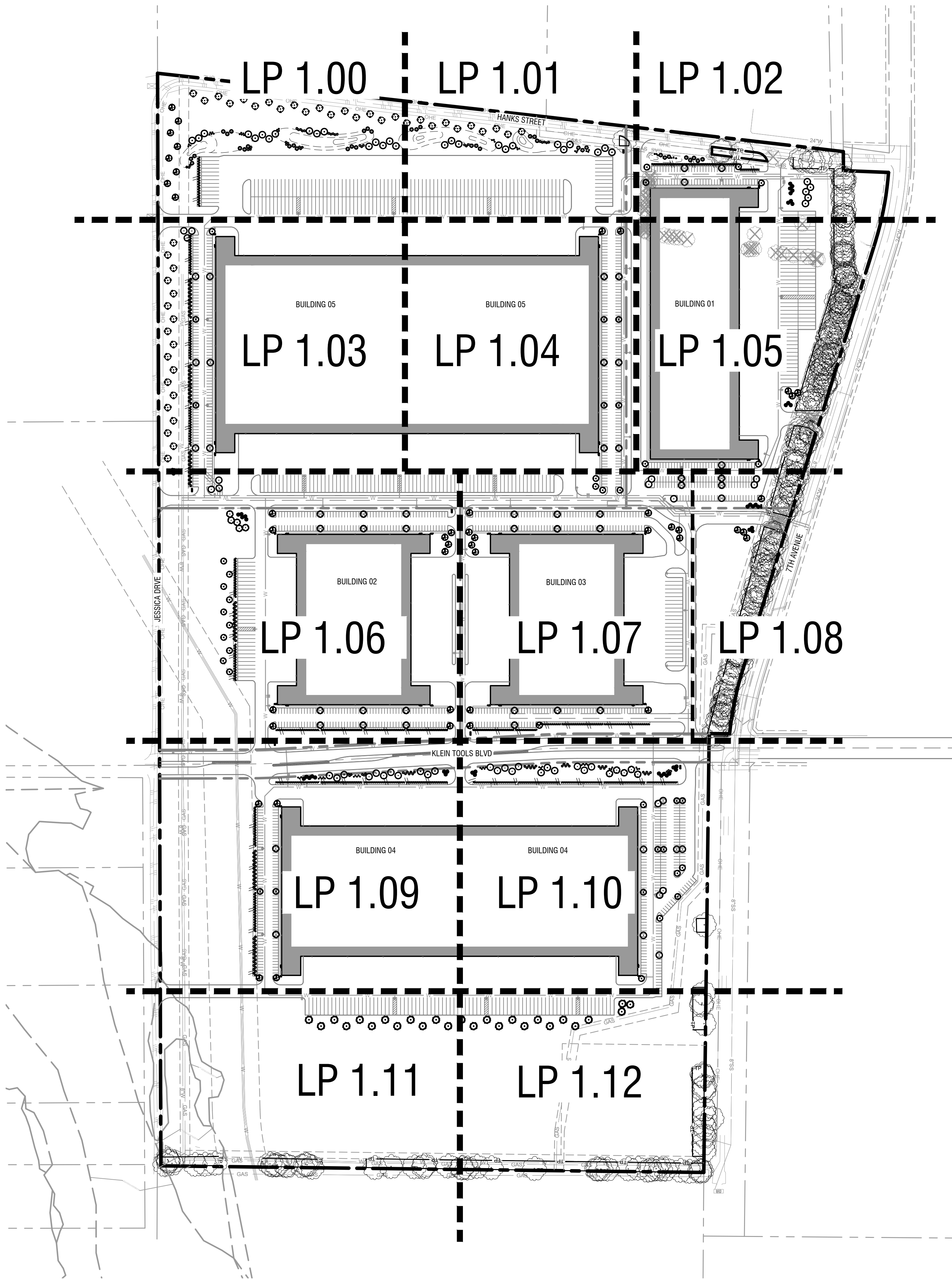


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| City of Mansfield, Texas - Tree Preservation Table |      |                  |                                   |           |             |                |
|--|------|------------------|-----------------------------------|-----------|-------------|----------------|
| Tag #  | DBH  | Common Name      | Scientific Name                   | Condition | Class       | Status Credits |
| 8330   | 13.6 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8331   | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8332   | 7.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8333   | 6.7  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8334   | 8.5  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 3       |
| 8335   | 14.1 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8336   | 13.4 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 3       |
| 8337   | 14.8 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8338   | 6.3  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8339   | 12.1 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8340   | 13.4 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8341   | 18.8 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 4       |
| 8342   | 11.0 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8343   | 8.9  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8344   | 13.9 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 3       |
| 8345   | 7.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8346   | 7.3  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 2       |
| 8347   | 6.5  | Hercules-club    | <i>Zanthoxylum clava-herculis</i> | Declining | Unprotected | Remain 2       |
| 8348   | 7.1  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8349   | 7.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8350   | 7.8  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8351   | 11.2 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8352   | 12.4 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8353   | 8.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8354   | 6.7  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8355   | 14.0 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8356   | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8357   | 6.1  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8358   | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8359   | 7.1  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8360   | 8.1  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8361   | 9.8  | hackberry        | <i>Celtis laevigata</i>           | Hazard    | Unprotected | Remain 3       |
| 8362   | 6.8  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 2       |
| 8363   | 6.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8364   | 8.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8365   | 8.6  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8366   | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8367   | 8.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8368   | 6.1  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8369   | 11.2 | hackberry        | <i>Celtis laevigata</i>           | Hazard    | Unprotected | Remain 3       |
| 8370   | 11.6 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 3       |
| 8371   | 6.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8372   | 8.7  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8373   | 7.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8374   | 9.3  | Osage-orange     | <i>Maclura pomifera</i>           | Declining | Unprotected | Remain 3       |
| 8375   | 14.4 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 3       |
| 8376   | 9.2  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 3       |
| 8377   | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 2       |
| 8378   | 8.5  | Chinaberry       | <i>Melia azedarach</i>            | Healthy   | Protected   | Remain 3       |
| 8379   | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8380   | 7.3  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8381   | 9.8  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8382   | 14.7 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8383   | 7.4  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8384   | 6.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8385   | 7.2  | Chinaberry       | <i>Melia azedarach</i>            | Healthy   | Protected   | Remain 2       |
| 8386   | 6.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8387   | 8.2  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8388   | 7.4  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8389   | 8.8  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8390   | 6.4  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8391   | 7.3  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8392   | 13.1 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8393   | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8394   | 6.1  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8395   | 18.8 | Osage-orange     | <i>Maclura pomifera</i>           | Declining | Unprotected | Remain 4       |
| 8396   | 8.5  | hackberry        | <i>Celtis laevigata</i>           | Hazard    | Unprotected | Remain 3       |
| 8397   | 7.7  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8398   | 8.6  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8399   | 6.4  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8400   | 14.5 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8401   | 8.0  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 2       |
| 8402   | 6.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8403   | 10.1 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8404   | 6.4  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 2       |
| 8405   | 6.8  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 2       |
| 8406   | 9.1  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 3       |
| 8407   | 9.7  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8408   | 13.4 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 3       |
| 8409   | 6.6  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8410   | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8411   | 11.5 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 3       |
| 8412   | 7.6  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8413   | 14.7 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 3       |
| 8414   | 8.0  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 2       |
| 8415   | 16.5 | Osage-orange     | <i>Maclura pomifera</i>           | Hazard    | Unprotected | Remain 4       |
| 8416   | 12.7 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 3       |
| 8417   | 8.1  | gum bumelia      | <i>Sideroxylon lanuginosum</i>    | Healthy   | Protected   | Remain 3       |
| 8418   | 9.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8419   | 14.2 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8420   | 7.7  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 2       |
| 8421   | 6.2  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8422   | 6.0  | Hercules-club    | <i>Zanthoxylum clava-herculis</i> | Healthy   | Protected   | Remain 2       |
| 8423   | 6.4  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8424   | 6.0  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 2       |
| 8425   | 6.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 2       |
| 8426   | 6.4  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 2       |
| 8427   | 8.2  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain 3       |
| 8428   | 10.5 | eastern redcedar | <i>Juniperus virginiana</i>       | Healthy   | Protected   | Remain 3       |
| 8429   | 6.6  | Hercules-club    | <i>Zanthoxylum clava-herculis</i> | Declining | Unprotected | Remain 2       |
| 8430   | 7.0  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 2       |
| 8431   | 6.0  | eastern redcedar | <i>Juniperus virginiana</i>       | Healthy   | Protected   | Remain 2       |
| 8432   | 8.6  | Osage-orange     | <i>Maclura pomifera</i>           | Hazard    | Unprotected | Remain 3       |
| 8433   | 6.4  | Osage-orange     | <i>Maclura pomifera</i>           | Hazard    | Unprotected | Remain 2       |
| 8434   | 6.0  | Osage-orange     | <i>Maclura pomifera</i>           | Declining | Unprotected | Remain 2       |
| 8435   | 18.5 | Osage-orange     | <i>Maclura pomifera</i>           | Hazard    | Unprotected | Remain 4       |
| 8436   | 10.6 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain 3       |
| 8437   | 20.2 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain 4       |

|      |      |                  |                                   |           |             |        |   |
|------|------|------------------|-----------------------------------|-----------|-------------|--------|---|
| 8438 | 6.4  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8439 | 8.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8440 | 7.5  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 2 |
| 8441 | 14.5 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8442 | 6.4  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8443 | 7.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8444 | 15.2 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 4 |
| 8445 | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8446 | 7.3  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8447 | 14.2 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8448 | 18.9 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remove | 0 |
| 8449 | 13.7 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remove | 0 |
| 8450 | 6.8  | eastern redcedar | <i>Juniperus virginiana</i>       | Healthy   | Protected   | Remove | 0 |
| 8451 | 12.2 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remove | 0 |
| 8452 | 13.1 | eastern redcedar | <i>Juniperus virginiana</i>       | Healthy   | Protected   | Remove | 0 |
| 8453 | 7.0  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8454 | 8.1  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8455 | 9.2  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8456 | 9.7  | Hercules-club    | <i>Zanthoxylum clava-herculis</i> | Healthy   | Protected   | Remain | 2 |
| 8457 | 18.7 | Osage-orange     | <i>Maclura pomifera</i>           | Declining | Unprotected | Remain | 4 |
| 8458 | 6.0  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8459 | 6.0  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8460 | 23.7 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 4 |
| 8461 | 6.8  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8462 | 6.6  | honey locust     | <i>Gleditsia triacanthos</i>      | Healthy   | Protected   | Remain | 2 |
| 8463 | 9.4  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8464 | 9.7  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8465 | 14.7 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8466 | 7.8  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8467 | 15.5 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 4 |
| 8468 | 8.4  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8469 | 20.2 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 4 |
| 8470 | 12.0 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8471 | 6.0  | Hercules-club    | <i>Zanthoxylum clava-herculis</i> | Healthy   | Protected   | Remain | 2 |
| 8472 | 9.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8473 | 6.8  | hackberry        | <i>Celtis laevigata</i>           | Hazard    | Unprotected | Remain | 2 |
| 8474 | 18.0 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 4 |
| 8475 | 6.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8476 | 6.2  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 2 |
| 8477 | 10.3 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8478 | 7.3  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8479 | 20.1 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 4 |
| 8480 | 9.7  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8481 | 13.9 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8482 | 13.8 | eastern redcedar | <i>Juniperus virginiana</i>       | Healthy   | Protected   | Remain | 3 |
| 8483 | 13.6 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8484 | 15.7 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 4 |
| 8485 | 9.7  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 3 |
| 8486 | 21.4 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 4 |
| 8487 | 6.3  | Osage-orange     | <i>Maclura pomifera</i>           | Hazard    | Unprotected | Remain | 2 |
| 8488 | 23.2 | Osage-orange     | <i>Maclura pomifera</i>           | Declining | Unprotected | Remain | 4 |
| 8489 | 7.2  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8490 | 7.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8491 | 7.3  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8492 | 6.4  | Osage-orange     | <i>Maclura pomifera</i>           | Declining | Unprotected | Remain | 2 |
| 8493 | 8.6  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remove | 0 |
| 8494 | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remove | 0 |
| 8495 | 8.9  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remove | 0 |
| 8496 | 20.9 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remove | 0 |
| 8497 | 11.5 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remove | 0 |
| 8498 | 6.3  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remove | 0 |
| 8499 | 8.0  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remove | 0 |
| 8500 | 7.1  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remove | 0 |
| 8501 | 7.8  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remove | 0 |
| 8502 | 6.3  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remove | 0 |
| 8503 | 10.6 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remove | 0 |
| 8504 | 12.6 | Osage-orange     | <i>Maclura pomifera</i>           | Declining | Unprotected | Remain | 3 |
| 8505 | 6.9  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8506 | 11.0 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 3 |
| 8507 | 12.2 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8508 | 12.5 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 3 |
| 8509 | 6.1  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8510 | 9.8  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8511 | 7.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8512 | 6.4  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8513 | 6.7  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8514 | 7.0  | eastern redcedar | <i>Juniperus virginiana</i>       | Healthy   | Protected   | Remain | 2 |
| 8515 | 10.3 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 3 |
| 8516 | 8.0  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8517 | 13.2 | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 3 |
| 8518 | 6.4  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8519 | 10.7 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8520 | 11.9 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8521 | 9.2  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 3 |
| 8522 | 7.4  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8523 | 13.9 | slippery elm     | <i>Ulmus rubra</i>                | Healthy   | Protected   | Remain | 3 |
| 8524 | 8.5  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 3 |
| 8525 | 12.8 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8526 | 10.9 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8527 | 12.9 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8528 | 6.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8529 | 6.0  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8530 | 6.7  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 2 |
| 8531 | 6.5  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8532 | 8.6  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8533 | 10.3 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 3 |
| 8534 | 10.7 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8535 | 10.8 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8536 | 10.1 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8537 | 6.9  | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 2 |
| 8538 | 8.3  | hackberry        | <i>Celtis laevigata</i>           | Declining | Unprotected | Remain | 3 |
| 8539 | 15.6 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 4 |
| 8540 | 6.4  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8541 | 10.5 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 3 |
| 8542 | 6.3  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |
| 8543 | 16.2 | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 4 |
| 8544 | 18.0 | Osage-orange     | <i>Maclura pomifera</i>           | Healthy   | Unprotected | Remain | 4 |
| 8545 | 7.6  | hackberry        | <i>Celtis laevigata</i>           | Healthy   | Protected   | Remain | 2 |

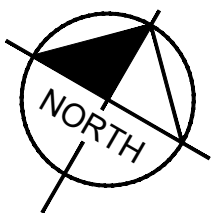




| PLANT SCHEDULE |               |              |  |                         |          |              |   |
|----------------|---------------|--------------|--|-------------------------|----------|--------------|---|
| TREES          | CODE          | QTY          | BOTANICAL / COMMON NAME                                      | CONT                    | CAL      | HT           | REMARKS   |
|                | UP            | 44           | ULMUS PARVIFOLIA SEMPERVIRENS 'ATHENA' / ATHENA LACEBARK ELM | B & B                   | 3" CAL   | 12' -14' HT. | STRONG, CENTRAL LEADER, FULL                                |
|                | TD            | 26           | TAXODIUM DISTICHUM / BALD CYPRESS                            | B & B                   | 3" CAL   | 12' -14' HT. | STRONG, CENTRAL LEADER, FULL                                |
|                | UC            | 44           | ULMUS CRASSIFOLIA / CEDAR ELM                                | B & B                   | 3" CAL   | 12' -14' HT. | STRONG, CENTRAL LEADER, FULL                                |
|                | PC            | 40           | PISTACIA CHINENSIS / CHINESE PISTACHE                        | B & B                   | 3" CAL   | 12' -14' HT. | STRONG, CENTRAL LEADER, FULL                                |
|                | QA            | 46           | QUERCUS ACUMINATA / CHINKAPIN OAK                            | B & B                   | 3" CAL   | 12' -14' HT. | STRONG, CENTRAL LEADER, FULL                                |
|                | LT            | 43           | LAGERSTROEMIA INDICA 'TUSCARORA' / CRAPE MYRTLE TUSCARORA    | CONT.                   | 1.5" CAL | 8'-10' HT.   | MULTI-TRUNK (3-5 STEMS), FULL AND MATCHING                  |
|                | QS            | 45           | QUERCUS SHUMARDII / SHUMARDI RED OAK                         | B & B                   | 3" CAL   | 12' -14' HT. | STRONG, CENTRAL LEADER, FULL                                |
|                | DV            | 42           | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                       | B & B                   | 3" CAL   | 12' -14' HT. | STRONG, CENTRAL LEADER, FULL                                |
|                | SM            | 20           | SOPHORA SECUNDIFLORA / TEXAS MOUNTAIN LAUREL                 | CONT                    | 2" CAL   | 6'-8' HT.    | MULTI-TRUNK (3-5 STEMS), FULL AND MATCHING                  |
|                | CC            | 18           | CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD                  | CONT.                   | 2" CAL   | 6'-8' HT.    | SINGLE STEM, FULL   |
| SHRUBS         | CODE          | QTY          | BOTANICAL / COMMON NAME                                      | CONT                    | SIZE     | SPACING      | REMARKS   |
|                | IC            | 254          | ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY          | CONT.                   | 36" HT   | 36" O.C.     | FULL AND MATCHING   |
|                | MP            | 454          | MYRICA PUSILLA / DWARF SOUTHERN WAX MYRTLE                   | CONT.                   | 36" HT   | 36" O.C.     | FULL AND MATCHING   |
|                | AE            | 387          | ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA        | CONT.                   | 36" HT   | 36" O.C.     | FULL AND MATCHING   |
|                | ML            | 135          | MUHLENBERGIA LINDEHEIMERI / LINDEHEIMER'S MUHLY              | CONT.                   | 24" HT   | 36" O.C.     | FULL AND MATCHING   |
|                | MS            | 66           | MISCANTHUS SINENSIS 'ADAGIO' / MAIDEN GRASS                  | CONT.                   | 18" HT   | 30" O.C.     | FULL AND MATCHING   |
|                | IL            | 124          | ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY         | CONT.                   | 42" HT   | 72" O.C.     | FULL AND MATCHING   |
|                | LF            | 71           | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                         | CONT.                   | 36" HT   | 72" O.C.     | FULL AND MATCHING   |
|                | GROUND COVERS | CODE         | QTY  | BOTANICAL / COMMON NAME | ROOT     | SIZE         | SPACING   |
|                | SEED          | 1,766,220 SF | CYNODON DACTYLON / BERMUDA GRASS                             | N/A                     | N/A      | N/A          | HYDROSEED   |
|                | SOD           | 357,791 SF   | CYNODON DACTYLON / COMMON BERMUDA GRASS                      | N/A                     | N/A      | N/A          | SOD TO HAVE TIGHT, SAND FILLED JOINTS AND BE FREE OF WEEDS. |

| City of Mansfield, Texas – Landscape Data Table  |                                  |          |   |
|--|----------------------------------|----------|---|
| Site Area: 146.5 acres (6,381,485 SF) – Light Industrial   |                                  |          |   |
|  | REQUIRED                         | PROVIDED |   |
| <b>Section 7300 Landscape and Screening Requirements</b>   |                                  |          |   |
| 7300.0 Bufferyard and Screening  |                                  |          |   |
| N/A  |                                  |          |   |
| <b>7300.P Street Landscape Setback</b>   |                                  |          |   |
| A twenty foot wide landscape setback shall be provided along the entire boundary of the lot that abuts a public street.  | 20 foot minimum                  |          | 20 foot setback                             |
| Within the required landscape setback, 1 canopy tree shall be provided for each 40 LF  |                                  |          |   |
| Hanks St: 577 LF / 40 = 15 canopy trees  | 15 canopy trees                  |          | Provided Though Tree Preservation Credits   |
| 7th Ave: 3,043 LF / 40 = 77 canopy trees   | 77 canopy trees                  |          |   |
| Jessica Dr: 1,977 LF / 40 = 50 canopy trees  | 50 canopy trees                  |          |   |
| Klein Blvd: 1,807 LF / 40 = 46 canopy trees  | 46 canopy trees                  |          |   |
| <b>7300.Q Parking Lot Perimeter Landscaping</b>  |                                  |          |   |
| All parking lot, vehicular use and maneuvering areas that are not screened by on-site buildings shall be screened from view of public streets  | Yes                              |          | Yes   |
| The screening shall be a minimum height of 3 feet, at maturity, above the grade of the parking lot.  | 3' ht. minimum at maturity       |          | 3' ht. minimum at maturity                  |
| The screening shall consist of one or combination of the following:  |                                  |          |   |
| 1. Screening shrubs and/or   | Screening shrubs or sodded berms |          | Screening shrubs & Existing Trees to Remain |
| 2. Sodded berms  |                                  |          |   |
| <b>7300.R Parking Lot Internal Landscaping</b>   |                                  |          |   |
| A ratio of one canopy tree per every 10 parking spaces shall be provided throughout any surface parking lot  |                                  |          |   |
| 1252 parking spaces / 10 = 126 canopy trees  | 126 canopy trees                 |          | 126 canopy trees                            |
| Planting areas for trees within the parking rows of a surface parking lot shall be achieved by landscape islands, at least the minimum size of a regular parking space of 9' X 18' 162 SF. No more than 15 contiguous spaces shall be located together without a tree island   | Yes                              |          | Yes   |
| Every required landscape island must include 1 canopy tree   | Yes                              |          | Yes   |
| <b>7300.S Parking End Caps</b>   |                                  |          |   |
| One landscape island shall be located at the terminus of each row of parking and shall contain 1 tree. Rows with head-to-head parking arrangements shall have two islands and two trees.   | Yes                              |          | Yes   |
| <b>7300.T Drive Aisles into Non-Residential Developments</b>   |                                  |          |   |
| N/A  |                                  |          |   |
| <b>7300.U Foundation Area and Ground Equipment Landscaping</b>   |                                  |          |   |
| A minimum four foot wide landscape area is required adjacent to or within ten feet of all building facades with customer entrances and building facades facing a public street.  | Minimum 4' wide landscape area   |          | Minimum 4' wide landscape area              |
| <b>7300.W Detention/Retention Ponds</b>  |                                  |          |   |
| When not designed as an integral part of a landscape plan or featured as an amenity all detention ponds, retention ponds, or other similar holding areas shall be screened from view from any existing or future public street and from adjoining property. Screening may be accomplished using landscape materials that compliment the overall design of the site or screening walls or devices that match the predominant building materials used on the adjacent buildings or landscaping. When screening walls or devices are used, provisions should be made for safety, access and maintenance of any pond areas | N/A                              |          | N/A   |
| <b>7300.Y Other Landscape Areas</b>  |                                  |          |   |
| A minimum of 10% of each lot shall be devoted to living landscape  | 10%                              |          | 10%   |
| *Parking lot internal and perimeter landscaping shall not be included in the calculations, unless an area exceeds the minimum requirement of this Section, then the additional area may be included. 4,487,000 SF X 10% = 448,700 SF   | (448,700 SF)                     |          | (448,700 SF)                                |

**Landscaping Maintenance:** The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.



GRAPHIC SCALE IN FEET

0 100 200 400



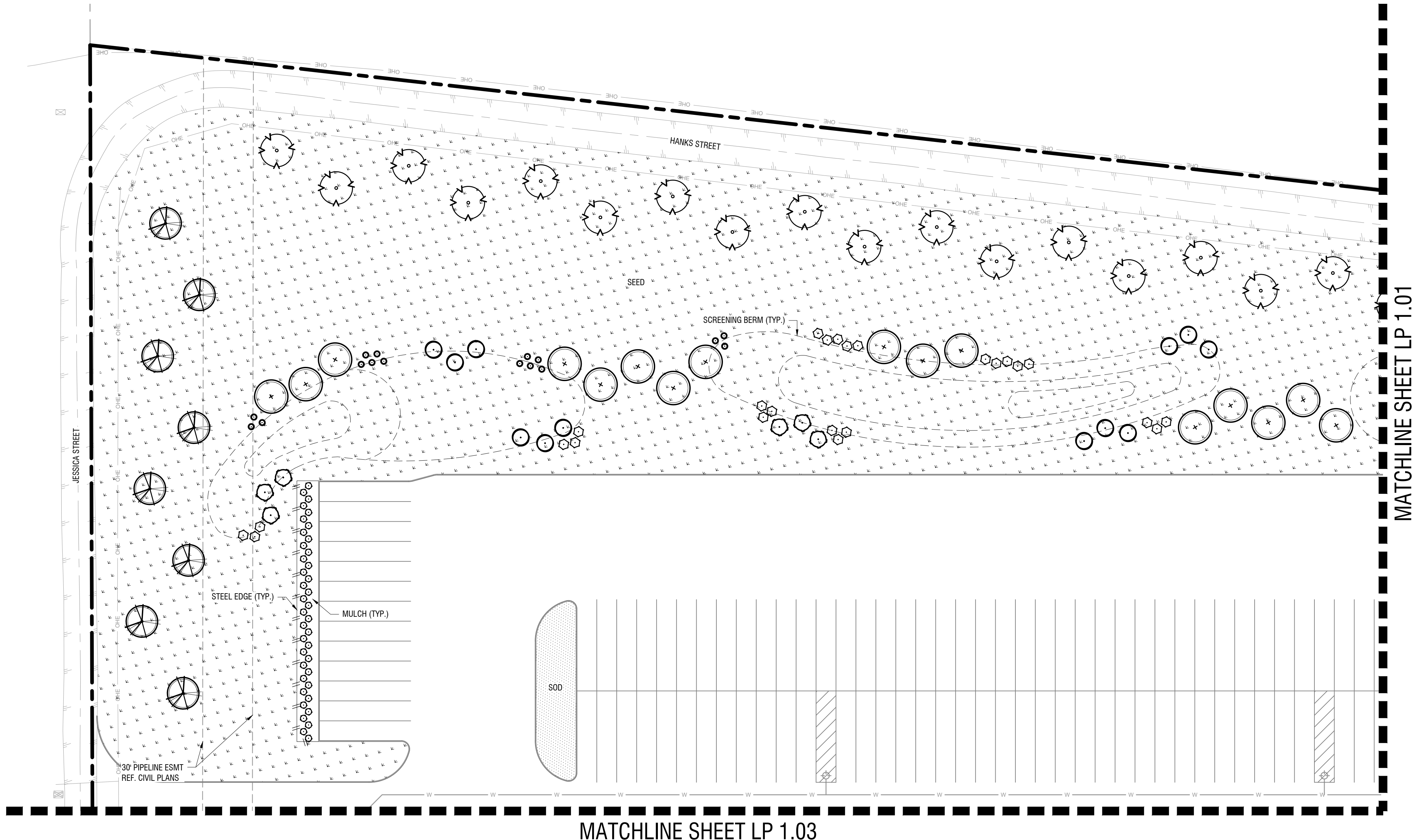
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**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



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NOTE:

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2. ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

REFERENCE SHEET LP 0.00 FOR FULL PLANT SCHEDULE & CODE LANDSCAPE TABLE

**PLANT SCHEDULE**

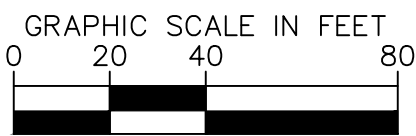
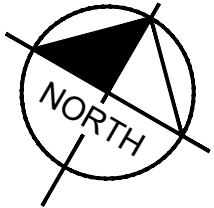
| CODE | BOTANICAL / COMMON NAME                                      |
|------|--|
| UP   | ULMUS PARVIFOLIA SEMPERVIRENS / ATHENA / ATHENA LACEBARK ELM |
| TD   | TAXODIUM DISTICHUM / BALD CYPRESS                            |
| UC   | ULMUS CRASSIFOLIA / CEDAR ELM                                |
| PC   | PISTACIA CHINENSIS / CHINESE PISTACHE                        |
| QA   | QUERCUS ACUMINATA / CHINKAPIN OAK                            |
| LT   | LAGERSTROEMIA INDICA / TUSCARORA / GRAPE MYRTLE TUSCARORA    |
| QS   | QUERCUS SHUMARDII / SHUMARD RED OAK                          |
| QV   | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                       |
| SM   | SOPHORA SECUNDFLORA / TEXAS MOUNTAIN LAUREL                  |
| CC   | CERCIS CANADENSIS / TEXENSIS / TEXAS REDBUD                  |

| SHRUBS | CODE | BOTANICAL / COMMON NAME                               |
|--------|------|---|
|        | IC   | ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY   |
|        | MP   | MYRICA PUSILLA / DWARF SOUTHERN WAX MYRTLE            |
|        | AE   | ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA |
|        | ML   | MUHLENBERGIA LINDBEIMERI / LINDBEIMER S MUHLY         |
|        | MS   | MISCANTHUS SINENSIS 'ADAGIO' / MAIDEN GRASS           |
|        | IL   | ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY  |
|        | LF   | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                  |

| GROUND COVERS | CODE | BOTANICAL / COMMON NAME                 |
|---------------|------|---|
|               | SEED | CYNODON DACTYLON / BERMUDA GRASS        |
|               | SOD  | CYNODON DACTYLON / COMMON BERMUDA GRASS |



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**Kimley»»Horn**

**mley»»Horn**  
455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-528  
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| <b>Kimley»Horn</b>  |                    |
| R.L.A.  | LORIEN L. LOCKWOOD |
| L.A. No.  | 3541 Date 06/2021  |

|             |           |
|-------------|-----------|
| DATE        | 064405619 |
| JUNE 2021   |           |
| SCALE       | AS SHOWN  |
| DESIGNED BY | AMP       |
| DRAWN BY    | AMP       |
| CHECKED BY  | III       |

**MANSFIELD BUSINESS  
PARK**

MANICFIELD

# PLANTING PLAN

## EXHIBIT D

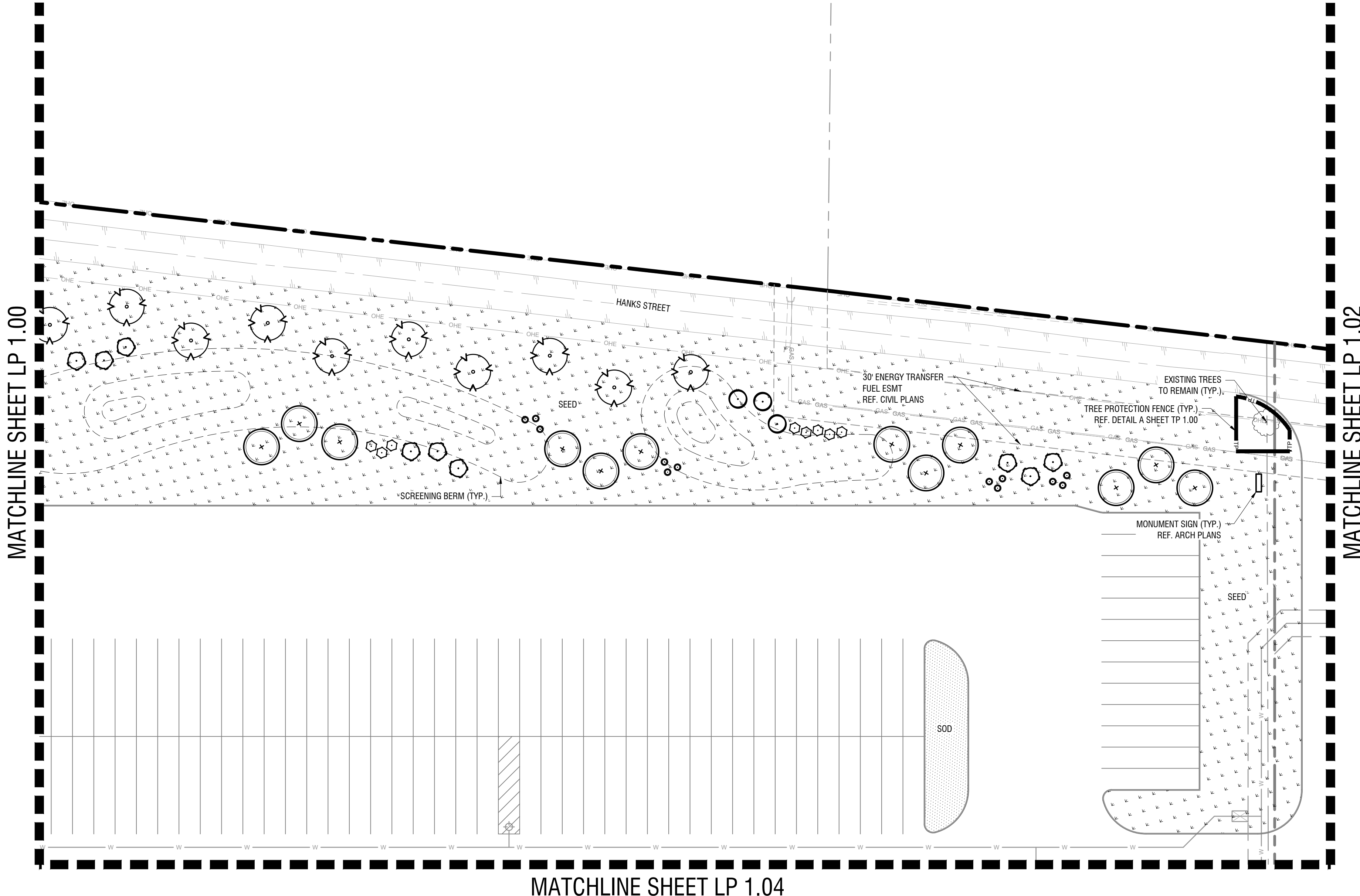
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SHEET NUMBER

LP 1.00






















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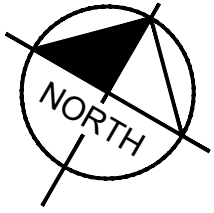


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## PLANT SCHEDULE

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|---|------|--|
|    | UP   | ULMUS PARVIFOLIA SEMPERVIRENS' ATHENA' / ATHENA LACEBARK ELM |
|    | TD   | TAXODIUM DISTICHUM / BALD CYPRESS                            |
|    | UC   | ULMUS CRASSIFOLIA / CEDAR ELM                                |
|    | PC   | PISTACHIA CHINENSIS / CHINESE PISTACHE                       |
|   | QA   | QUERCUS ACUMINATA / CHINKAPIN OAK                            |
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|  | QS   | QUERCUS SHUMARDII / SHUMARD RED OAK                          |
|  | QV   | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                       |
|  | SM   | SOPHORA SECUNDIFLORA / TEXAS MOUNTAIN LAUREL                 |
|  | CC   | CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD                  |
| SHRUBS  | CODE | BOTANICAL / COMMON NAME                                      |
|  | IC   | ILEX CORNUTA 'BURFORDI NANA' / DWARF BURFORD HOLLY           |
|  | MP   | MYRTICA PUSILLA / DWARF SOUTHERN WAX MYRTLE                  |
|  | AE   | ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA        |
|  | ML   | MUEHLENBERGIA LINDEHEIMERI / LINDEHEIMER'S MAHLY             |
|  | MS   | MISCANTHUS SINENSIS 'ADAGIO' / MAIDEN GRASS                  |
|  | IL   | ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY         |
|  | LF   | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                         |
| GROUND COVERS   | CODE | BOTANICAL / COMMON NAME                                      |
|  | SEED | CYNODON DACTYLON / BERMUDA GRASS                             |
|  | SOD  | CYNODON DACTYLON / COMMON BERMUDA GRASS                      |



GRAPHIC SCALE IN FEET



0 20 40 80



Know what's below.  
Call before you dig.

**CAUTION!**

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**Kimley»»Horn**

**mley»»Horn**  
4555 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-528  
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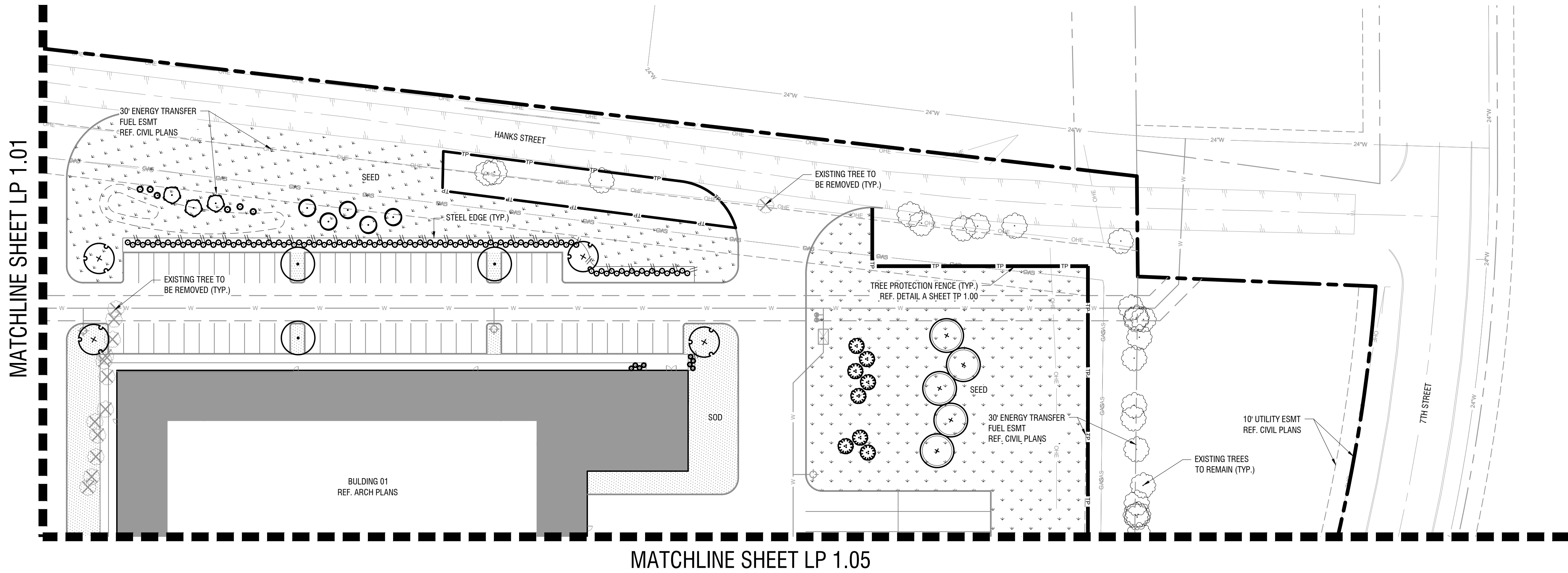
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|-------------|-----------|-------|----------|-------------|-----|----------|-----|------------|-----|
| KHA PROJECT | DATE      | SCALE | AS SHOWN | DESIGNED BY | AMP | DRAWN BY | AMP | CHECKED BY | III |
| 064405619   | JUNE 2021 |       |          |             |     |          |     |            |     |

**MANSFIELD BUSINESS  
PARK**

# PLANTING PLAN EXHIBIT D

ZC#21-009  
SHEET NUMBER  
LP 1.01



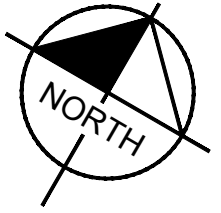


NOTE:


1. CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
2. ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

## PLANT SCHEDULE

| TREES         | CODE | BOTANICAL / COMMON NAME                                     |
|---------------|------|---|
|               | UP   | ULMUS PARVIFOLIA SEMPERVIRENS/ ATHENA / ATHENA LACEBARK ELM |
|               | TD   | TAXODIUM DISTICHUM / BALD CYPRRESS                          |
|               | UC   | ULMUS CRASSIFOLIA / CEDAR ELM                               |
|               | PC   | PISTACIA CHINENSIS / CHINESE PISTACHE                       |
|               | QA   | QUERCUS ACUMINATA / CHINKAPIN OAK                           |
|               | LT   | LAGERSTROEMIA INDICA / TUSCARORA / GRAPE MYRTLE TUSCARORA   |
|               | QS   | QUERCUS SHUMARDII / SHUMARDI RED OAK                        |
|               | QV   | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                      |
|               | SM   | SOPHORA SECUNDIFLORA / TEXAS MOUNTAIN LAUREL                |
|               | CC   | CERCIS CANADENSIS / TEXENSIS / TEXAS REDBUD                 |
| SHRUBS        | CODE | BOTANICAL / COMMON NAME                                     |
|               | IC   | ILEX CORNUTA / BURFORDI NANA / DWARF BURFORD HOLLY          |
|               | MP   | MYRICA PUSILLA / DWARF SOUTHERN WAX MYRTLE                  |
|               | AE   | ABELIA X GRANDIFLORA / EDWARD GOUCHER / GLOSSY ABELIA       |
|               | ML   | MUHLBERGIA LINDEHMEIRI / LINDEHMEIR'S MUHLY                 |
|               | MS   | MISCANTHUS SINENSIS / ADAGIO / MAIDEN GRASS                 |
|               | IL   | ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY        |
|               | LF   | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                        |
|               |      |   |
| GROUND COVERS | CODE | BOTANICAL / COMMON NAME                                     |
|               | SEED | CYNODON DACTYLON / BERMUDA GRASS                            |
|               | SOD  | CYNODON DACTYLON / COMMON BERMUDA GRASS                     |



GRAPHIC SCALE IN FEET



Know what's below.  
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[illegible]

# Kimley»»Horn

455 NOEL ROAD, TWO GALLERIA OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
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|   |                    |
|---|--------------------|
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| FOR REVIEW ONLY<br>Not for construction or permit purposes. |                    |
| <b>Kimley»Horn</b>  |                    |
| C.L.A.  | LORIEN L. LOCKWOOD |
| A. No.  | 3541 Date 06/2021  |

|                 |
|-----------------|
| 064405619       |
| DATE            |
| JUNE 2021       |
| SCALE AS SHOWN  |
| DESIGNED BY AMP |
| DRAWN BY AMP    |
| CHECKED BY LLL  |

**MANSFIELD BUSINESS  
PARK**

TEXT

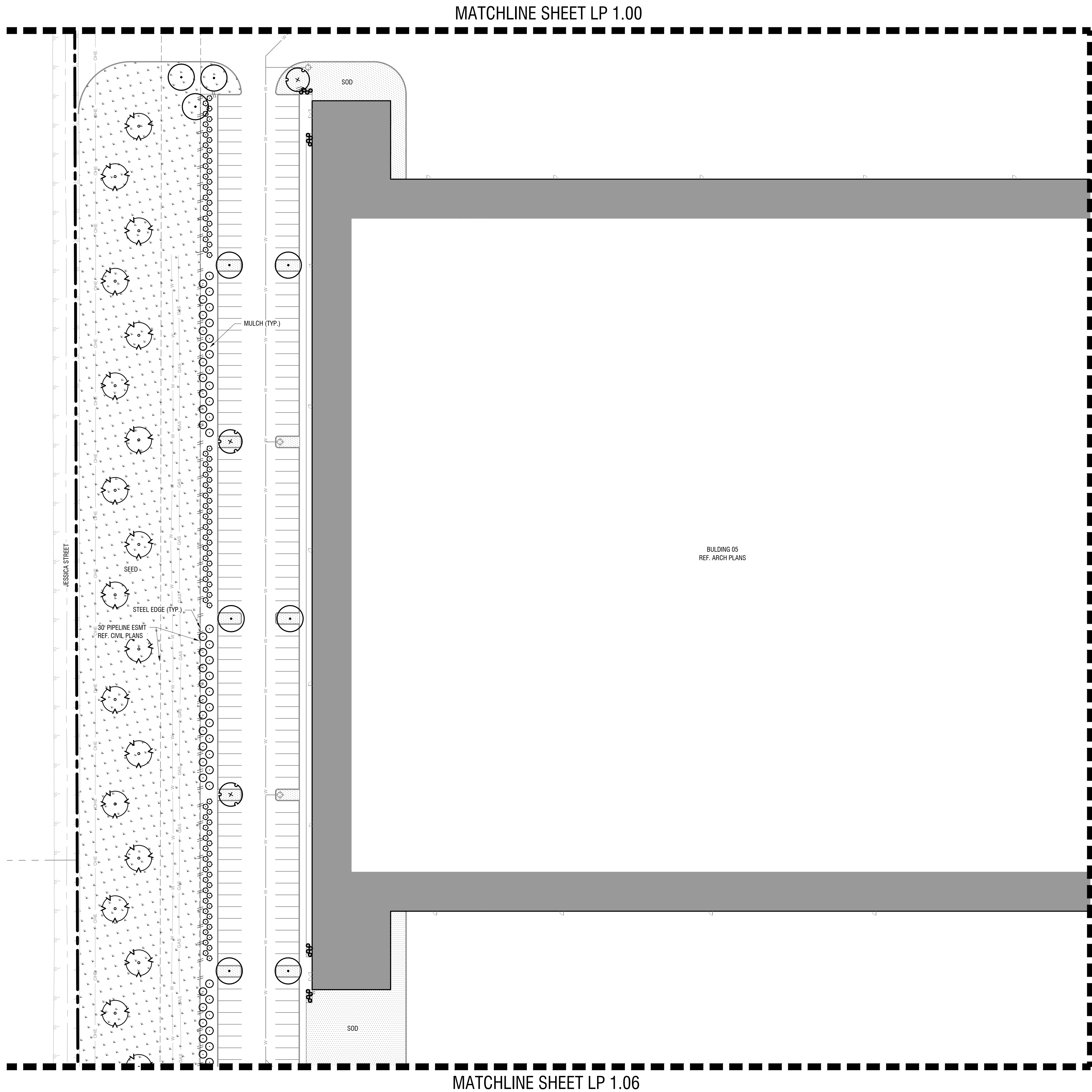
**MANSFIELD**

# PLANTING PLAN

## EXHIBIT D

ZC#21-009  
SHEET NUMBER  
LP 1.02











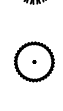
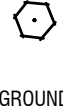









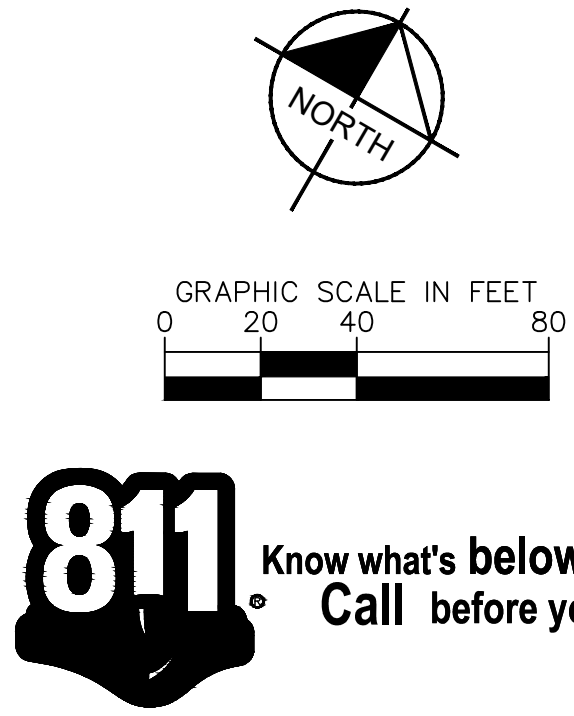


MATCHLINE SHEET LP 1.04

NOTE:

1. CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
2. ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

| REFERENCE SHEET LP 0.00 FOR FULL PLANT SCHEDULE & CODE LANDSCAPE TABLE                |      |   |
|---|------|---|
| PLANT SCHEDULE  |      |   |
| TREES   | CODE | BOTANICAL / COMMON NAME                                     |
|    | UP   | ULMUS PARVIFOLIA SEMPERVIRENS/ ATHENA / ATHENA LACEBARK ELM |
|    | TD   | TAXODIUM DISTICHUM / BALD CYPRESS                           |
|    | UC   | ULMUS CRASSIFOLIA / CEDAR ELM                               |
|    | PC   | PISTACIA CHINENSIS / CHINESE PISTACHE                       |
|    | QA   | QUERCUS ACUMINATA / CHINKAPIN OAK                           |
|   | LT   | LAGERSTROEMIA INDICA 'TUSCARORA' / GRAPE MYRTLE TUSCARORA   |
|  | QS   | QUERCUS SHUMARDII / SHUMARD RED OAK                         |
|  | QV   | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                      |
|  | SM   | SOPHORA SECUNDFLORA / TEXAS MOUNTAIN LAUREL                 |
|  | CC   | CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD                 |
| SHRUBS  | CODE | BOTANICAL / COMMON NAME                                     |
|  | IC   | ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY         |
|  | MP   | MYRTICA PUSILLA / DWARF SOUTHERN WAX MYRTLE                 |
|  | AE   | ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA       |
|  | ML   | MUHLBERGIA LINDEHEIMERI / LINDEHEIMER 'S' MUHLY             |
|  | MS   | MISCANTHUS SINENSIS 'ADAGIO' / MAIDEN GRASS                 |
|  | IL   | ILEX 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY          |
|  | LF   | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                        |
| GROUND COVERS   | CODE | BOTANICAL / COMMON NAME                                     |
|  | SEED | CYNODON DACTYLON / BERMUDDA GRASS                           |
|  | SOD  | CYNODON DACTYLON / COMMON BERMUDDA GRASS                    |



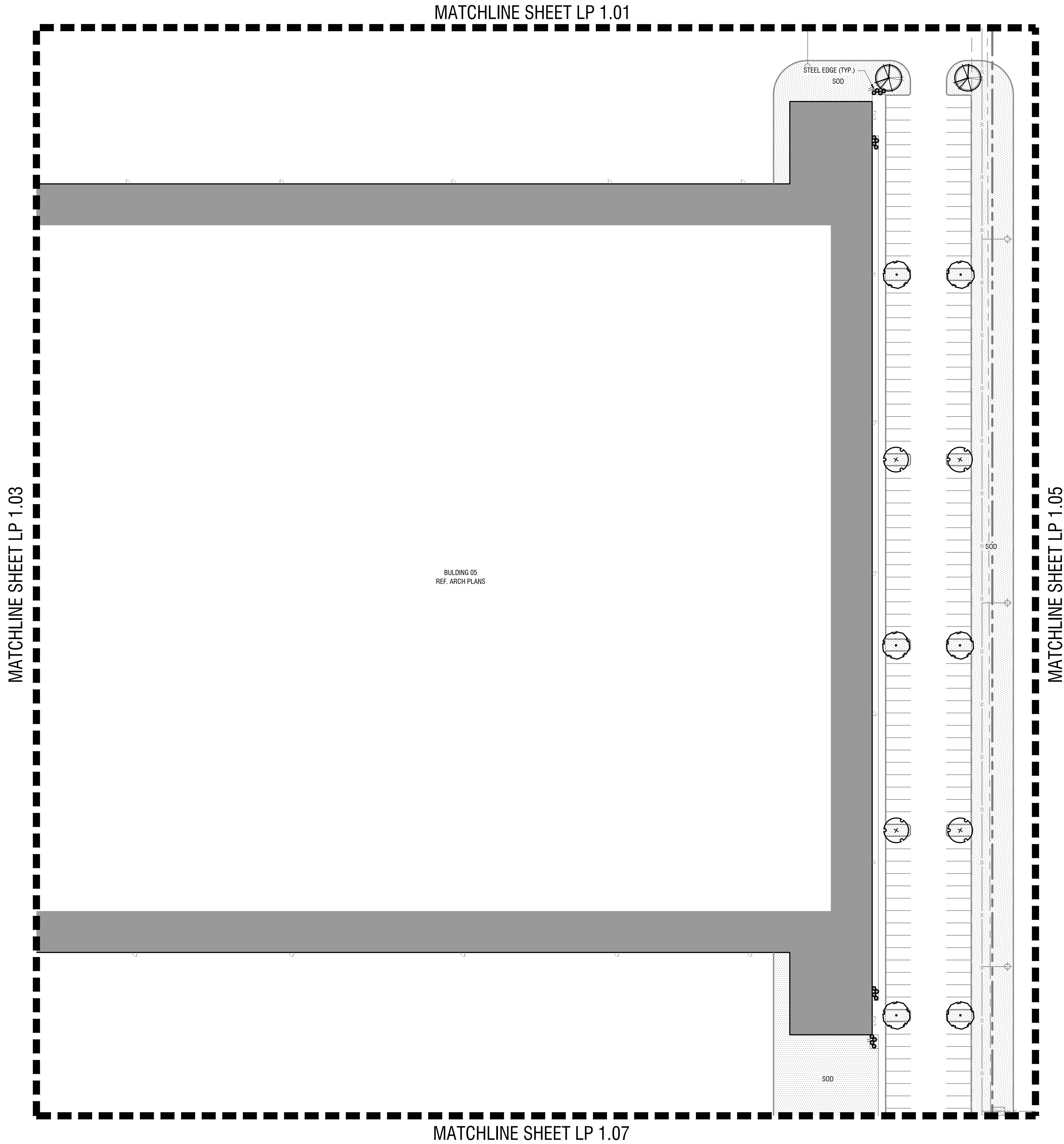
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|           |                            |                            |       |           |                          |                   |  |  |                |                 |  |  |              |  |  |                |  |  |  |  |     |           |      |    |
|-----------|----------------------------|----------------------------|-------|-----------|--------------------------|-------------------|--|--|----------------|-----------------|--|--|--------------|--|--|----------------|--|--|--|--|-----|-----------|------|----|
| ZC#21-009 | PLANTING PLAN<br>EXHIBIT D | MANSFIELD BUSINESS<br>PARK | TEXAS | MANSFIELD | KHA PROJECT<br>064405619 | DATE<br>JUNE 2021 |  |  | SCALE AS SHOWN | DESIGNED BY AMP |  |  | DRAWN BY AMP |  |  | CHECKED BY LLL |  |  | <div>PRELIMINARY</div> <div>Not for construction or permit purposes.</div> <div>Kimley»Horn</div> <div>RLA LORIEN L. LOCKWOOD</div> <div>L.A. No. 3541 Date: 06/2021</div> | <div>Kimley»Horn</div> <div>13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER</div> <div>SUITE 700, DALLAS, TX 75240</div> <div>PHONE: 972-770-1300 FAX: 972-289-3820</div> <div>WWW.KIMLEY-HORN.COM</div> <div>© 2021 KIMLEY-HORN AND ASSOCIATES, INC.</div> | No. | REVISIONS | DATE | BY |
|           |                            |                            |       |           | SHEET NUMBER<br>LP 1.03  |                   |  |  |                |                 |  |  |              |  |  |                |  |  |  |  |     |           |      |    |






















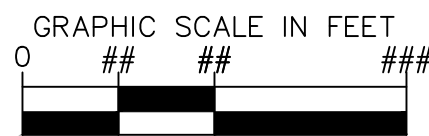
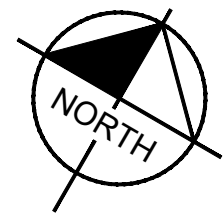
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NOTE:

1. CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
2. ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

| PLANT SCHEDULE  |      |   |
|---|------|---|
| TREES   | CODE | BOTANICAL / COMMON NAME                                     |
|    | UP   | ULMUS PARVIFOLIA SEMPERVIRENS' ATHENA / ATHENA LACEBARK ELM |
|    | TD   | TAXODIUM DISTICHUM / BALD CYPRESS                           |
|    | UC   | ULMUS CRASSIFOLIA / CEDAR ELM                               |
|    | PC   | PISTACIA CHINENSIS / CHINESE PISTACHE                       |
|    | QA   | QUERCUS ACUMINATA / CHINKAPIN OAK                           |
|   | LT   | LAGERSTROEMIA INDICA 'TUSCARORA' / GRAPE MYRTLE TUSCARORA   |
|  | QS   | QUERCUS SHUMARDII / SHUMARD RED OAK                         |
|  | QV   | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                      |
|  | SM   | SOPHORA SECUNDFLORA / TEXAS MOUNTAIN LAUREL                 |
|  | CC   | CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD                 |
| SHRUBS  | CODE | BOTANICAL / COMMON NAME                                     |
|  | IC   | ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY         |
|  | MP   | MYRTICA PUSILLA / DWARF SOUTHERN WAX MYRTLE                 |
|  | AE   | ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA       |
|  | ML   | MUHLBERGIA LINDEHEIMERI / LINDEHEIMER'S MUHLY               |
|  | MS   | MISCANTHUS SINENSIS 'ADAGIO' / MAIDEN GRASS                 |
|  | IL   | ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY        |
|  | LF   | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                        |
| GROUND COVERS   | CODE | BOTANICAL / COMMON NAME                                     |
|  | SEED | CYNODON DACTYLON / BERMUDA GRASS                            |
|  | SOD  | CYNODON DACTYLON / COMMON BERMUDA GRASS                     |



Know what's below.  
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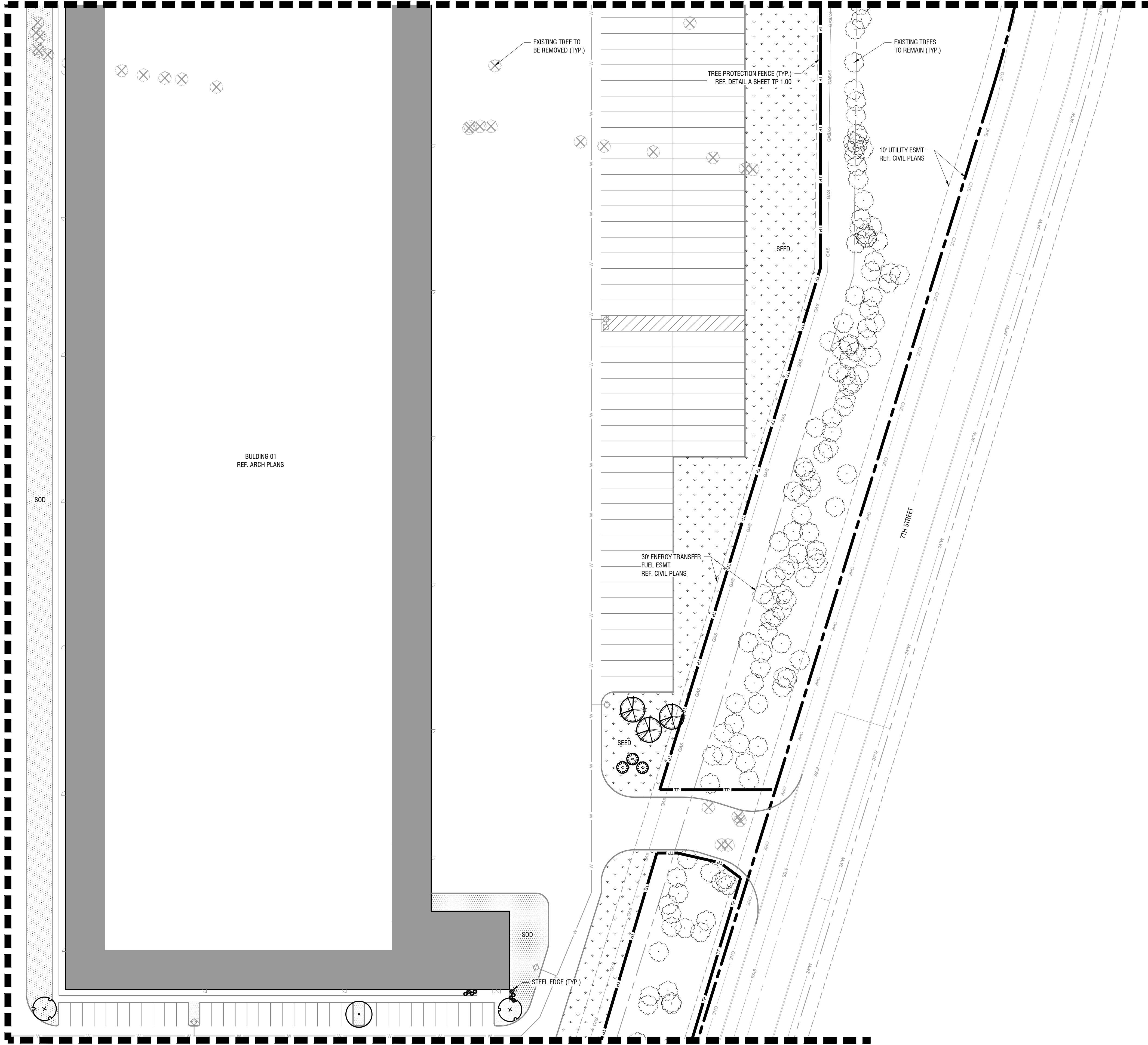
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|  |  |                                       |                         |                   |                         |                    |                  |
|--|--|---------------------------------------|-------------------------|-------------------|-------------------------|--------------------|------------------|
| <p><b>PLANTING PLAN</b><br/><b>EXHIBIT D</b></p> | <p><b>MANSFIELD BUSINESS PARK</b></p>            | <p><b>TEXAS</b></p>                   | <p><b>MANSFIELD</b></p> | <p><b>NO.</b></p> | <p><b>REVISIONS</b></p> | <p><b>DATE</b></p> | <p><b>BY</b></p> |
|  |  |                                       |                         |                   |                         |                    |                  |
| <p><b>ZC#21-009</b></p>                          | <p><b>PLANTING PLAN</b><br/><b>EXHIBIT D</b></p> | <p><b>MANSFIELD BUSINESS PARK</b></p> | <p><b>TEXAS</b></p>     | <p><b>NO.</b></p> | <p><b>REVISIONS</b></p> | <p><b>DATE</b></p> | <p><b>BY</b></p> |
| <p><b>SHEET NUMBER</b></p>                       | <p><b>LP 1.04</b></p>                            | <p><b>MANSFIELD BUSINESS PARK</b></p> | <p><b>TEXAS</b></p>     | <p><b>NO.</b></p> | <p><b>REVISIONS</b></p> | <p><b>DATE</b></p> | <p><b>BY</b></p> |



MATCHLINE SHEET LP 1.04



# MATCHLINE SHEET LP 1.08

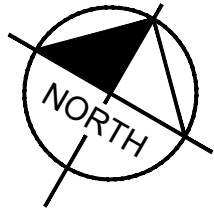
# MATCHLINE SHEET LP 1.02

NOTE:


1. CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
2. ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

## PLANT SCHEDULE

|  | CODE | BOTANICAL / COMMON NAME                                      |
|--|------|--|
|  | UP   | ULMUS PARVIFOLIA SEMPERVIRENS / ATHENA / ATHENA LACEBARK ELM |
|  | TD   | TAXODIUM DISTICHUM / BALD CYPRESS                            |
|  | UC   | ULMUS CRASSIFOLIA / CEDAR ELM                                |
|  | PC   | PISTACHIA CHINENSIS / CHINESE PISTACHE                       |
|  | QA   | QUERCUS ACUMINATA / CHINKAPIN OAK                            |
|  | LT   | LAGERSTROEMIA INDICA / TUSCARORA / CRAPE MYRTLE TUSCARORA    |
|  | QS   | QUERCUS SHUMARDII / SHUMARD RED OAK                          |
|  | DV   | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                       |
|  | SM   | SOPHORA SECUNDFLORA / TEXAS MOUNTAIN LAUREL                  |
|  | CODE | BOTANICAL / COMMON NAME                                      |
|  | IC   | ILEX CORNUTA / BURFORDI NANA / DWARF BURFORD HOLLY           |
|  | MP   | MYRICIA PUSILLA / DWARF SOUTHERN WAX MYRTLE                  |
|  | AE   | ABELIA X GRANDIFLORA / EDWARD GOUCHER / GLOSSY ABELIA        |
|  | ML   | MUHLENBERGIA LINDEHEIMERI / LINDEHEIMER S MUHLY              |
|  | MS   | MISCANTHUS SINENSIS / ADAGIO / MAIDEN GRASS                  |
|  | IL   | ILEX 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY           |
|  | LF   | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                         |
|  | CODE | BOTANICAL / COMMON NAME                                      |
|  | SEED | CYNODON DACTYLON / BERMUDA GRASS                             |
|  | SOD  | CYNODON DACTYLON / COMMON BERMUDA GRASS                      |



GRAPHIC SCALE IN FEET




0 20 40 80



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|   |  |  |   |  |     |           |      |    |
|---|--|--|---|--|-----|-----------|------|----|
| PLANTING PLAN<br>EXHIBIT D<br>ZC#21-1009<br>SHEET NUMBER<br>LP 1.05 | MANSFIELD BUSINESS<br>PARK<br>TEXAS<br>MANSFIELD | KHA PROJECT<br>064405619<br>DATE<br>JUNE 2021<br>SCALE AS SHOWN<br>DESIGNED BY AMP<br>DRAWN BY AMP<br>CHECKED BY LLL |  | <b>Kimley»Horn</b><br>13465 NOEL ROAD, TWO GALLERIA OFFICE TOWER<br>SUITE 700, DALLAS, TX 75240<br>PHONE: 972-770-1300 FAX: 972-239-3820<br>WWW.KIMLEY-HORN.COM<br>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. | No. | REVISIONS | DATE | BY |
|   |  |  |   |  |     |           |      |    |
|   |  |  |   |  |     |           |      |    |
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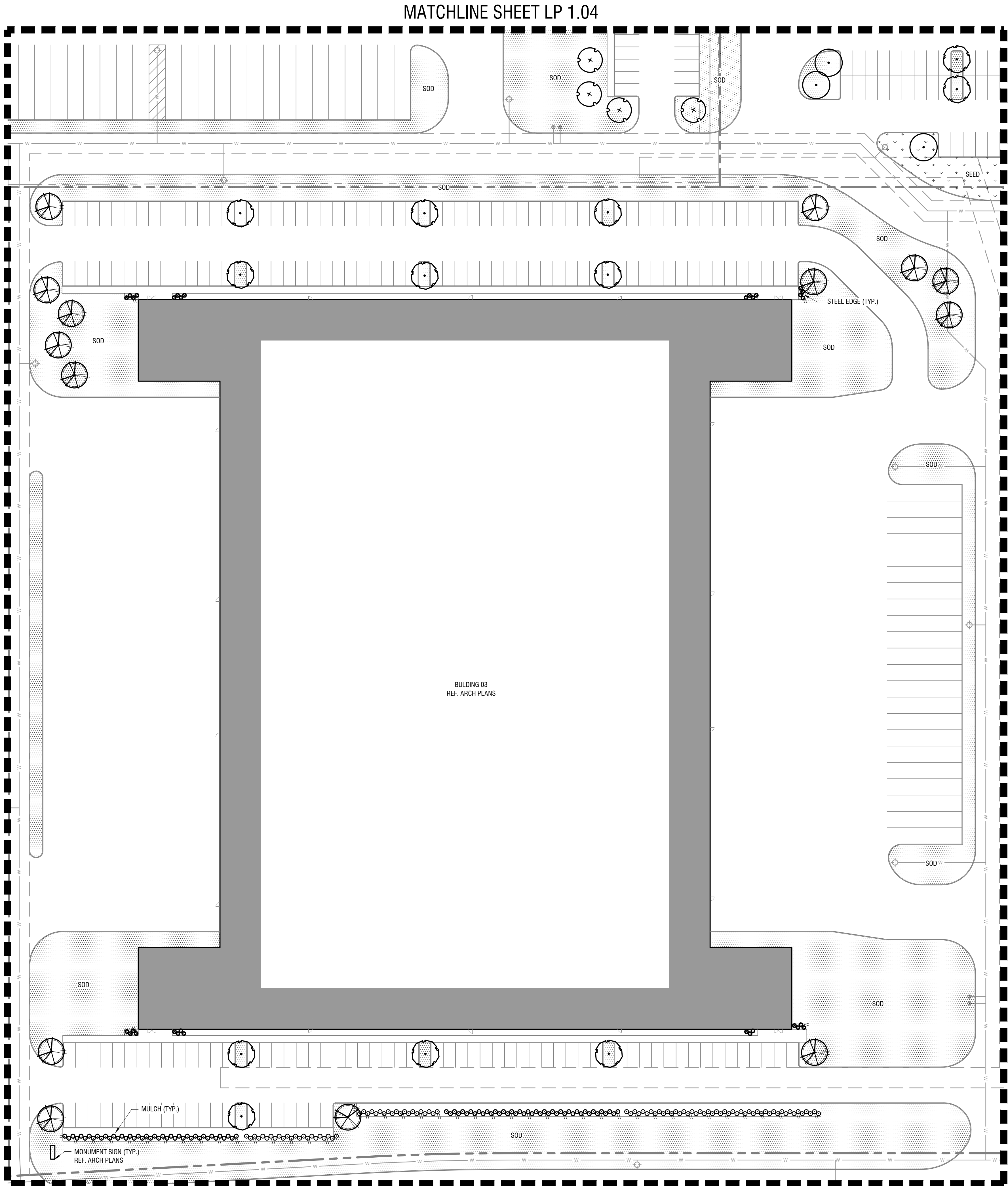






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MATCHLINE SHEET LP 1.06



MATCHLINE SHEET LP 1.04

BUILDING 03  
REF. ARCH PLANS

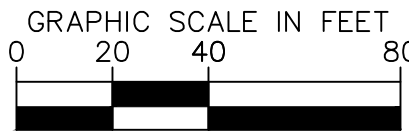
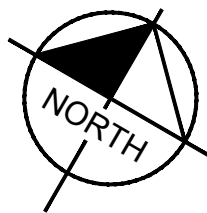
MATCHLINE SHEET LP 1.08

MATCHLINE SHEET LP 1.10

- NOTE:
1. CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
  2. ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

REFERENCE SHEET LP 0.00 FOR FULL PLANT SCHEDULE & CODE LANDSCAPE TABLE

| PLANT SCHEDULE |      |  |
|----------------|------|--|
| TREES          | CODE | BOTANICAL / COMMON NAME                                      |
|                | UP   | ULMUS PARVIFOLIA SEMPERVIRENS 'ATHENA' / ATHENA LACEBARK ELM |
|                | TD   | TAXODIUM DISTICHUM / BALD CYPRESS                            |
|                | UC   | ULMUS CRASSIFOLIA / CEDAR ELM                                |
|                | PC   | PISTACIA CHINENSIS / CHINESE PISTACHE                        |
|                | QA   | QUERCUS ACUMINATA / CHINKAPIN OAK                            |
|                | LT   | LAGERSTROEMIA INDICA 'TUSCARORA' / GRAPE MYRTLE TUSCARORA    |
|                | QS   | QUERCUS SHUMARDII / SHUMARD RED OAK                          |
|                | QV   | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                       |
|                | SM   | SOPHORA SECUNDFLORA / TEXAS MOUNTAIN LAUREL                  |
|                | CC   | CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD                  |
| SHRUBS         | CODE | BOTANICAL / COMMON NAME                                      |
|                | IC   | ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY          |
|                | MP   | MYRICA PUSILLA / DWARF SOUTHERN WAX MYRTLE                   |
|                | AE   | ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA        |
|                | ML   | MUHLENBERGIA LINDHEIMERI / LINDHEIMER'S MUHLY                |
|                | MS   | MISCANTHUS SINENSIS 'ADAGIO' / MAIDEN GRASS                  |
|                | IL   | ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY         |
|                | LF   | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                         |
| GROUND COVERS  | CODE | BOTANICAL / COMMON NAME                                      |
|                | SEED | CYNODON DACTYLON / BERMUDA GRASS                             |
|                | SOD  | CYNODON DACTYLON / COMMON BERMUDA GRASS                      |



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**Kimley»Horn**

13455 NOEL ROAD, TWO GALLERY OFFICE TOWER  
SUITE 700, DALLAS, TX 75240  
PHONE 972-770-1300 FAX 972-238-3820  
WWW.KIMLEY-HORN.COM TX F-528  
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**Kimley»Horn**  
R.L.A. LOREN L. LOCKWOOD  
L.A. No. 3541 Date 06/2021

|             |           |      |           |       |          |             |     |          |     |            |     |
|-------------|-----------|------|-----------|-------|----------|-------------|-----|----------|-----|------------|-----|
| KHA PROJECT | 064405619 | DATE | JUNE 2021 | SCALE | AS SHOWN | DESIGNED BY | AMP | DRAWN BY | AMP | CHECKED BY | LLL |
|-------------|-----------|------|-----------|-------|----------|-------------|-----|----------|-----|------------|-----|

MANSFIELD BUSINESS  
PARK

PLANTING PLAN  
EXHIBIT D

ZC#21-009  
SHEET NUMBER  
LP 1.07

MANSFIELD

TEXAS

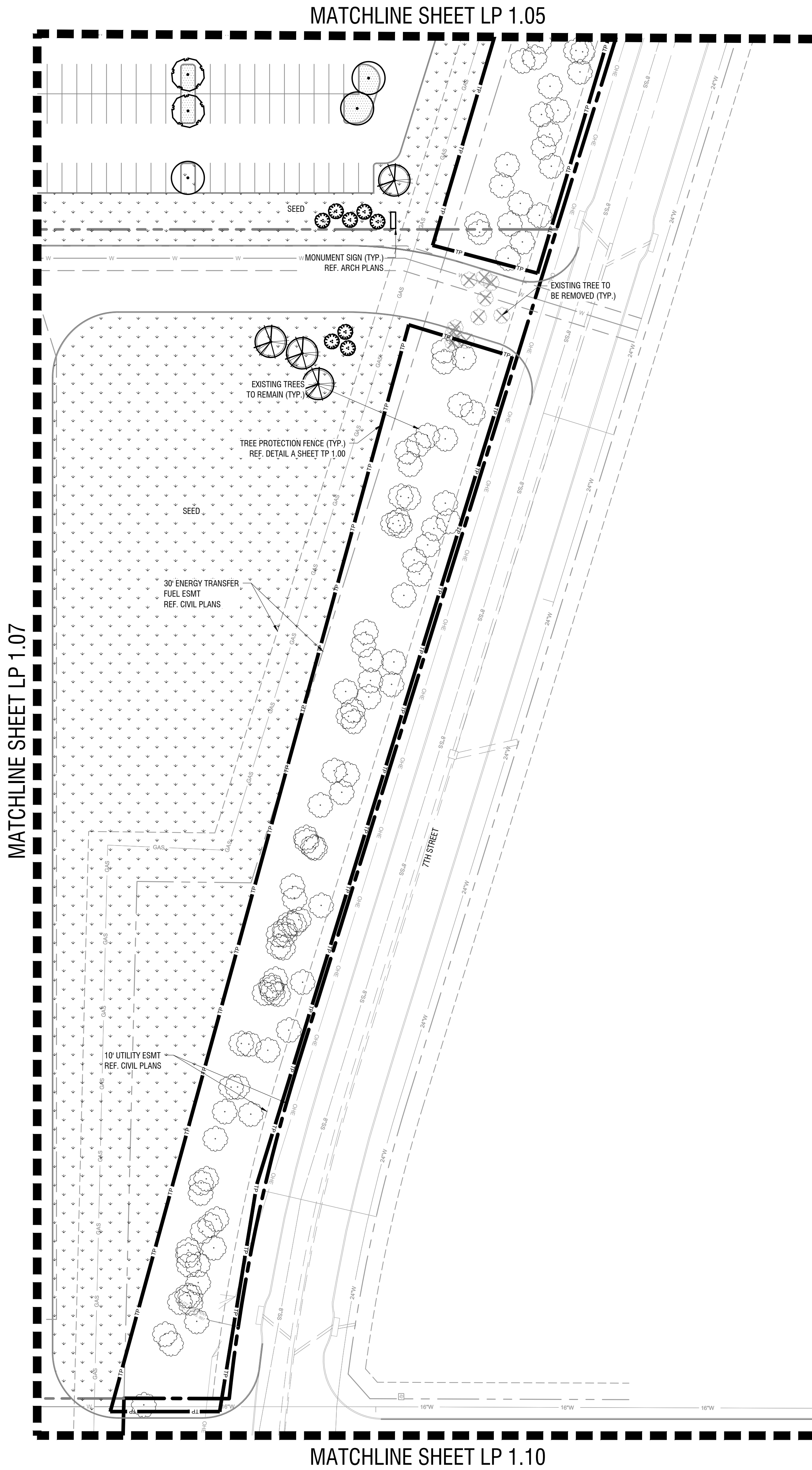
REVISIONS

BY

DATE

NO.






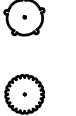
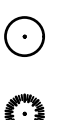


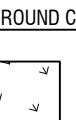











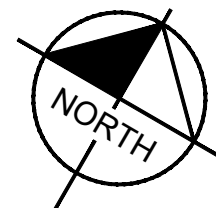


NOTE:

1. CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
2. ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

## PLANT SCHEDULE

| TREES   | CODE | BOTANICAL / COMMON NAME                                      |
|---|------|--|
|    | UP   | ULMUS PARVIFOLIA SEMPERVIRENS 'ATHENA' / ATHENA LACEBARK ELM |
|    | TD   | TAXODIUM DISTICHUM / BALD CYPRESS                            |
|    | UC   | ULMUS CRASSIFOLIA / CEDAR ELM                                |
|   | PC   | PISTACIA CHINENSIS / CHINESE PISTACHE                        |
|  | QA   | QUERCUS ACUMINATA / CHINKAPIN OAK                            |
|  | LT   | LAGERSTROEMIA INDICA 'TUSCARORA' / GRAPE MYRTLE TUSCARORA    |
|  | QS   | QUERCUS SHUMARDII / SHUMARDI RED OAK                         |
|  | QV   | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                       |
|  | SM   | SOPHORA SECUNDIFLORA / TEXAS MOUNTAIN LAUREL                 |
|  | CC   | CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD                  |
| SHRUBS  | CODE | BOTANICAL / COMMON NAME                                      |
|  | IC   | ILEX CORNUTA 'BURFORDI NANA' / DWARF BURFORD HOLLY           |
|  | MP   | MYRICA PUSILLA / DWARF SOUTHERN WAX MYRTLE                   |
|  | AE   | ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA        |
|  | ML   | MUHLBERGIA LINDEHMEI / LINDEHMEI'S MUHLY                     |
|  | MS   | MISCANTHUS SINENSIS 'ADAGIO' / MAIDEN GRASS                  |
|  | IL   | ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY         |
|  | LF   | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                         |
| GROUND COVERS   | CODE | BOTANICAL / COMMON NAME                                      |
|  | SEED | CYNODON DACTYLON / BERMUDA GRASS                             |
|  | SOD  | CYNODON DACTYLON / COMMON BERMUDA GRASS                      |



GRAPHIC SCALE IN FEET

A horizontal line with tick marks at 0, 20, 40, and 80. The segment between 0 and 20 is divided into four equal parts by three vertical lines. The segment between 20 and 40 is a single solid black rectangle. The segment between 40 and 80 is divided into four equal parts by three vertical lines. The segments from 0 to 20 and 40 to 80 are white, while the segment from 20 to 40 is black.

Know what's below.  
Call before you dig.

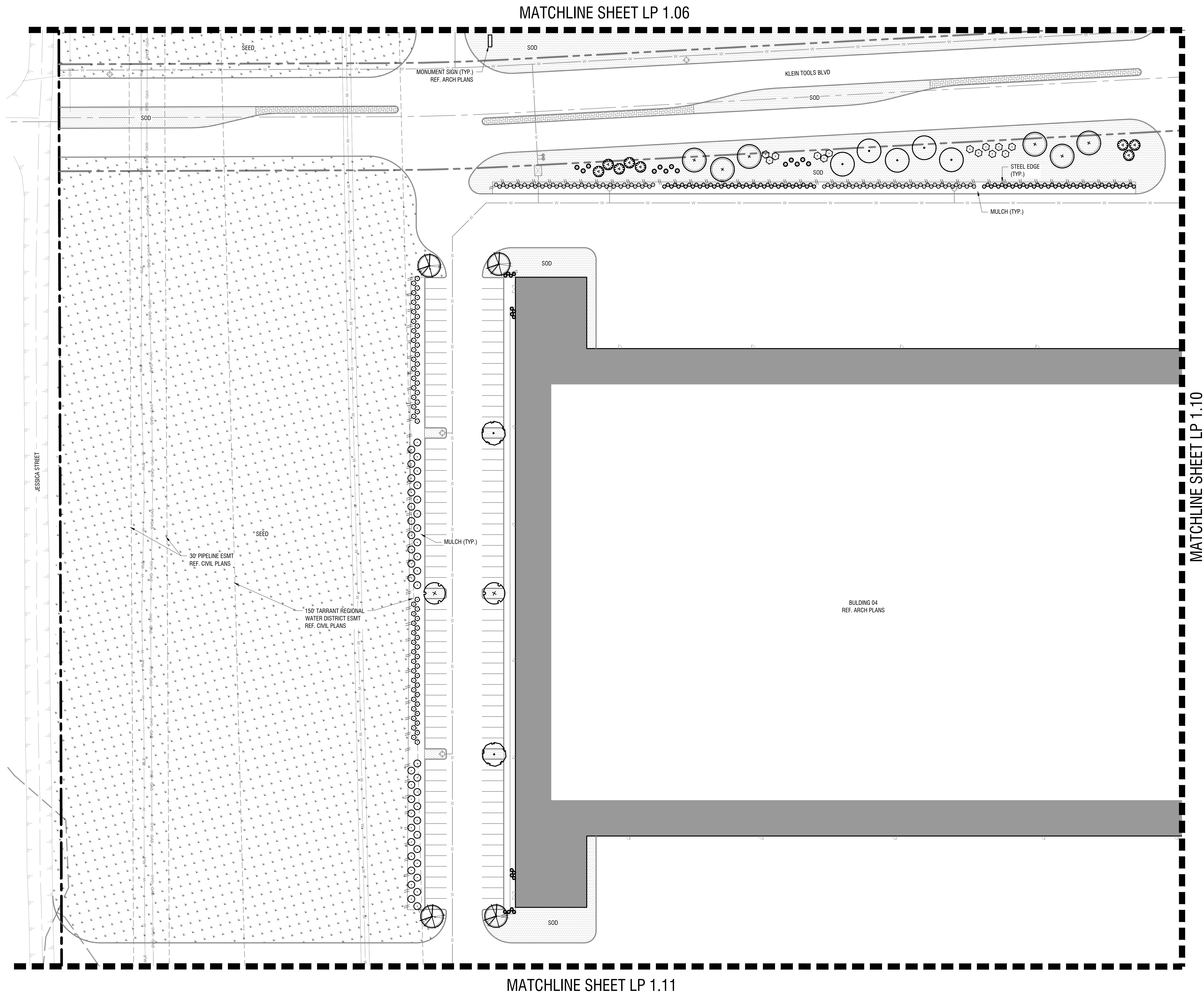
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ANY DISCREPANCIES ON THE PLANS

|                                      |                            |                            |       |           |  |                       |                |                 |              |                |  |  |  |
|--------------------------------------|----------------------------|----------------------------|-------|-----------|--|-----------------------|----------------|-----------------|--------------|----------------|--|--|--|
| ZC#21-009<br>SHEET NUMBER<br>LP 1.08 | PLANTING PLAN<br>EXHIBIT D | MANSFIELD BUSINESS<br>PARK | TEXAS | MANSFIELD | KHA PROJECT<br>064405619   | DATE<br>JUNE 2021     | SCALE AS SHOWN | DESIGNED BY AMP | DRAWN BY AMP | CHECKED BY LLL |  |  |  |
|                                      |                            |                            |       |           | <div>PRELIMINARY</div> <div>FOR REVIEW ONLY<br/>Not for construction or permit purposes.</div> <div>Kimley»Horn</div> <div>R.L.A. No. 3541 Date 06/2021</div> <div>LOREN L. LOCKWOOD</div> |                       |                |                 |              |                | <div>Kimley»Horn</div> <div>13465 NOEL ROAD, TWO GALLERIA OFFICE TOWER<br/>SUITE 700, DALLAS, TX 75240<br/>PHONE: 972-770-1300 FAX: 972-239-3820<br/>© 2021 KIMLEY-HORN AND ASSOCIATES, INC.</div> |  |  |
|                                      |                            |                            |       |           |  |                       |                |                 |              |                |  |  |  |
|                                      |                            |                            |       |           |  |                       |                |                 |              |                |  |  |  |
|                                      |                            |                            |       |           |  |                       |                |                 |              |                |  |  |  |
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



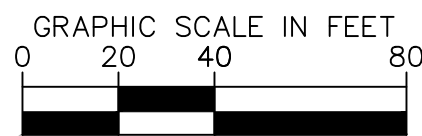
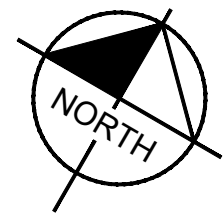
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NOTE:

1. CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
2. ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

| PLANT SCHEDULE  |      |  |
|---|------|--|
| TREES   | CODE | BOTANICAL / COMMON NAME                                      |
|    | UP   | ULMUS PARVIFOLIA SEMPERVIRENS 'ATHENA' / ATHENA LACEBARK ELM |
|    | TD   | TAXODIUM DISTICHUM / BALD CYPRESS                            |
|    | UC   | ULMUS CRASSIFOLIA / CEDAR ELM                                |
|    | PC   | PISTACIA CHINENSIS / CHINESE PISTACHE                        |
|    | QA   | QUERCUS ACUMINATA / CHINKAPIN OAK                            |
|    | LT   | LAGERSTROEMIA INDICA 'TUSCARORA' / GRAPE MYRTLE TUSCARORA    |
|   | QS   | QUERCUS SHUMARDII / SHUMARD RED OAK                          |
|  | QV   | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                       |
|  | SM   | SOPHORA SECUNDIFLORA / TEXAS MOUNTAIN LAUREL                 |
|  | CC   | CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD                  |
| SHRUBS  | CODE | BOTANICAL / COMMON NAME                                      |
|  | IC   | ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY          |
|  | WP   | MYRICA PUSILLA / DWARF SOUTHERN WAX MYRTLE                   |
|  | AE   | ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA        |
|  | ML   | MUHLENBERGIA LINDEHMEI / LINDEHMER S' MUHLY                  |
|  | MS   | MISCANTHUS SINENSIS 'ADAGIO' / MAIDEN GRASS                  |
|  | IL   | ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY         |
|  | LF   | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                         |
| GROUND COVERS   | CODE | BOTANICAL / COMMON NAME                                      |
|  | SEED | CYNODON DACTYLON / BERMUDA GRASS                             |
|  | SOD  | CYNODON DACTYLON / COMMON BERMUDA GRASS                      |



Know what's below.  
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**CAUTION!!**

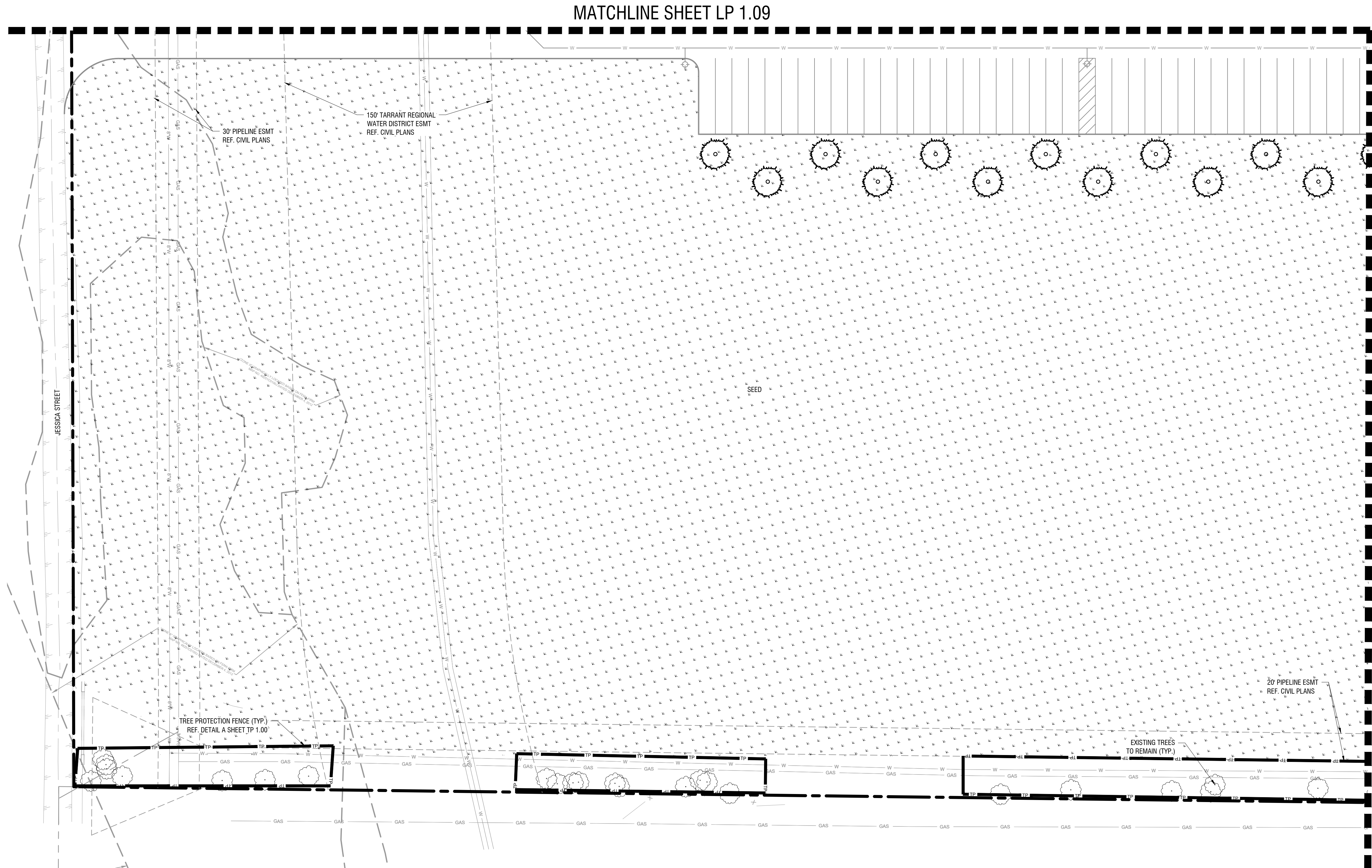
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|           |                            |                            |                    |                          |                   |   |                |   |  |     |           |      |    |
|-----------|----------------------------|----------------------------|--------------------|--------------------------|-------------------|---|----------------|---|--|-----|-----------|------|----|
| ZC#21-009 | PLANTING PLAN<br>EXHIBIT D | MANSFIELD BUSINESS<br>PARK | MANSFIELD<br>TEXAS | KHA PROJECT<br>064405619 | DATE<br>JUNE 2021 | SCALE AS SHOWN<br>DESIGNED BY AMP<br>DRAWN BY AMP | CHECKED BY LLL | PRELIMINARY<br>FOR REVIEW ONLY<br>Not for construction or permit purposes.<br><b>Kimley»Horn</b><br>R.L.A. LOREN L. LOCKWOOD<br>L.A. No. 3541 Date: 06/2021 | <b>Kimley»Horn</b><br>13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER<br>SUITE 700, DALLAS, TX 75240<br>PHONE: 972-770-1300 FAX: 972-239-3820<br>WWW.KIMLEY-HORN.COM TX #328<br>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. | No. | REVISIONS | DATE | BY |
|           |                            |                            |                    |                          |                   |   |                |   |  |     |           |      |    |









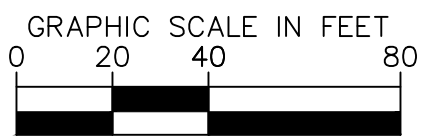
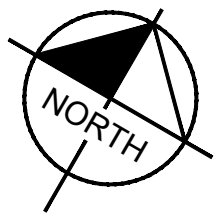


NOTE:

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2. ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

## PLANT SCHEDULE

|   |                             |  |   |
|---|-----------------------------|--|---|
|   | <b>TREES</b>                | <b><u>CODE</u></b>                       | <b><u>BOTANICAL / COMMON NAME</u></b>       |
|   | UP                          | ULMUS PARVIFOLIA                         | SEMPERVIRENS 'ATHENA' / ATHENA LACEBARK ELM |
|   | TD                          | TAXODIUM DISTICHUM                       | / BALD CYPRRESS                             |
|   | UC                          | ULMUS CRASSIFOLIA                        | / CEDAR ELM                                 |
|   | PC                          | PISTACIA CHINENSIS                       | / CHINESE PISTACHE                          |
|   | QA                          | QUERCUS ACUMINATA                        | / CHINKAPIN OAK                             |
|   | LT                          | LAGERSTROEMIA INDICA                     | 'TUSCARORA' / CRAPE MYRTLE TUSCARORA        |
|   | QS                          | QUERCUS SHUMARDII                        | / SHUMARD RED OAK                           |
|   | QV                          | QUERCUS VIRGINIANA                       | / SOUTHERN LIVE OAK                         |
|   | SM                          | SOPHORA SECUNDIFLORA                     | / TEXAS MOUNTAIN LAUREL                     |
|  | <b>SHRUBS</b>               | <b><u>CODE</u></b>                       | <b><u>BOTANICAL / COMMON NAME</u></b>       |
|   | IC                          | ILEX CORNUTA                             | 'BURFORDIANA' / DWARF BURFORD HOLLY         |
|   | MP                          | MYRTICA PUSILLA                          | / DWARF SOUTHERN WAX MYRTLE                 |
|   | AE                          | ABELIA X GRANDIFLORA                     | 'EDWARD GOUCHER' / GLOSSY ABELIA            |
|   | ML                          | MUHLENBERGIA LINDEHEIMERI                | / LINDEHEIMER'S MUHLY                       |
|   | MS                          | MISCANTHUS SINENSIS                      | 'ADAGIO' / MAIDEN GRASS                     |
|   | IL                          | 'ILEX' 'NELLIE R. STEVENS'               | / 'NELLIE R. STEVENS HOLLY                  |
|   | LF                          | LEUCOPHYLLUM FRUTESCENS                  | / TEXAS SAGE                                |
|   | <b><u>GROUND COVERS</u></b> |  |   |
|   | <b><u>CODE</u></b>          | <b><u>BOTANICAL / COMMON NAME</u></b>    |   |
|   | SEED                        | CYNODON DACTYLON / BERMUUDA GRASS        |   |
|   | SOD                         | CYNODON DACTYLON / COMMON BERMUUDA GRASS |   |



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| KHA PROJECT | 064405619 | DATE        | JUNE 2021 |
| SCALE       | AS SHOWN  | DESIGNED BY | AMP       |
| DRAWN BY    | AMP       | CHECKED BY  | LLL       |

**MANSFIELD BUSINESS  
PARK**

**MANSFIELD**

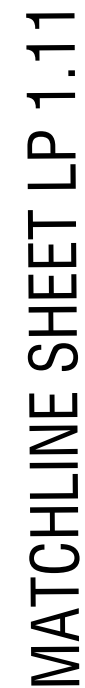
# PLANTING PLAN EXHIBIT D

ZC#21-009

SHEET NUMBER

LP 1.11








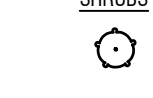
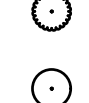












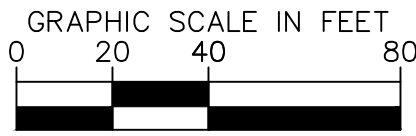
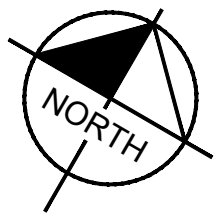


# MATCHLINE SHEET LP 1.10

NOTE:

1. CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
2. ALL LANDSCAPED AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM

| PLANT SCHEDULE  |      |  |
|---|------|--|
| TREES   | CODE | BOTANICAL / COMMON NAME                                      |
|    | UP   | ULMUS PARVIFOLIA SEMPERVIRENS 'ATHENA' / ATHENA LACEBARK ELM |
|    | TD   | TAXODIUM DISTICHUM / BALD CYPRESS                            |
|    | UC   | ULMUS CRASSIFOLIA / CEDAR ELM                                |
|    | PC   | PISTACIA CHINENSIS / CHINESE PISTACHE                        |
|    | QA   | QUERCUS ACUMINATA / CHINKAPIN OAK                            |
|   | LT   | LAGERSTROEMIA INDICA 'TUSCARORA' / CRAPE MYRTLE TUSCARORA    |
|  | QS   | QUERCUS SHUMARDII / SHUMARD RED OAK                          |
|  | QV   | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK                       |
|  | SM   | SOPHORA SECUNDIFLORA / TEXAS MOUNTAIN LAUREL                 |
|  | CC   | CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD                  |
| SHRUBS  | CODE | BOTANICAL / COMMON NAME                                      |
|  | IC   | ILEX CORNUTA 'BURFORDI NANA' / DWARF BURFORD HOLLY           |
|  | MP   | MYRTICA PUSILLA / DWARF SOUTHERN WAX MYRTLE                  |
|  | AE   | ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA        |
|  | ML   | MUHLENBERGIA LINDEIMERI / LINDEIMER 'S' MUHLY                |
|  | MS   | MISCANTHUS SINENSIS 'ADAGIO' / MAIDEN GRASS                  |
|  | IL   | ILEX 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY           |
|  | LF   | LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE                         |
| GROUND COVERS   | CODE | BOTANICAL / COMMON NAME                                      |
|  | SEED | CYNODON DACTYLON / BERMUDA GRASS                             |
|  | SOD  | CYNODON DACTYLON / COMMON BERMUDA GRASS                      |



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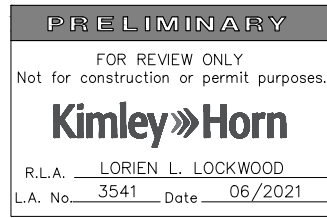
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[illegible]

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|             |           |             |           |
|-------------|-----------|-------------|-----------|
| KHA PROJECT | 064405619 | DATE        | JUNE 2021 |
| SCALE       | AS SHOWN  | DESIGNED BY | AMP       |
| DRAWN BY    | AMP       | CHECKED BY  | LLL       |

**MANSFIELD BUSINESS  
PARK**

MANSFIELD

# PLANTING PLAN EXHIBIT D

ZC#21-009

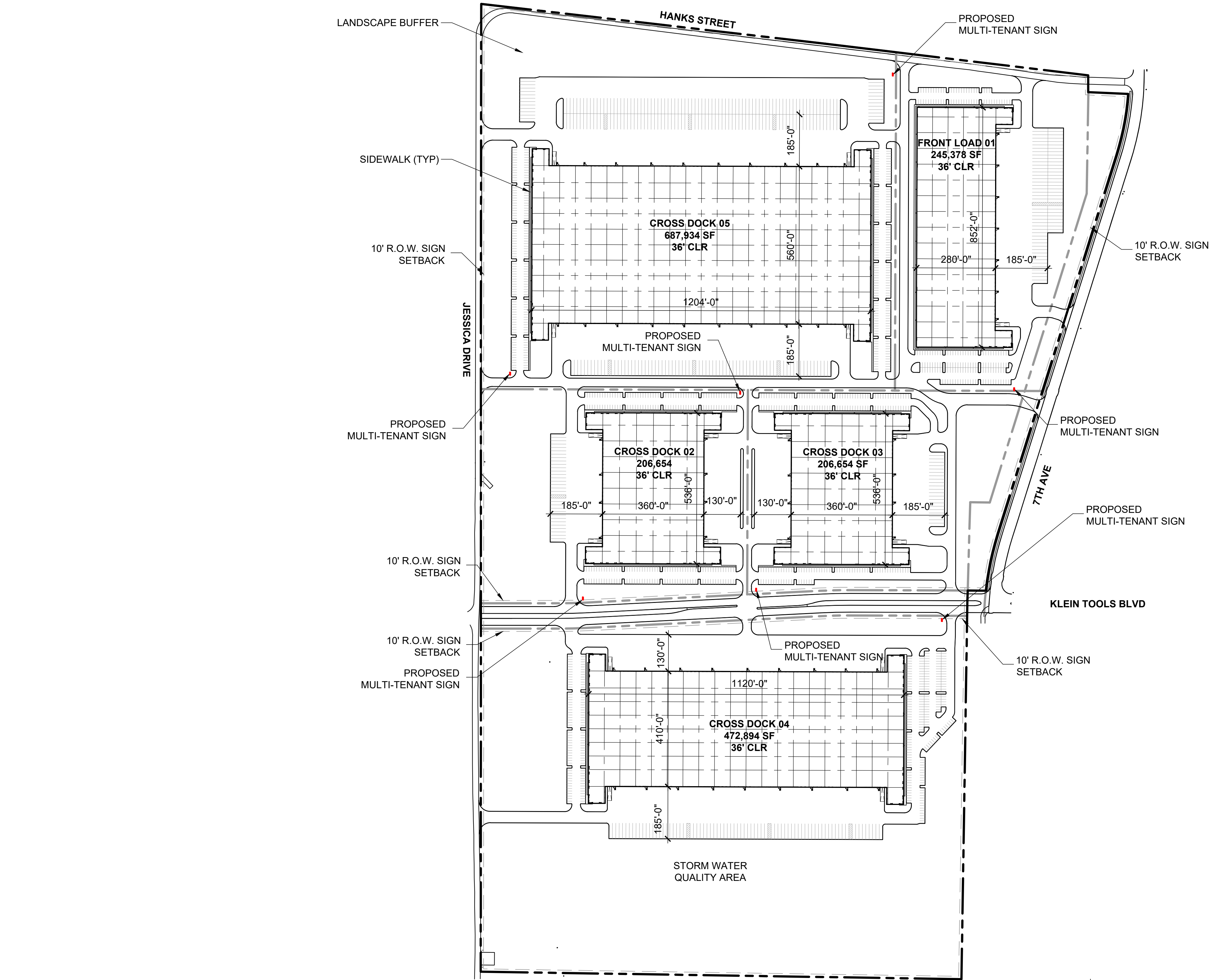
SHEET NUMBER

LP 1.12



# MASTER PLAN- SIGN LOCATIONS- EXHIBIT E

 MONUMENT SIGN



| TYPE OF SIGN   | ZONING DISTRICT WHERE PERMITTED * | SIGN CLASSIFICATION PERMITTED | MAXIMUM AREA IN SQUARE FEET     | MAXIMUM HEIGHT IN FEET | MAXIMUM WIDTH IN FEET | MINIMUM SETBACK FROM STREET RIGHT-OF-WAY LINE IN FEET** | MINIMUM SETBACK FROM SIDE OR REAR PROPERTY LINE IN FEET** | MAXIMUM QUANTITY/ MINIMUM SPACING  | LIGHTING | FLASHING | MOTION | ADDITIONAL REGULATIONS  |
|--|-----------------------------------|-------------------------------|---------------------------------|------------------------|-----------------------|---|---|--|----------|----------|--------|---|
| INSTITUTIONAL  | ALL DISTRICTS                     | M, W                          | 50                              | 10                     | 10                    | 10  | 15  | ONE PER STREET FRONTAGE PLUS ONE WALL SIGN ON THE PRINCIPAL BUILDING   | YES      | NO       | NO     | SEE NOTES (2) (6) (7) (10) & (11)   |
| APARTMENT NAME   | MF-1, MF-2                        | M, W                          | 50                              | 10                     | 10                    | 10  | 15  | ONE PER STREET ENTRANCE  | YES      | NO       | NO     | SEE NOTES (2) (3) (4) (7) (10) & (11)   |
| NAME PLATE   | ALL DISTRICTS                     | P, W                          | 2                               | N/A                    | NONE                  | N/A   | N/A   | NONE   | NO       | NO       | NO     | SEE NOTE (6)  |
| GENERAL BUSINESS   | C-1, C-2, C-3, C-4, I-1, I-2      | W                             | NONE                            | N/A                    | SEE NOTE (11)         | N/A   | N/A   | ONE PER STREET FRONTAGE PER INDIVIDUALLY OWNED LOT OR TRACT PLUS ONE WALL SIGN PER TENANT WHO OCCUPIES SUCH LOT OR TRACT | YES      | NO       | YES    | SEE SECTION 7100E   |
|  |                                   | M, PR                         | 50                              | 10                     | 10                    | 10  | 15  |  | YES      | NO       | YES    | SEE NOTES (7) (10) & (11)   |
| ADVERTISING  | C-3, I-1, I-2                     | P, G                          | 600                             | 40                     | NONE                  | 10  | 15  | SEE SECTION 7100F  | YES      | NO       | YES    | SEE NOTE (5)  |
| AGRICULTURAL   | A                                 | M, W                          | 32                              | 10                     | 10                    | 10  | 15  | ONE PER STREET FRONTAGE  | NO       | NO       | NO     | SEE NOTE (10)   |
| SUBDIVISION  | ALL DISTRICTS                     | M, W                          | 32                              | 6                      | 10                    | N/A   | N/A   | ONE SIGN PER STREET ENTRANCE TO THE SUBDIVISION  | NO       | NO       | NO     | SEE NOTES (6) & (10)  |
| DIRECTORY  | OP                                | M, W                          | 32                              | 6                      | 10                    | 10  | 15  | ONE PER STREET FRONTAGE  | YES      | NO       | NO     | SEE NOTES (10) & (11)   |
| WINDOW   | ALL NON-RESIDENTIAL DISTRICTS     | N/A                           | SEE NOTE (12)                   | N/A                    | N/A                   | N/A   | N/A   | N/A  | YES      | NO       | NO     | TEMPORARY   |
| ELECTRONIC MESSAGE CENTER/READER BOARD SIGN  | C-2, C-3, I-1, I-2                | M                             | LIMITED TO 50% OF THE SIGN AREA |                        |                       |   |   |  |          |          |        | SEE NOTES (8) (9) (10) & (11)   |
| NOTES:<br>(1) Width not to exceed 75% of building or store front.<br>(2) Permitted on face of fence or wall in required front setback.<br>(3) For building identification only.<br>(4) Not applicable to rental single-family or two-family dwellings.<br>(5) Specific use permit required.<br>(6) Signs permitted in residential districts are also permitted in the PR district.<br>(7) On lots with direct frontage along U.S. 287 and S.H. 360 monument signs may have a maximum height of 15 feet and a maximum sign area of 75 square feet. The sign must be located along the highway frontage of the lot.<br>(8) Electronic Message Centers/Reader Boards may be used by institutional uses in any zoning district.<br>(9) Signs for theaters advertising current and coming attractions shall be exempt from the percentage restriction on Electronic Message Center and Reader Board signs.<br>(10) See section 7100.K.13 for further regulations on monument signs.<br>(11) No freestanding sign may be located within 400 feet of another freestanding sign on the same lot or tract, measured along the street right-of-way lines.<br>(12) The total sign area of window signs shall not obscure more than twenty-five (25) percent of the total window area on each facade. Doors shall not contain signage for any message other than business name, hours of operation and payment method, and such signage shall not exceed four (4) square feet in total area.<br>**Where the width of an easement is greater than the required setback, the sign must be located outside of the easement. |                                   |                               |                                 |                        |                       |   |   |  |          |          |        | LEGEND:<br><br>M – MONUMENT SIGN<br>P – POLE SIGN<br>W – WALL SIGN<br>G – GROUND SIGN<br>PR – PROJECTION SIGN |

ALL PROPOSED SIGNS TO MEET PLACEMENT AND SIZE REQUIREMENTS FOUND IN 155.090 SIGN STANDARDS OF THE ZONING ORDINANCE

## DEVELOPMENT SITE PLAN- EXHIBIT E ZC#21-009

146.50 ACRES OF LAND LOCATED IN THE V.M. STYLES SURVEY ABSTRACT NO. 791, J.Q. WHEELER SURVEY, ABSTRACT NO. 903 & S.M. KEMP SURVEY, ABSTRACT NO. 492 MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006



MANSFIELD BUSINESS PARK  
a project for  
STONELAKE CAPITAL PARTNERS

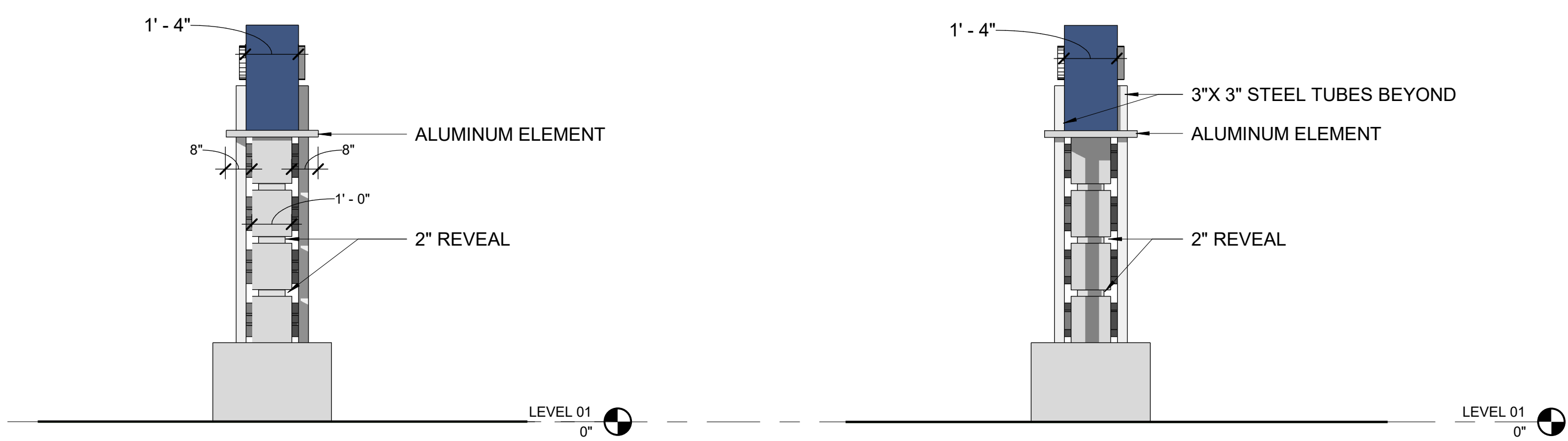
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MULTI-TENANT SIGN- EXHIBIT E

OVERALL ELEVATIONS

SCALE: 3/8" = 1'-0"

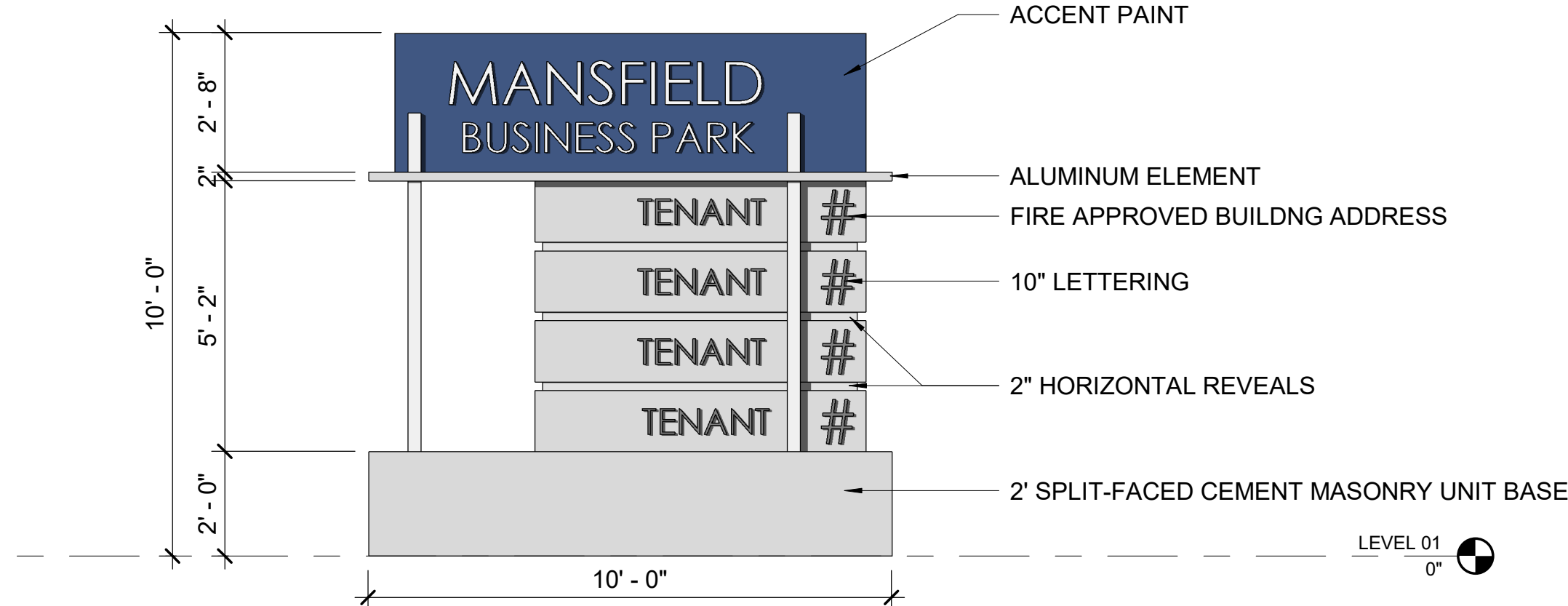


ELEVATION - LEFT

SCALE: 3/8" = 1'-0"

ELEVATION - RIGHT

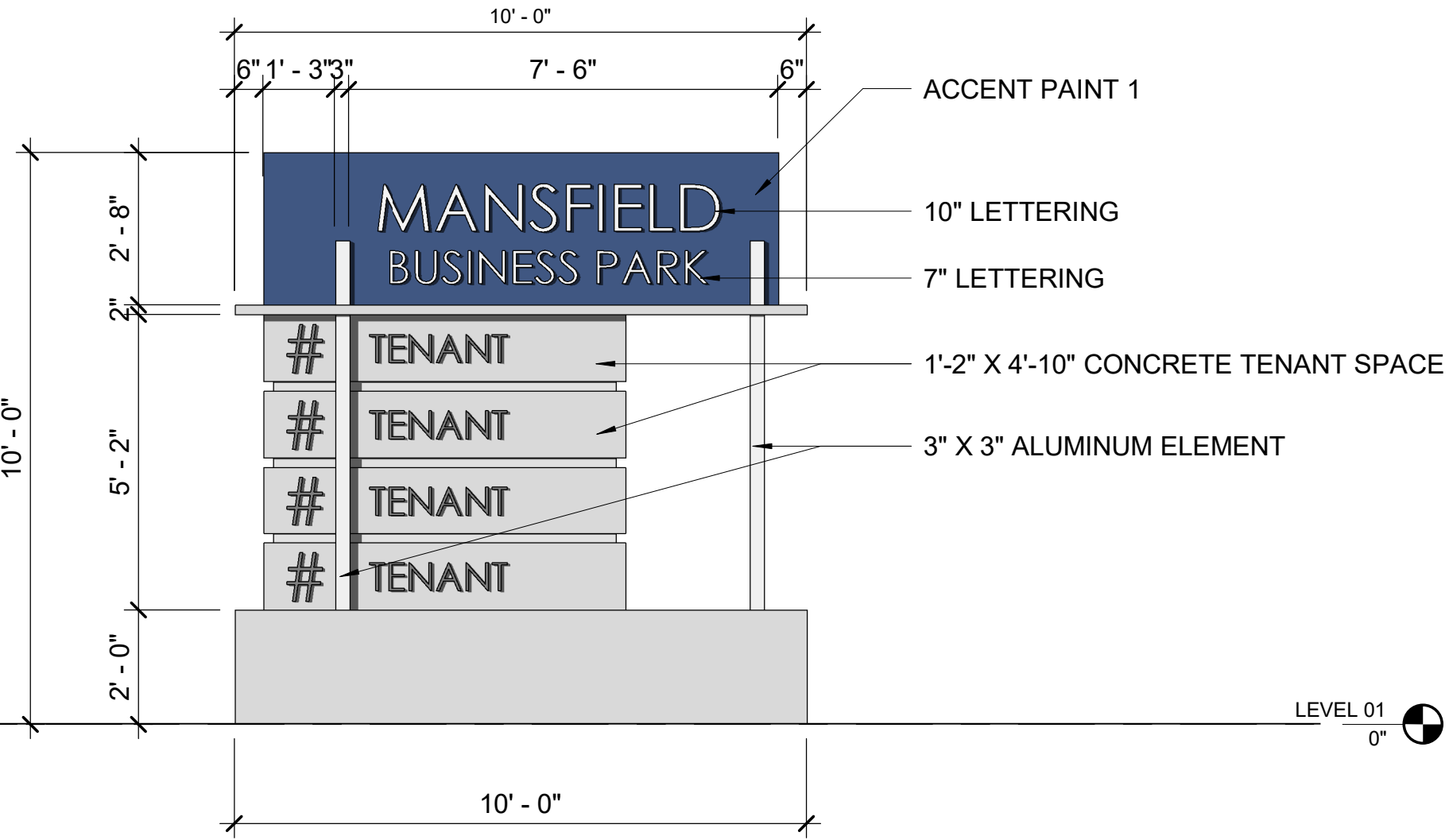
SCALE: 3/8" = 1'-0"



ELEVATION - BACK

SCALE: 3/8" = 1'-0"

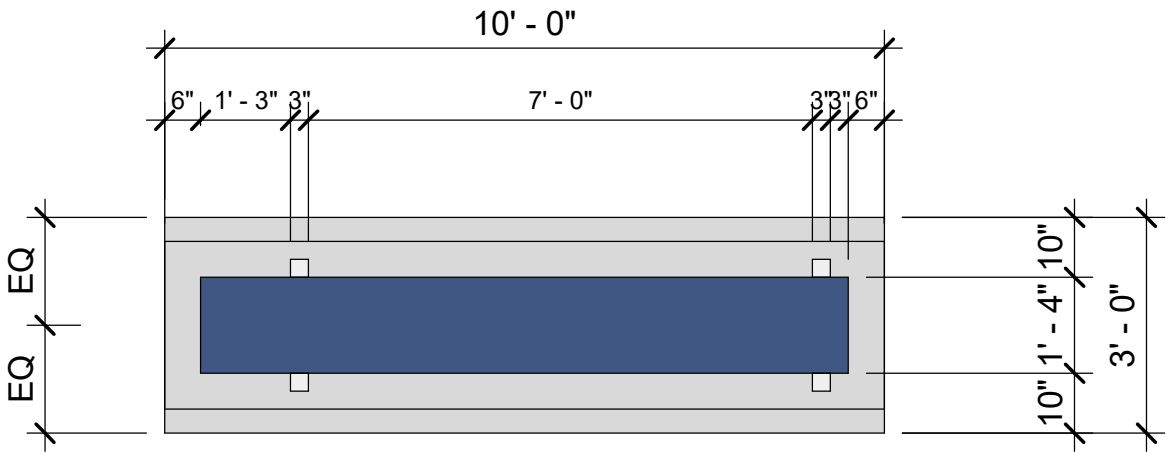
BACK SIGN AREA: 49.7 SF



ELEVATION - FRONT

SCALE: 3/8" = 1'-0"

FRONT SIGN AREA: 49.7 SF



PLAN VIEW

SCALE: 3/8" = 1'-0"

DEVELOPMENT SITE PLAN- EXHIBIT E  
ZC#21-009

146.50 ACRES OF LAND LOCATED IN THE  
V.M. STYLES SURVEY ABSTRACT NO. 791,  
J.Q. WHEELER SURVEY, ABSTRACT NO. 903 &  
S.M. KEMP SURVEY, ABSTRACT NO. 492  
MANSFIELD, JOHNSON COUNTY, TEXAS  
PREPARED MARCH 26, 2021 & JULY 24, 2006

\*RENDERING IS REPRESENTATIVE OF DESIGN INTENT ONLY. IT IS NOT A PHOTOREALISTIC REPRESENTATION OF ACTUAL MATERIALS PROPOSED AND SHOULD BE CONSIDERED PRELIMINARY AT ALL STAGES.

MANSFIELD BUSINESS PARK  
A PROJECT FOR  
STONELAKE CAPITAL PARTNERS

HOUSTON

09/14/21

TEXAS

JT

211057

powers  
brown  
archit  
ecture





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4364

**Agenda Date:** 11/8/2021

**Version:** 2

**Status:** Second Reading

**In Control:** City Council

**File Type:** Ordinance

**Agenda Number:**

**Title**

Ordinance - Public Hearing and Second and Final Reading on an Ordinance Approving a Zoning Change from C-2 Community Business District to PD, Planned Development District for 2F, Two Family Residential District Plus Triplex for a Duplex and Triplex, Attached Single-Family Development on Approximately 6.56 Acre Tract of Land Situated in the Henry McGehee Survey, Abstract Number 998, Located in the City of Mansfield, Tarrant Co., TX, Being all of Lots 6,7,8, And 9, Matlock Center Addition and Being Part of a Called 12.974 Acre Tract in Substitute Trustee's Deed to Kingdom Work Foundation, Recorded in Instrument D214023663 Located in the City of Mansfield, Tarrant Co., TX, Generally Located at 1701 Country Club Drive and 1107-1110 Alexis Court; Brian Cotter of Cotter Associates, planner on Behalf of Louis Scoma of Kingdom Work Foundation, owner (ZC#21-015)

**Requested Action**

To consider the subject zoning change request.

**Recommendation**

The Planning & Zoning Commission held a public hearing on April 5, 2021 and voted 7-0 to recommend approval with the following conditions 1) fences adjoining single family residential will be 8 foot board on board with a cap, 2) provide an additional pedestrian walkway and access point, 3) all trees on the north and west side of the parcel aligning the residential area must be evergreens, and 4) removal of the fire pit amenity.

Opposition was present and discussed the need for 8-foot fences, pedestrian connectivity to development east of Matlock, evergreen screening, and safety concerns with a fire pit amenity. All items have been addressed in the applicant's site plan submittals for City Council.

Staff recommends approval.

**..First Reading:**

City Council voted 6-0-1 to approve with Council Member Tonore abstaining from the vote. The motion included stipulations that the fire pit amenity feature include a gas fire pit with shut off timer, that the project schedule stipulate that the construction of the first unit must occur within 36 months of approval and that and that the HOA maintain all common areas and provide a security monitoring camera at ingress/egress of the development.



**Description/History**

*Existing Use:* vacant

*Existing Zoning:* C-2, Community Business District

***Surrounding Land Use & Zoning:***

North -Single-family residential, PR & SF-7.5/12

South - Commercial: Office, Mini Warehouse, and Retail, C-2

East - Commercial and Institutional; Medical Office and Church, C-2

West - Single-family residential, PR & SF-7.5/12

***Thoroughfare Plan Specification:***

Country Club Drive - major arterial (four-lane divided)

Matlock Road - principal arterial (six-lane divided)

Alexis Court - local street (two-lane undivided)

**Comments and Considerations**

The subject vacant property consists of 6.56 acres with existing commercial zoning. The applicant is requesting to rezone the property from C-2 Community Business District to PD Planned Development District for an attached single-family, based on 2F standards, townhouse development. 2F development specifically allows for duplex (two-family) style development. The PD standards would allow for the consideration of up to three attached units.

**Development Plan and Standards**

The applicant plans to develop an attached single-family residential development (townhouse style development) called Alexis Court Brownstones with 48 residential lots and four open space lots (10,878 sf, 15.7% of site). An extension of Alexis Court will continue through the site and two new public streets, Grove Lane and Crystal Cove Court, will extend from it connect. The typical lot width will be less than 50 feet wide, as such, the developer is providing all parking access at the rear of the properties via alleyways. A 2-car garage with an apron that can accommodate additional guest and owner parking will be provided for each unit. Each unit will also have an uncovered front porch patio that extends out from the building towards the pedestrian realm. The development will have a gross density of 7.3 dwelling units per acre and will have the following minimum standards:

Average Lot Area: 2,791 sq. ft.

Minimum Lot Area: 1,980 sq. ft.

Largest Lot Area: 4,622 sq. ft.

Minimum Lot Width: 22'

Minimum Lot Depth: 90'

Minimum Front Yard: 10'

Minimum Rear Yard: 18'

Minimum Interior Side Yard: 5' (10' when abutting a street or alley)

Minimum Residential Home SF: 1,593 sq. ft.

Maximum Height: 35'



### Architectural Regulations and Elevations

The architecture and community design standards will adhere to Section 155.056 of the Zoning Ordinance. Elevations have been provided by the developer and reviewed by staff for compliance. Building materials as presented are over 80% masonry with the remainder being made of masonry like products and wood accents (less than 6% of façade). All homes include an uncovered patio/porch with low wall accent to provide front yards for all homes. At 2-stories, the size of the proposed buildings are comparable to the allowed heights in the surrounding districts. A mix of building styles and materials used allows the neighborhood break up monotony and still maintain a similar character throughout the development.

### Enhanced Entryway Plan

The entrance into the development on Alexis Court will include an enhanced entryway. As indicated in the Enhanced Entryway Plan (Exhibit C), the developer will be providing five enhanced entry features as required by the Zoning Ordinance. The five proposed elements of the entryway are a boulevard section with median (illustrated by a raised and planted feature in the middle of an existing cul-de-sac), stained concrete (stamped patterned colored concrete), decorative street lighting, enhanced architectural features (enhanced architectural columns), and enhanced landscaping features (shade trees, ornamental trees, shrubs, and ground cover).

### Landscaping, Screening, and Amenities

A Landscape and Screening Plan (Exhibit D) has been provided for the development. The developer is providing 44,905 sf (15.7% of the site) as open space. 34,027 of that sf is within a buffer lot being provided as a buffer to the surrounding residential development. Along with plantings (including 3" caliper Live and Shumard Red Oak), the developer is providing a 6-foot board on board cedar fence with cap and galvanized posts. The developer is also providing 4 opens space lots as amenity spaces for the community. They are providing a dog park enclosure, community garden, fire pit, and an unprogrammed gathering area. The sum of those spaces is 10,878 sf. A minimum 20-foot landscape buffer is being provided around the development where the property abuts the existing single-family.

### Summary

Transitions from commercial to residential development are important in promoting orderly growth. The subject property is a portion of an approved plat from 2002 for commercial development around the existing cul-de-sac. As a commercial tract, the subject property does not have direct frontage to the arterials at the intersection. A rezoning to an attached single-family (based on 2F) townhouse project allows for smaller residential lot development to abut existing detached single-family lots and allows the transition to commercial to remain at the existing extent of development. The proposed project provides adequate buffering by providing a 20-foot landscape buffer, 20-foot rear common access drive and an 18-foot-deep drive apron. This separation places the 2-story structures almost 60-feet away from the adjoining SF7.2-12 property lines on the west and north of the property.



The applicant is now providing an 8-foot screening fence, evergreen trees for screening, provided a pedestrian connection along the northern portion of the property, and removed the fire pit amenity as recommended by the Planning and Zoning Commission.

**Prepared By**

Arty Wheaton-Rodriguez, Assistant Director  
817-276-4245



**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR 2F, TWO FAMILY RESIDENTIAL DISTRICT PLUS TRIPLEX (ATTACHED SINGLE-FAMILY), PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE**

**WHEREAS**, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended.

**NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:**

**SECTION 1.**

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new zoning district classification of PD, Planned Development; said property being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

**SECTION 2.**

That the use and development of the hereinabove described property shall be in accordance with the development plan shown on Exhibit "B" attached hereto and made a part hereof for all purposes.

**SECTION 3.**

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

**SECTION 4.**

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.



**SECTION 5.**

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

**SECTION 6.**

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

**SECTION 7.**

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

**FIRST READING APPROVED ON THE 25<sup>TH</sup> DAY OF OCTOBER, 2021.**

**DULY PASSED ON THE SECOND AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 8<sup>TH</sup> DAY OF NOVEMBER, 2021.**

\_\_\_\_\_  
**Michael Evans, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Susana Marin, City Secretary**

**APPROVED AS TO FORM AND LEGALITY:**

\_\_\_\_\_  
**Allen Taylor, City Attorney**



STATE OF TEXAS §  
COUNTY OF TARRANT §

WHEREAS Kingdom Work Foundation, acting by and through the undersigned, their duly authorized agent, is the owner of the herein described property to wit:

**PLAT METES AND BOUNDS DESCRIPTION**

BEING 6.560 acre tract of land situated in the Henry McGehee Survey, Abstract Number 998, located in the City of Mansfield, Tarrant County, Texas, being all of Lots 6,7,8, and 9, Matlock Center Addition, recorded in Cabinet A, Page 7957 of the Official Public Records, Tarrant County, Texas, (OPRTCT), and being part of a called 12.974 Acre Tract in Substitute Trustee's Deed to Kingdom Work Foundation, recorded in Instrument D214023663, OPRTCT, said 6.560 acre tract being more particularly described as follows:

BEGINNING at a set mag nail with washer stamped "YPASSOCIATES.COM" at the northeast corner of Lot 1, Block 1, Matlock Center Addition, recorded in Cabinet A, Page 8566, OPRTCT and on the West right-of-way line of Matlock Road (120' wide);

THENCE South 80 degrees 34 minutes 22 seconds West, with the north line of said Lot 1, a distance of 105.46 feet to a point for corner an angle point in the north line of said Lot 1, from which a found "X" in concrete bears South 17 degrees 26 minutes 04 seconds West, a distance of 0.62 feet;

THENCE South 59 degrees 59 minutes 05 seconds West, continuing with the north line of said Lot 1, a distance of 296.51 feet to a found "X" in concrete at the northwest corner of said Lot 1;

THENCE South 30 degrees 09 minutes 34 seconds East with the west line of said Lot 1, passing at a distance of 197.13 feet a found 1/2" iron rod with cap stamped "ALS LAND SURVEYING" at the southwest corner of said Lot 1 and the northwest corner of Lot 2, Block 1, Matlock Center Addition, recorded in Cabinet A, Page 8566, OPRTCT, continuing with the west line of said Lot 2, a total distance of 364.66 feet to found mag nail in concrete, at the southwest corner of said Lot 2, in the north line of Lot 2A, Block 1, Country Bear Addition, recorded in Cabinet A, Page 11927, OPRTCT;

THENCE South 60 degrees 07 minutes 18 seconds West, with the north line of said Lot 2A, a distance of 218.19 feet to a found 1/2" iron rod at the northwest corner of said Lot 2A, the northeast corner of said Lot 9, and the east corner of said Lot 8;

THENCE South 29 degrees 55 minutes 17 seconds East, with the west line of said Lot 2A and the east line of said Lot 9, a distance of 195.55 feet to a found 1/2" iron rod at the southeast corner of said Lot 9, and the northeast corner of Lot 10, Block 1, Matlock Center Addition, recorded in Cabinet A, Page 7957, OPRTCT;

THENCE South 60 degrees 11 minutes 27 seconds West, with the south line of said Lot 9 and the north line of said Lot 10, a distance of 150.02 feet to a found 1/2" iron rod with a cap stamped "ypassociates.com" at the southwest corner of said Lot 9, the northwest corner of said Lot 10, and on the east right-of-way line of Alexis Court (50' wide);

THENCE North 29 degrees 48 minutes 33 seconds West with the east right-of-way line of said Alexis Court, a distance of 24.12 feet to a found 1/2" iron rod with a cap stamped "ypassociates.com" at the beginning of a curve to the right having a radius of 28.00' and whose chord bears North 06 degrees 12 minutes 39 seconds West, a distance of 22.42 feet;

THENCE Northwesterly, with the east right-of-way line of said Alexis Court, along said curve to the right, through a central angle of 47 degrees 11 minutes 49 seconds and an arc distance of 23.06 feet to a found 1/2" iron rod with a cap stamped "ypassociates.com" at the beginning of curve to the left having radius point bears North 72 degrees 36 minutes 40 seconds West, a distance of 50.00 feet and whose chord bears South 60 degrees 11 minutes 33 seconds West, a distance of 67.95 feet;

THENCE Southwesterly, with the north right-of-way line of said Alexis Court, along said curve to the left, through a central angle of 274 degrees 23 minutes 33 seconds and an arc distance of 239.45 feet to a found 1/2" iron rod with a cap stamped "ypassociates.com" at the beginning of a curve to the right having a radius of 28.00 feet and whose chord bears South 53 degrees 24 minutes 26 seconds East, a distance of 22.42 feet;

THENCE Southeasterly, with the west right-of-way line of said Alexis Court, along said curve to the right through a central angle of 47 degrees 11 minutes 46 seconds and an arc distance of 23.07 feet to a found 1/2" iron rod;

**PLAT METES AND  
BOUNDS DESCRIPTION**

**YAZEL PEEBLES &  
ASSOCIATES LLC**

TBPELS 10194022  
P.O. Box 210097  
Bedford, TX 76095  
817.268.3316  
ypassociates.com



2021-162-001

PAGE 1 OF 2



JUNE 25, 2021

**ZC#21-015 EXHIBIT "A"**  
**6.560 ACRE TRACT**

BEING LOTS 6,7,8, AND 9 MATLOCK CENTER ADDITION  
AND PART OF A CALLED 12.974 ACRE TRACT  
TO KINGDOM WORK FOUNDATION SITUATED IN THE  
HENRY MCGEHEE SURVEY, ABSTRACT NO. 998

CITY OF MANSFIELD  
TARRANT COUNTY, TEXAS



THENCE South 29 degrees 48 minutes 33 seconds East, with the west right-of-way line of said Alexis Court, a distance of 27.09 feet to a point for corner at the southeast corner of said Lot 6 and the northeast corner of Lot 5, Block 1, Matlock Center Addition, recorded in Cabinet A, Page 7957, OPRTCT from which a Found 1/2" iron rod bears North 49 degrees 08 minutes 48 seconds East, a distance of 0.5 feet;

THENCE South 60 degrees 11 minutes 27 seconds West, with the south line of said Lot 6 and the north line of said Lot 5, a distance of 196.10 feet to a found 1/2" iron rod with cap stamped "WIER ASSOC. INC." at the southwest corner of said Lot 6 and the northwest corner of said Lot 5, being on the east line of Block 3, Walnut Creek Connection Phase I recorded in Volume 388-171, Page 21, OPRTCT;

THENCE North 20 degrees 43 minutes 43 seconds West, with the east line of said Block 3, a distance of 148.79 feet to a point for corner at an angle point on the east line of said Block 3, from which a found 5/8" iron rod bears North 58 degrees 02 minutes 49 seconds West, a distance of 3.4 feet;

THENCE North 08 degrees 17 minutes 58 seconds West, with the east line of said Block 3, a distance of 568.23 feet to a point for corner at an inner ell corner of said Block 3, from which a fence corner post bears North 04 degrees 07 minutes 15 seconds West, a distance of 1.0 feet;

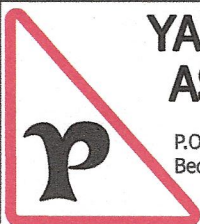
THENC North 81 degrees 42 minutes 02 seconds East, with the south line of said Block 3, a distance of 142.69 feet to a point for corner at an angle point on the south line of said Block 3, from which a fence corner post bears South 16 degrees 36 minutes 29 seconds West, a distance of 0.4 feet;

THENCE North 69 degrees 25 minutes 59 seconds East, with the south line of said Block 3, a distance of 164.17 feet to a point for corner at an angle point on the south line of said Block 3, from which a 1/2" iron rod bears South 60 degrees 07 minutes 05 seconds East, a distance of 1.4 feet;

THENCE North 60 degrees 04 minutes 28 seconds East, with the south line of said Block 3, a distance of 482.98 feet to a point for corner at the southeast corner of said Block 3, on the west right-of-way line of said Matlock Road and in a curve to the right having a radius of 940.00 feet, whose chord bears South 27 degrees 43 minutes 38 seconds East, a distance of 70.15 feet, from which a found 5/8" iron rod bears South 29 degrees 33 minutes 15 seconds East, a distance of 1.0 feet

THENCE Southeasterly, with the west right-of-way line of said Matlock Road, along said curve to the right through a central angle of 04 degrees 16 minutes 36 seconds and an arc distance of 70.16 feet to the POINT OF BEGINNING and containing 6.560 acres, or 285,758 square feet of land, more or less.

PLAT METES AND  
BOUNDS DESCRIPTION

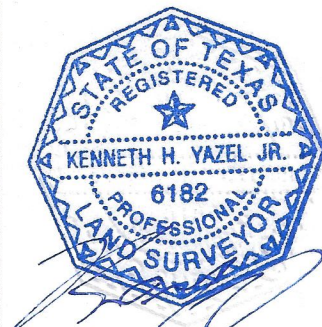


**YAZEL PEEBLES &  
ASSOCIATES LLC**

TBPELS 10194022  
P.O. Box 210097 **817.268.3316**  
Bedford, TX 76095 [ypassociates.com](http://ypassociates.com)

2021-162-001

PAGE 2 OF 2



JUNE 26, 2021

**ZC#21-015 EXHIBIT "A"**  
**6.560 ACRE TRACT**

BEING LOTS 6,7,8, AND 9 MATLOCK CENTER ADDITION  
AND PART OF A CALLED 12.974 ACRE TRACT  
TO KINGDOM WORK FOUNDATION SITUATED IN THE  
HENRY McGEHEE SURVEY, ABSTRACT NO. 998

CITY OF MANSFIELD  
TARRANT COUNTY, TEXAS



MINIMUM DEVELOPMENT STANDARDS:

- FRONT SETBACK = 10'
- REAR SETBACK = 18'
- SIDE ABUTTING STREET OR ALLEY = 10'. SIDE SETBACK BETWEEN BUILDING BREAKS 5' EACH SIDE. SIDE SETBACK ON ALL OTHERS = 5'. LOT DEPTH MIN. = 90', LOT WIDTH MIN. = 22'
- ALL NEW PERIMETER FENCING SHALL BE 6' BOARD ON BOARD CEDAR FENCE WITH CAP AND GALV. POSTS. ANY FENCING IN FRONT YARDS WILL BE 4'-6" ORNAMENTAL IRON. REAR / SIDE YARD FENCES MAY BE 6' B ON B CEDAR OR 6' ORNAMENTAL IRON.
- MIN. HOME S.F. = 1,593 + 2 CAR GARAGE - MIN ROOF PITCH = 6 IN 12  
MAX HOME HEIGHT = 35' (2 STORY MAX) - BLDG. PADS = 60' x 22'.  
REQUIRED PARKING = 2 PER LOT. PROVIDED = 4 (2 CAR GARAGE + 2 IN DRIVE)  
SIDEWALKS WILL BE INSTALLED WITHIN THIS DEVELOPMENT AS SHOWN.
- RESIDENTIAL LOT LANDSCAPE STANDARDS SHALL BE IN ACCORDANCE WITH CITY ORDINANCE.
- THE SITE AMENITIES AND PERIMETER SCREENING SHALL BE COMPLETED PRIOR TO HOME BUILDING PERMITS.
- ALL AC UNITS SHALL BE SCREENED FROM PUBLIC VIEW.
- ALL ROOFS SHALL BE ENHANCED GAF TIMBERLINE OR EQUAL.
- ALL IRRIGATION OF OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
- ALL LANDSCAPE AREAS, INCLUDING LANDSCAPE BUFFERS, SETBACK AREAS, OPEN SPACE LOTS AND FRONT YARDS SHALL BE IRRIGATED.
- INDIVIDUAL LOT BACK AND SIDE YARD FENCING (IF DESIRED) SHALL BE A MAXIMUM OF 6' ORNAMENTAL IRON FENCE OR 6' BOARD ON BOARD CEDAR WITH A CAP IN THE SAME STYLE AS THE PERIMETER FENCES.
- THE HOMES SHALL COMPLY WITH COMMUNITY DESIGN STANDARDS 155.056 C AND D, UNLESS SPECIFICALLY STATED AND SHOWN N THIS PLAN OTHERWISE.
- FRONT PORCH UNCOVERED PATIOS AS SHOWN ON EXHIBIT E SHALL BE PROVIDED FOR EACH HOME. THE PATIOS WILL EXTEND OUT FROM THE BUILDING SETBACK AND PADS SHOWN ON THIS PLAN UP TO THE PROPERTY LINE IN SOME CASES. WITH REAR GARAGES THESE FRONT YARD SPACES WILL SERVE AS THE INDIVIDUAL YARDS FOR EACH HOME.
- THE INITIAL CONSTRUCTION SHALL COMMENCE WITHIN 36 MONTHS.
- A MAXIMUM OF 35% OF THE 2 HOME BUILDINGS MAY HAVE THE FLAT ROOFS DEPICTED IN THE PD BUILDING ELEVATIONS.
- A CAMERA SHALL BE LOCATED AT THE GRAND ENTRY INGRESS / EGRESS AREA.

MANDATORY OWNERS ASSOCIATION NOTES:

- A MANDATORY OWNERS ASSOCIATION WILL BE REQUIRED FOR THE MAINTENANCE OF THE "PRIVATE STREETS, OPEN SPACE, ENTRY FEATURES, WALLS, FENCES AND GATES".
- THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 FOR REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.
- THE COMMON AMENITY AREAS, BUFFERS, PERIMETER FENCING, ENTRY INGRESS EGRESS CAMERA, STREETSCAPE PARKWAYS AND GRAND ENTRY LANDSCAPE AND COLUMNS SHALL BE MAINTAINED BY THE HOA.

THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE CONFORMANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

ZC#21-015 PLANNED DEVELOPMENT (PD) FOR ALL USES IN 2F CONSISTING OF SINGLE FAMILY ATTACHED TOWNHOMES (2 AND 3 UNIT ATTACHED) WITH REAR GARAGES ACCESSED VIA ALLEYS. 48 LOTS 6 TRI-PLEX BUILDINGS, 15 DUPLEX BUILDINGS.



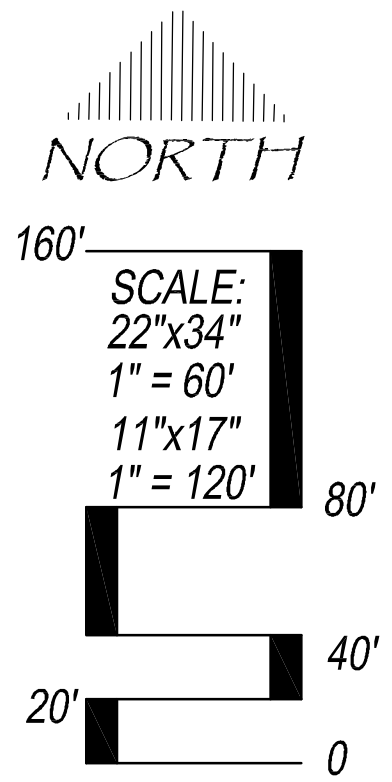
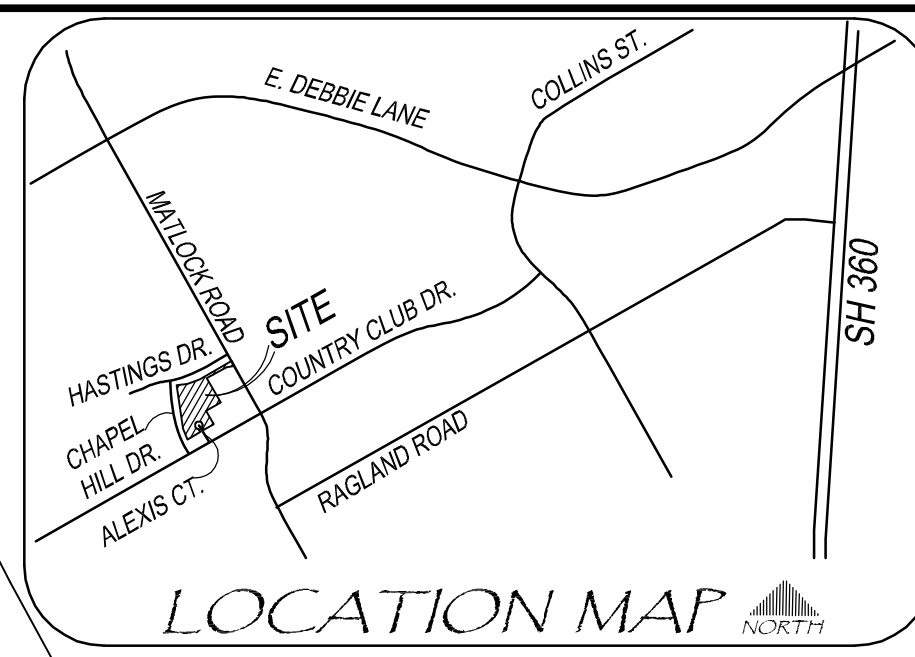
STONE FIRE PIT WITH FLAGSTONE PAVERS

NOTE: THE STONE FIRE PIT SHALL MEET ALL MANSFIELD FIRE DEPARTMENT REQUIREMENTS FOR EXTERIOR FIRE FACILITIES. IN ADDITION THE PIT SHALL HAVE A FLAGSTONE PATIO A MIN. OF 6' OUT FROM THE EDGE OF THE FIRE PIT ENCLOSURE. THE FIRE ENCLOSURE SHALL BE A MIN. OF 15' FROM ANY RESIDENTIAL STRUCTURE. THE FIRE PIT SHALL BE GAS WITH A TIMER DEVICE SO THAT IT CAN NOT BE LEFT ON UNATTENDED.

SITE DATA:  
SITE AREA = 285,768 S.F. (6.560 ACRES)  
OPEN SPACE:  
BUFFER LOT 1X, BLK.3 = 34,027 S.F.  
AMENITY LOTS 10X, BLK.1, 6X, BLK.4, 6X, BLK.5, 12X, BLK.6 = 10,878 S.F.  
TOTAL OPEN SPACE = 44,905 S.F. = 15.7% OF SITE  
COMMON ACCESS EASEMENT BLK.A, LOTS 1-6 = 43,655 S.F.  
STREET ROW DEDICATION = 63,254 S.F.  
2F LOT AREA = 133,944 S.F.  
2F TOWNHOUSE LOTS = 48  
DENSITY = 7.3 LOTS / ACRE  
AVERAGE LOT AREA = 2,791 S.F.  
MIN. LOT AREA = 1,980 S.F.  
LARGEST LOT = 4,622 S.F.

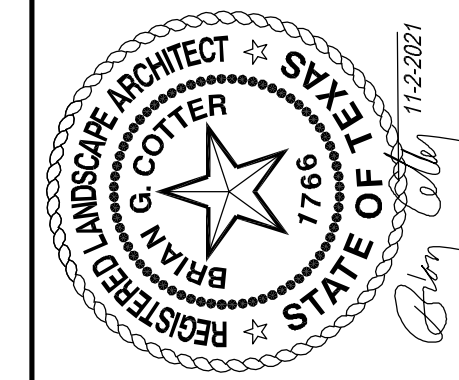
LINE AND CURVE TABLE

L1=N29°48'33"W 24.12'  
C1=DELTA=47°11'49"  
R=28.00', L=23.06'  
CH=N6°12'39"W 22.42'  
C2=DELTA=274°23'33"  
R=50.00', L=239.45'  
CH=S60°11'33"W 67.95'  
C3=DELTA=47°11'46"  
R=28.00', L=23.07'  
CH=S53°24'26"E 22.42'  
L2=S29°48'33"E 27.09'



G.A. DIXON & ASSOCIATES  
CIVIL ENGINEERING \* HYDROLOGY \* FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
Phone: (817) 808-3156 - Email: EGAD1258@gmail.com  
TEXAS ENGINEERING FIRM REGISTRATION #: 15836

COTTER ASSOCIATES, LLC  
LAND DEVELOPMENT DESIGN CONSULTANTS  
LAND PLANNING \* PROJECT MANAGEMENT \* LANDSCAPE ARCHITECTURE  
1703 NORTH PETCO DRIVE, SUITE C, ARLINGTON, TEXAS 76010  
Phone: (817) 919-4475 - Email: CALLCOTTER@SBCGLOBAL.NET  
Tx. Arch. Reg. Board FIRM REG. # BR-1373



ALEXIS COURT BROWNSTONES  
1701 COUNTRY CLUB DRIVE  
PD EXHIBIT "B" SITE PLAN & PRELIMINARY PLAT

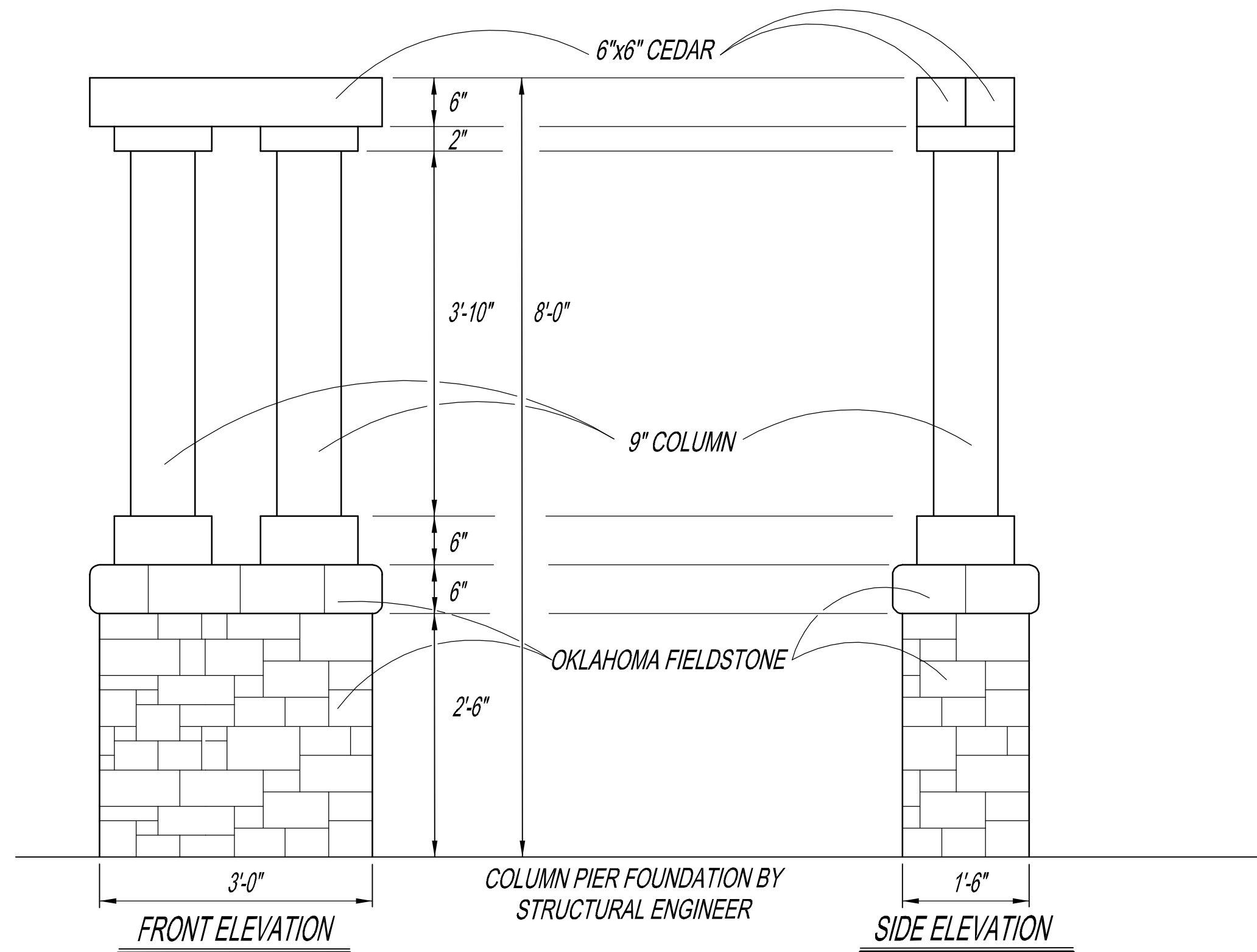
|             |            |                               |                              |
|-------------|------------|-------------------------------|------------------------------|
| DESIGN: BGC | DRAWN: DJC | DATE: 10-5-21<br>REV: 11-2-21 | PROJECT: 05-EMMETS SITE PLAN |
| 3           | OF         | 15                            |                              |

OWNER:  
KINGDOM WORK FOUNDATION  
INST. D214023663, O.P.R.T.C.T.  
3974 WITTEN DR., COLLEYVILLE, TEXAS 76034  
817.307.5989, ACCPKB@GMAIL.COM

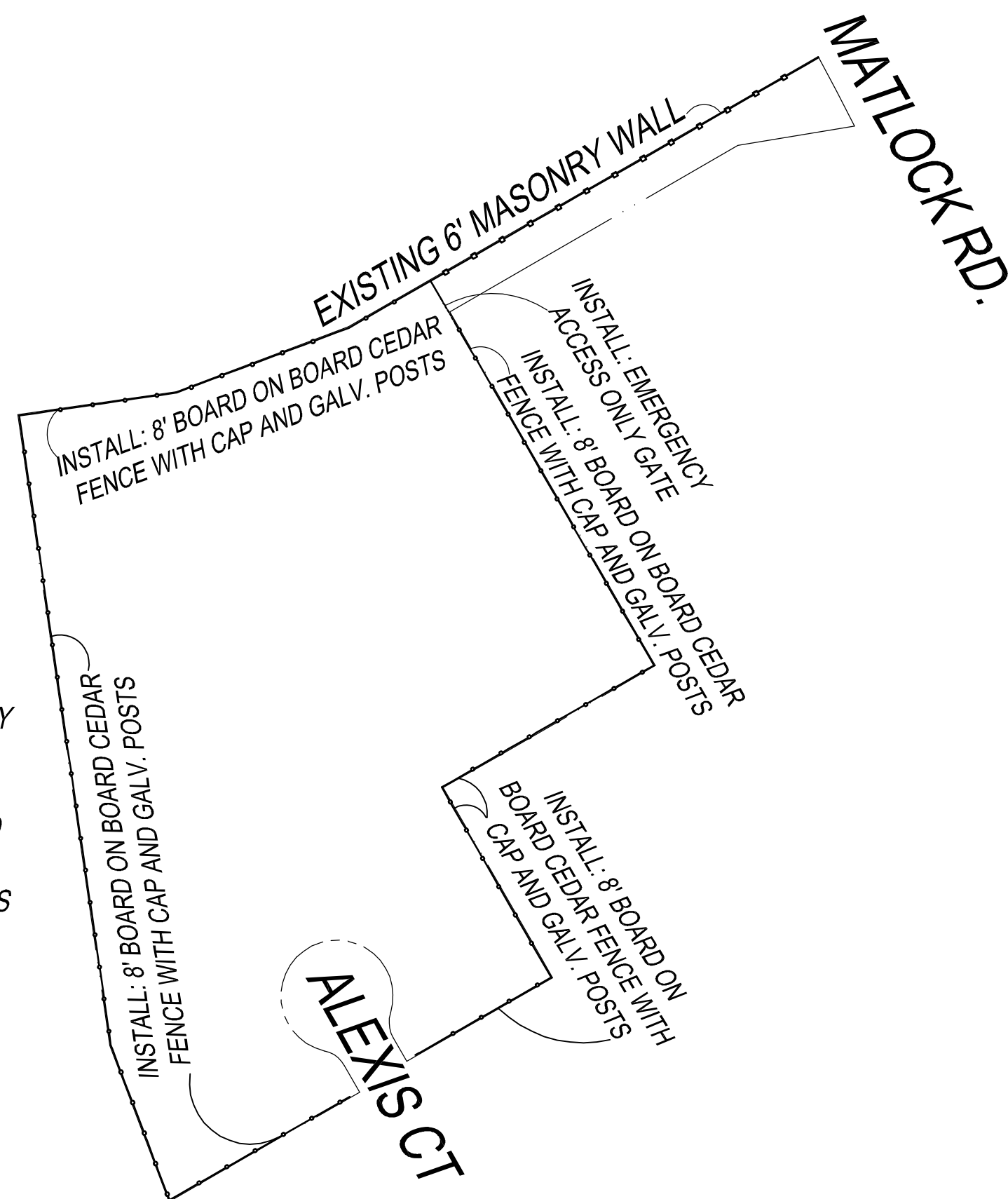
DEVELOPER:  
VILLAGE HOMES  
2817 W 5TH ST., FORT WORTH, TEXAS 76107  
817.714.4481, MICHAEL@HOMESOFCHARACTER.COM

SURVEYOR:  
YAZEL PEEBLES & ASSOCIATES LLC  
P.O. BOX 210097, BEDFORD, TEXAS 76095  
817.268.3316, YPASSOCIATES.COM  
TBPELS 1019422



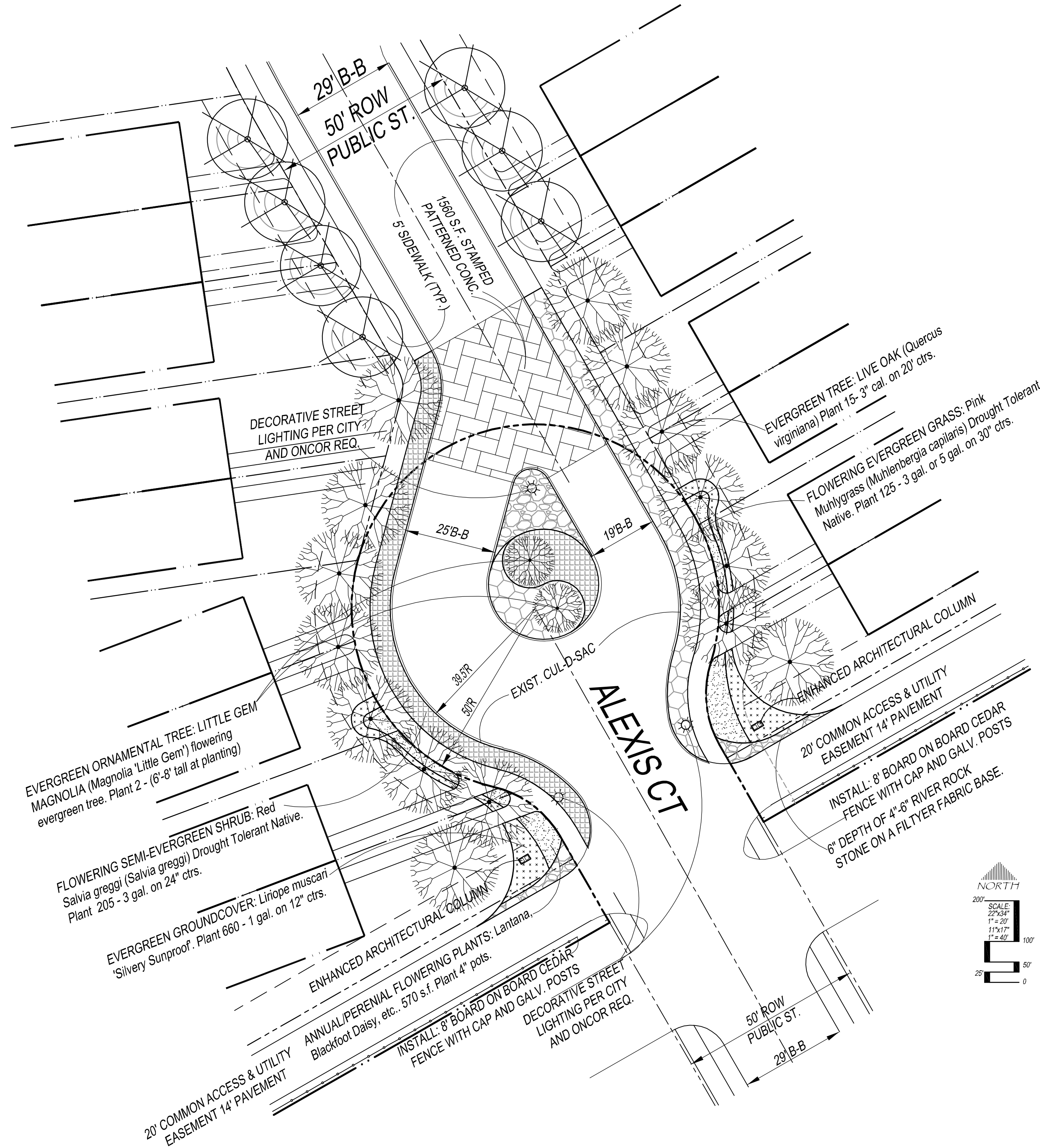


ENHANCED ARCHITECTURAL COLUMNS ON EACH SIDE OF GRAND ENTRY



NOTE: THE DEVELOPER WILL CONTACT THE ADJACENT PROPERTY OWNERS ALONG THE NORTH AND WEST PROPERTY LINES AND ATTEMPT TO OBTAIN PERMISSION TO REMOVE THE EXISTING FENCES TO REPLACE WITH THE NEW 8' CEDAR BOARD ON BOARD FENCE WITH CAP. IF DENIED PERMISSION THE DEVELOPER WILL INSTALL THE CONTINUOUS 8' BOARD ON BOARD FENCE ON ALEXIS COURT TOWNHOMES PROPERTY ALONG THE PROPERTY LINE.

PERIMETER BOARD ON BOARD CEDAR FENCE AND EXIST WALL PLAN

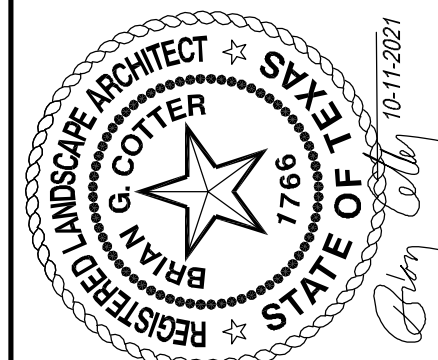


NOTE: THE MAINTENANCE OF ALL LANDSCAPE WITHIN THE PARKWAY AND CITY ROW SHALL BE MAINTAINED BY THE HOA. AUTOMATIC IRRIGATION SHALL BE INSTALLED TO PROVIDE WATER TO ALL TREES, SHRUBS, GROUNDCOVER AND SEASONAL PLANTINGS SHOWN ON THIS EXHIBIT C AND EXHIBIT D, IN ACCORDANCE WITH CITY REQUIREMENTS FOR IRRIGATION WITHIN ROW. THE IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE HOA.

ENHANCED ENTRY PLAN

G.A. DIXON & ASSOCIATES  
CIVIL ENGINEERING \* HYDROLOGY \* FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
Phone: (827) 808-3156 ~ Email: EGAD1258@gmail.com  
TEXAS ENGINEERING FIRM REGISTRATION #: 15836

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1703 NORTH PECO DRIVE, SUITE C, ARLINGTON, TEXAS 76001  
Phone: (817) 919-4475 ~ Email: CALLCOTTER@SBCGLOBAL.NET  
Tx. Arch. Reg. Board FIRM REG. # BR-1373



ALEXIS COURT BROWNSTONES  
1701 COUNTRY CLUB DRIVE  
PD EXHIBIT "C" ENHANCED ENTRY PLAN

DESIGN: BGC  
DRAWN: DJC  
DATE: 10-11-21  
PROJECT: ALEXIS COURT BROWNSTONES PD EXHIBIT "C" ENHANCED ENTRY PLAN

4 OF 15







- TREES TO BE REMOVED:  
WITHIN EASEMENTS &  
BLDG PAD (EXEMPT)

EXEMPT TREES TO BE REMOVED:

#3511 - 10" APRICOT

#3513 - 8" HACKBERRY

#3515 - 10" HACKBERRY

#3516 - 7" HACKBERRY

#3519 - 12" CEDAR

#3523 - 8" HACKBERRY

#3524 - 10" HACKBERRY

#3525 - 11" BRADFORD PEAR

#3526 - 11" HACKBERRY

#3532 - 11" HACKBERRY

#3533 - 33" HACKBERRY

#3535 - 6" HACKBERRY

#3536 - 14" APRICOT

#3547 - 7" HACKBERRY

#3548 - 18" HACKBERRY

#3549 - 16" HACKBERRY

#3550 - DEAD 12" HACKBERRY

#3553 - 15" HACKBERRY

#3554 - 27" HACKBERRY

#3555 - 17" HACKBERRY

#3558 - 8" HACKBERRY

#3559 - 7" HACKBERRY

#3560 - 14" HACKBERRY

#3562 - 13" HACKBERRY

#3563 - 10" HACKBERRY

#3564 - 12" HACKBERRY

#3565 - 6" HACKBERRY

#3566 - 15" HACKBERRY

#3567 - 20" HACKBERRY

#3568 - 9" HACKBERRY

#3569 - 13" HACKBERRY

#3570 - 15" CEDAR ELM

#3571 - 16" HACKBERRY

#3572 - 10" HACKBERRY

#3573 - 12" HACKBERRY

#3574 - 18" MULBERRY

#3575 - 24" HACKBERRY

SUMMARY 473 CAL INCHES
- PROTECTED TREES TO REMAIN (PRESERVED TREES):

#3501 - 11" LIVE OAK (3 TREE CREDIT)

#3502 - 7" LIVE OAK (2 TREE CREDIT)

#3504 - 12" LIVE OAK (3 TREE CREDIT)

#3505 - 10" RED OAK (3 TREE CREDIT)

#3506 - 9" RED OAK (3 TREE CREDIT)

#3507 - 20" HACKBERRY (4 TREE CREDIT)

#3508 - 8" RED OAK (2 TREE CREDIT)

#3509 - 12" LIVE OAK (3 TREE CREDIT)

#3510 - 7" RED OAK (2 TREE CREDIT)

#3512 - 11" HACKBERRY (3 TREE CREDIT)

#3514 - 10" RED OAK (3 TREE CREDIT)

#3517 - 10" HACKBERRY (3 TREE CREDIT)

#3520 - 16" HACKBERRY (4 TREE CREDIT)

#3521 - 7" HACKBERRY (2 TREE CREDIT)

#3522 - 6" HACKBERRY (2 TREE CREDIT)

#3527 - 8" HACKBERRY (2 TREE CREDIT)

#3528 - 8" HACKBERRY (2 TREE CREDIT)

#3529 - 16" HACKBERRY (4 TREE CREDIT)

#3530 - 16" HACKBERRY (4 TREE CREDIT)

#3534 - 8" HACKBERRY (2 TREE CREDIT)

#3537 - 8" HACKBERRY (2 TREE CREDIT)

#3538 - 7" HACKBERRY (2 TREE CREDIT)

#3539 - 18" HACKBERRY (4 TREE CREDIT)

#3540 - 12" HACKBERRY (3 TREE CREDIT)

#3541 - 10" RED OAK (3 TREE CREDIT)

#3542 - 6" HACKBERRY 2 TREE CREDIT)

#3543 - 11" HACKBERRY (3 TREE CREDIT)

#3544 - 9" HACKBERRY (3 TREE CREDIT)

#3545 - 13" LIVE OAK (3 TREE CREDIT)

#3546 - 11" LIVE OAK (3 TREE CREDIT)

#3551 - 6" HACKBERRY (2 TREE CREDIT)

#3552 - 15" HACKBERRY (3 TREE CREDIT)

#3556 - 17" HACKBERRY (4 TREE CREDIT)

#3584 - 18" HACKBERRY (4 TREE CREDIT)

#3585 - 10" HACKBERRY (3 TREE CREDIT)

#3586 - 19" HACKBERRY (4 TREE CREDIT)

#3597 - 19" HACKBERRY (4 TREE CREDIT)

#3900 - 10" HACKBERRY (3 TREE CREDIT)

SUMMARY 431 CAL INCHES (112 TREE CREDIT)

\* ALL PROTECTED TREES PRESERVED

INSTALLED TREES SUMMARY:  
BUFFER (NORTH AND WEST) OPEN SPACE  
INSTALLED TREES 25 CANOPY TREES + 5 TREE CREDIT POINTS = 30  
REQUIRED = PROVIDED BUFFER TREES 1,506.86' / 50 = 30 TREES  
LOTS = 48 AT 2 PER LOT = 96 REQUIRED = PROVIDED  
INSTALLED: 70 CANOPY TREES + 13 ORNAMENTAL TREES + 13 TREE CREDITS  
TREE PLANTING ABOVE ORDINANCE OF 94 PRESERVATION TREE CREDITS

TREE SUMMARY:  
TOTAL PROTECTED TREES REMOVED = 0 CAL. INCHES  
TOTAL PROTECTED TREES PRESERVED = 431 CAL. INCHES  
PRESERVATION EXCEEDS REQUIRED MITIGATION BY 431 CAL. INCHES  
EXEMPT TREES TO BE REMOVED = 473 CAL INCHES  
TREES ABOVE ORD. REQ. = 94 TREE PRESERVATION CREDITS

INSTALLED TREE LIST:

- EVERGREEN TREE: LIVE OAK (*Quercus virginiana*) Plant 22- 3" cal. on 20'-25' ctrs.

DECIDUOUS TREE: SHUMARD RED OAK (*Quercus shumardii*) red fall color tree. Plant 23-3" cal. on 20'-25' ctrs.

43-3" cal. STREET TREES: to be installed by each home builder in the center of the parkway between the sidewalk and street. To avoid monoculture and monotony the homes builder may select any tree in the following list, but no more than 5 trees of the same species may utilized in a row:  
Ginkgo Biloba, Sweetgum (*Liquidambar styraciflua*), Autumn Blaze Maple (*Acer x freemanii*), Lacebark Elm (*Ulmus parvifolia sempervirens*), Caddo Maple (*Acer saccharum 'Caddo'*), River Birch (*Betula nigra*), Goldenrain Tree (*Koeleruteria paniculata*)

DECIDUOUS ORNAMENTAL TREE: DESERT WILLOW (*Chilopsis linearis*) flowering tree. Plant 11'- (6'-8" tall at planting)

EVERGREEN ORNAMENTAL TREE: LITTLE GEM MAGNOLIA (*Magnolia 'Little Gem'*) flowering evergreen tree. Plant 2 - (6'-8" tall at planting)
- EVERGREEN TREE: MAGNOLIA 'DD Blanchard' Plant 9- 3" cal. on 20'-25' ctrs.

EVERGREEN TREE: ELIDARICA PINE (*Pinus 'Elidantica'*) Plant 7- 3" cal. on 20'-25' ctrs.

INSTALLED SHRUB AND GROUNDCOVER LIST:

- FLOWERING EVERGREEN GRASS: Pink Muhlygrass (*Muhlenbergia capillaris*) Drought Tolerant Native. Plant 125 - 3 gal. or 5 gal. on 30" ctrs.

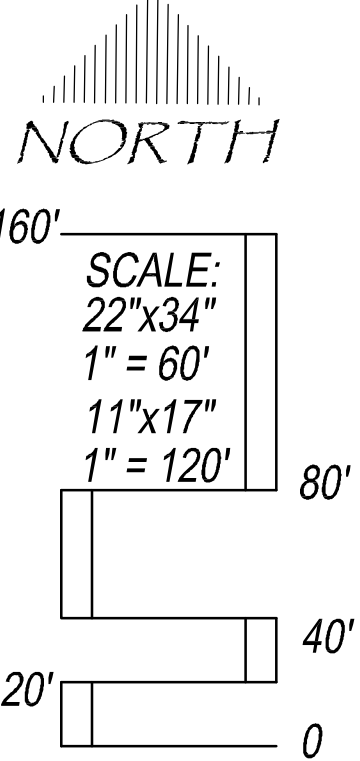
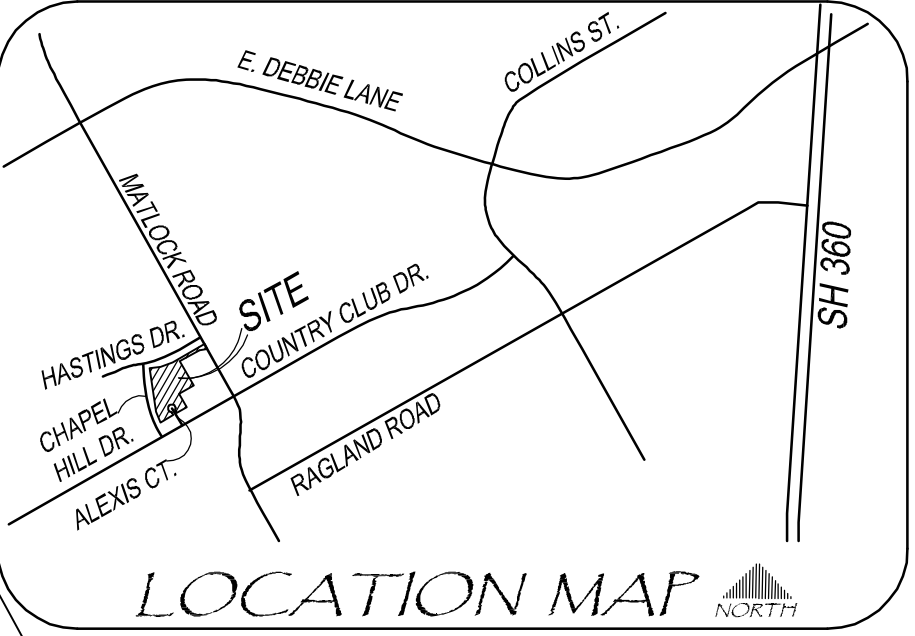
FLOWERING SEMI-EVERGREEN SHRUB: Red Salvia greggii (*Salvia greggii*) Drought Tolerant Native. Plant 205 - 3 gal. on 24" ctrs.

EVERGREEN GROUNDCOVER: Liriope muscari 'Silvery Sunproof' Plant 660 - 1 gal. on 12" ctrs.

ANNUAL/PERENNIAL FLOWERING PLANTS: Lantana, Blackfoot Daisy, etc., 570 s.f. Plant 4" pots.
- NOTE:  
1.EACH LOT SHALL INSTALL SHRUBS AND GROUNDCOVER BY EACH HOME BUILDER IN ACCORDANCE WITH CITY ORDINANCE REQUIREMENTS.  
2. All plant material areas shall be irrigated by an automatic underground irrigation system designed by a licensed Texas irrigator in accordance with city ordinance requirements.

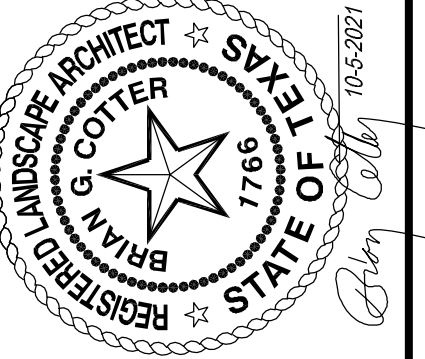
LINE AND CURVE TABLE

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CH=N6°12'39"W 22.42'  
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CH=S53°24'26"E 22.42'  
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TEXAS ENGINEERING FIRM REGISTRATION #: 15836

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1703 NORTH PECO DRIVE, SUITE C, ARLINGTON, TEXAS 76010  
Phone: (817) 919-4475 ~ Email: CALLCOTTER@SBCGLOBAL.NET  
Tx. Arch. Reg. Board FIRM REG. # BR-1373



ALEXIS COURT BROWNSTONES  
1701 COUNTRY CLUB DRIVE  
PD EXHIBIT "D" LANDSCAPE PLAN

|             |            |               |                                |
|-------------|------------|---------------|--------------------------------|
| DESIGN: BGC | DRAWN: DJC | DATE: 10-5-21 | PROJECT: 65 EXHIBIT "D" A PLAN |
| 6           | OF         | 15            |                                |

OWNER:  
KINGDOM WORK FOUNDATION  
INST. D214023663, O.P.R.T.C.T.  
3974 WITTEN DR., COLLEYVILLE, TEXAS 76034  
817.307.5999, ACCPKB@GMAIL.COM

DEVELOPER:  
VILLAGE HOMES  
2817 W 5TH ST., FORT WORTH, TEXAS 76107  
817.714.4481, MICHAEL@HOMESOFCHARACTER.COM

SITE DATA:  
SITE AREA = 6.56 ACRES  
2F TOWNHOUSE LOTS = 48  
OPEN SPACE = 0.97 ACRES = 15.1% OF SITE  
DENSITY = 7.3 LOTS / ACRE



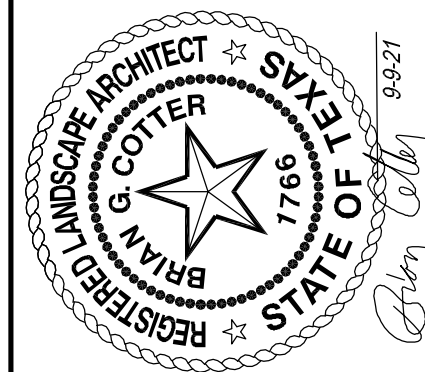


2 HOME PERSPECTIVE VIEW

DESIGN: BGC  
DRAWN: DJC  
DATE: 9-9-21  
PROJECT: 20 EXHIBIT "E" BUDGET

ALEXIS COURT BROWNSTONES  
1701 COUNTRY CLUB DRIVE

PD EXHIBIT "E" BUILDING ELEVATIONS



COTTER  
ASSOCIATES, LLC  
LAND DEVELOPMENT DESIGN CONSULTANTS  
LAND PLANNING, PROJECT MANAGEMENT, LANDSCAPE ARCHITECTURE  
1703 NORTH PEYCO DRIVE, SUITE Q, ARLINGTON, TEXAS 76001  
Phone: (817) 919-4475 - Email: CALLCOTTER@SBCGLOBAL.NET  
Tx. Arch. Reg. Board FIRM REG. # BR-1373

G.A. DIXON  
& ASSOCIATES  
CIVIL ENGINEERING \* HYDROLOGY \* FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
Phone: (827) 808-3156 - Email: EGAD1258@gmail.com  
TEXAS ENGINEERING FIRM REGISTRATION # 15836

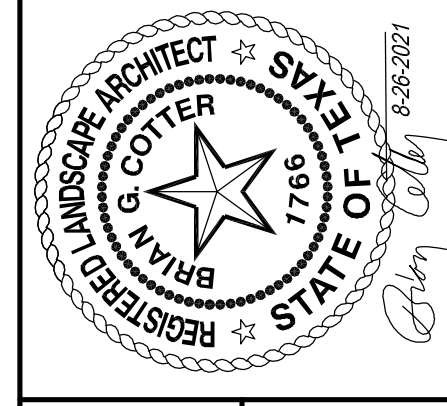




THREE HOME PERSPECTIVE VIEW

|             |            |              |                                |
|-------------|------------|--------------|--------------------------------|
| DESIGN: BGC | DRAWN: DJC | DATE: 9-9-21 | PROJECT: 80 EXHIBIT "E" BUDGET |
|-------------|------------|--------------|--------------------------------|

ALEXIS COURT BROWNSTONES  
1701 COUNTRY CLUB DRIVE  
PD EXHIBIT "E" BUILDING ELEVATIONS



**COTTER ASSOCIATES, LLC**  
LAND DEVELOPMENT DESIGN CONSULTANTS  
LAND PLANNING, PROJECT MANAGEMENT, LANDSCAPE ARCHITECTURE  
1703 NORTH PEYCO DRIVE, SUITE Q, ARLINGTON, TEXAS 76010  
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**G.A. DIXON & ASSOCIATES**  
CIVIL ENGINEERING \* HYDROLOGY \* FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
Phone: (827) 808-3156 - Email: EGAD1258@gmail.com  
TEXAS ENGINEERING FIRM REGISTRATION #: 15836

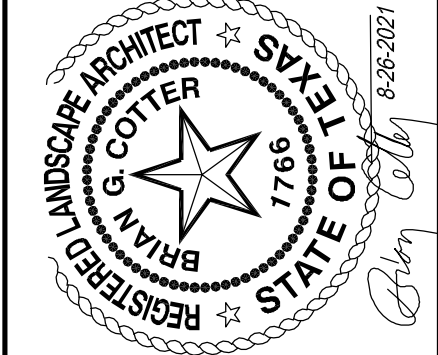




2 HOME PERSPECTIVE VIEW

G.A. DIXON  
& ASSOCIATES  
CIVIL ENGINEERING \* HYDROLOGY \* FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
Phone: (822) 808-3156 - Email: EGAD1258@gmail.com  
TEXAS ENGINEERING FIRM REGISTRATION #: 15836

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ASSOCIATES, LLC  
LAND DEVELOPMENT DESIGN CONSULTANTS  
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ALEXIS COURT BROWNSTONES  
1701 COUNTRY CLUB DRIVE  
PD EXHIBIT "E" BUILDING ELEVATIONS

|             |            |              |                                     |
|-------------|------------|--------------|-------------------------------------|
| DESIGN: BGC | DRAWN: DJC | DATE: 9-9-21 | PROJECT: 20 EXHIBIT "E" BROWNSTONES |
|-------------|------------|--------------|-------------------------------------|

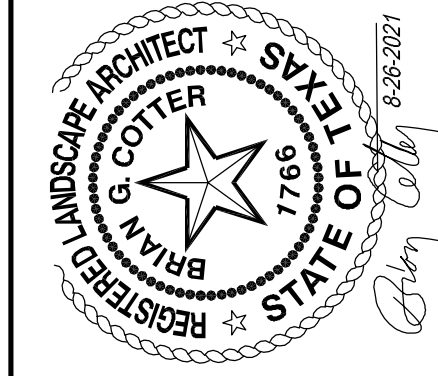




2 HOME PERSPECTIVE VIEW

**G.A. DIXON & ASSOCIATES**  
CIVIL ENGINEERING • HYDROLOGY • FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
Phone: (822) 808-3156 • Email: EGAD1288@gmail.com  
TEXAS ENGINEERING FIRM REGISTRATION #: 15836

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LAND DEVELOPMENT DESIGN CONSULTANTS  
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**ALEXIS COURT BROWNSTONES**  
**1701 COUNTRY CLUB DRIVE**  
**PD EXHIBIT "E" BUILDING ELEVATIONS**

|             |            |              |                 |
|-------------|------------|--------------|-----------------|
| DESIGN: BGC | DRAWN: DJC | DATE: 9-9-21 | PROJECT: 21-015 |
|-------------|------------|--------------|-----------------|

10 OF 15

ZC#21-015

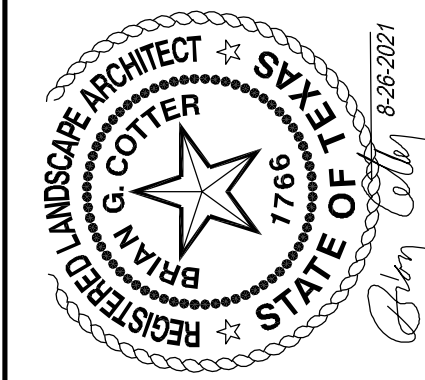




2 HOME PERSPECTIVE VIEW

DESIGN: BGC  
DRAWN: DJC  
DATE: 9-9-21  
PROJECT: 20 EXHIBIT "E" BUDGET

ALEXIS COURT BROWNSTONES  
1701 COUNTRY CLUB DRIVE  
PD EXHIBIT "E" BUILDING ELEVATIONS



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CIVIL ENGINEERING \* HYDROLOGY \* FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
Phone: (827) 808-3156 - Email: EGAD1258@gmail.com  
TEXAS ENGINEERING FIRM REGISTRATION # 15836

11 OF 15

ZC#21-015

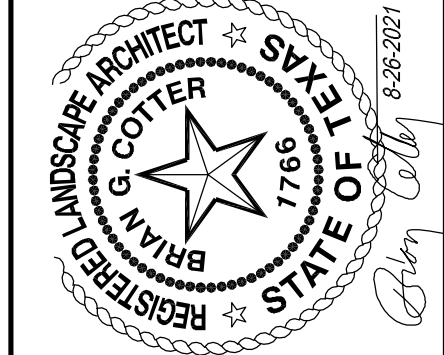




2 HOME PERSPECTIVE VIEW

**G.A. DIXON & ASSOCIATES**  
CIVIL ENGINEERING \* HYDROLOGY \* FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
Phone: (827) 808-3156 - Email: EGAD1258@gmail.com  
TEXAS ENGINEERING FIRM REGISTRATION #: 15836

**COTTER ASSOCIATES, LLC**  
LAND DEVELOPMENT DESIGN CONSULTANTS  
LAND PLANNING \* PROJECT MANAGEMENT \* LANDSCAPE ARCHITECTURE  
1703 NORTH PEYCO DRIVE, SUITE Q, ARLINGTON, TEXAS 76001  
Phone: (817) 919-4475 - Email: CALLCOTTER@SBGGLOBAL.NET  
Tx. Arch. Reg. Board FIRM REG. # BR-1373



**ALEXIS COURT BROWNSTONES**  
**1701 COUNTRY CLUB DRIVE**  
**PD EXHIBIT "E" BUILDING ELEVATIONS**

|             |            |              |                                |
|-------------|------------|--------------|--------------------------------|
| DESIGN: BGC | DRAWN: DJC | DATE: 9-9-21 | PROJECT: PD EXHIBIT "E" BUDGET |
|-------------|------------|--------------|--------------------------------|

12 OF 15

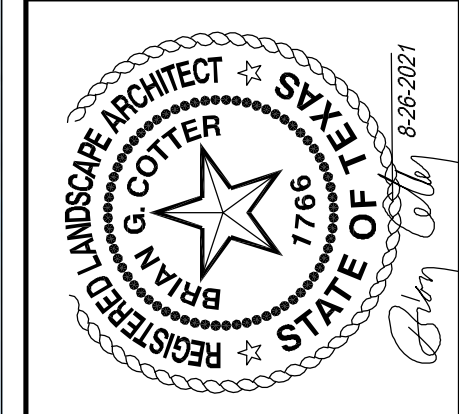




2 HOME PERSPECTIVE VIEW

**G.A. DIXON & ASSOCIATES**  
CIVIL ENGINEERING • HYDROLOGY • FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
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TEXAS ENGINEERING FIRM REGISTRATION #: 15836

**COTTER ASSOCIATES, LLC**  
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1703 NORTH PEYCO DRIVE, SUITE Q, ARLINGTON, TEXAS 76001  
Phone: (817) 919-4475 - Email: CALLCOTTER@SBCGLOBAL.NET  
Tx. Arch. Reg. Board FIRM REG. # BR-1373



**ALEXIS COURT BROWNSTONES**  
**1701 COUNTRY CLUB DRIVE**  
**PD EXHIBIT "E" BUILDING ELEVATIONS**

|             |            |              |                                |
|-------------|------------|--------------|--------------------------------|
| DESIGN: BGC | DRAWN: DJC | DATE: 9-9-21 | PROJECT: PD EXHIBIT "E" BUDGET |
|-------------|------------|--------------|--------------------------------|

13 OF 15

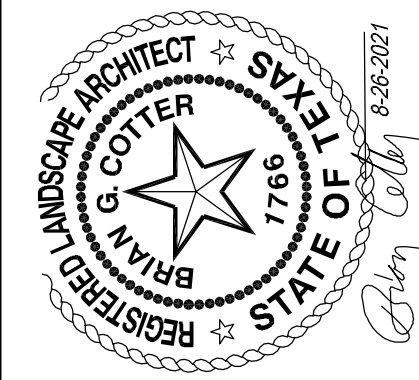




2 HOME PERSPECTIVE VIEW

|             |            |              |                                |
|-------------|------------|--------------|--------------------------------|
| DESIGN: BGC | DRAWN: DJC | DATE: 9-9-21 | PROJECT: 20 EXHIBIT "E" BUDGET |
|-------------|------------|--------------|--------------------------------|

|   |  |
|---|--|
| ALEXIS COURT BROWNSTONES<br>1701 COUNTRY CLUB DRIVE |  |
| PD EXHIBIT "E" BUILDING ELEVATIONS                  |  |



**COTTER**  
ASSOCIATES, LLC  
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LAND PLANNING, PROJECT MANAGEMENT, LANDSCAPE ARCHITECTURE  
1703 NORTH PEYCO DRIVE, SUITE Q, ARLINGTON, TEXAS 76001  
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Tx. Arch. Reg. Board FIRM REG. # BR-1373

**G.A. DIXON**  
& ASSOCIATES  
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4305 Mossridge Court, Arlington, Texas 76016  
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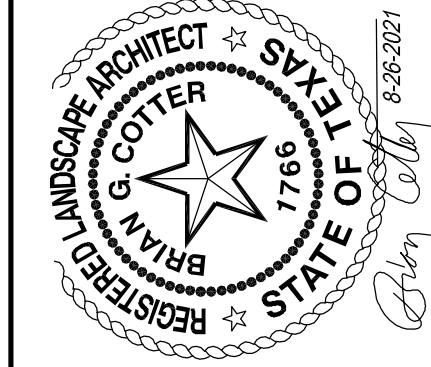




2 HOME PERSPECTIVE VIEW

DESIGN: BGC  
DRAWN: DJC  
DATE: 9-9-21  
PROJECT: 21-015

ALEXIS COURT BROWNSTONES  
1701 COUNTRY CLUB DRIVE  
PD EXHIBIT "E" BUILDING ELEVATIONS



COTTER  
ASSOCIATES, LLC  
LAND DEVELOPMENT DESIGN CONSULTANTS  
LAND PLANNING, PROJECT MANAGEMENT, LANDSCAPE ARCHITECTURE  
1703 NORTH PEYCO DRIVE, SUITE C, ARLINGTON, TEXAS 76010  
Phone: (817) 919-4475 - Email: CALLCOTTER@SBGGLOBAL.NET  
Tx. Arch. Reg. Board FIRM REG. # BR-1373

G.A. DIXON  
& ASSOCIATES  
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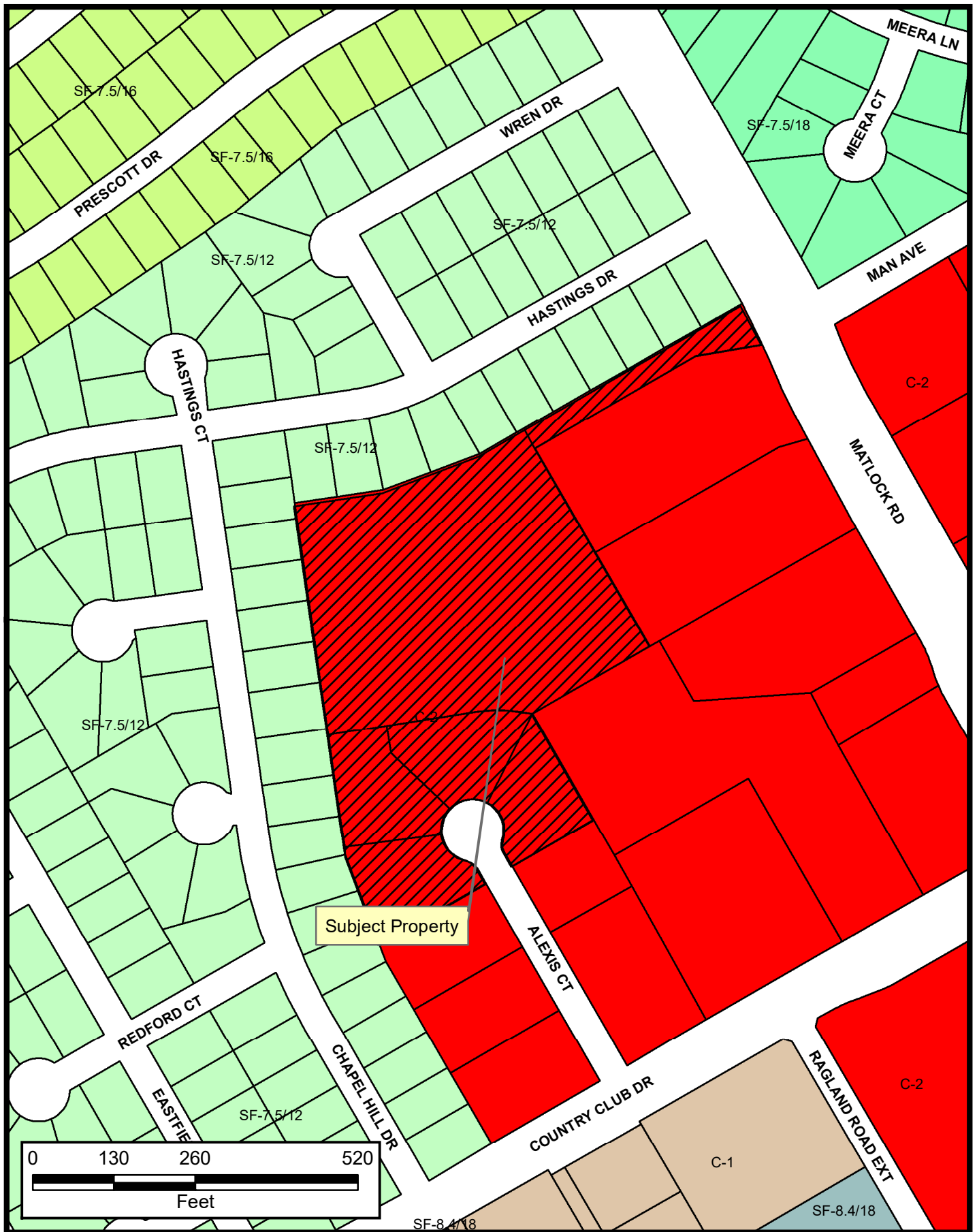


**ZC#21-015**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

9/22/2021







## Property Owner Notification for ZC#21-015

| LEGAL DESC 1                   | LEGAL DESC 2 | OWNER NAME                    | OWNER ADDRESS                  | CITY            | ZIP        |
|--------------------------------|--------------|-------------------------------|--------------------------------|-----------------|------------|
| COUNTRY BEAR ADDITION          | BLK 1        | HATCH ENTERPRISES LTD         | 4141 CLOUDVEIL TERR            | FORT WORTH, TX  | 76109      |
| COUNTRY BEAR ADDITION          | BLK 1        | CUBESMART LP                  | PO BOX 320099                  | ALEXANDRIA, VA  | 22320      |
| HERITAGE ESTATES ADDITION-MNFD | BLK 22       | Y K H INC                     | PO BOX 172108                  | ARLINGTON, TX   | 76003-2108 |
| HERITAGE PARK ADDITION         | BLK 3        | THOMPSON, MARK ALAN           | 4 MEERA CT                     | MANSFIELD, TX   | 76063-3743 |
| HERITAGE PARK ADDITION         | BLK 3        | JIANG, YIFEI                  | 5 MEERA CT                     | MANSFIELD, TX   | 76063      |
| MANSFIELD FIRE DEPT SUBSTATION | BLK 1        | MANSFIELD, CITY OF            | 1200 E BROAD ST                | MANSFIELD, TX   | 76063-1805 |
| MATLOCK CENTER ADDITION        | BLK 1        | MANSFIELD PROPERTY MANAGEMENT | 990 HWY 287 N. SUITE 106 PMB 2 | MANSFIELD, TX   | 76036      |
| MATLOCK CENTER ADDITION        | BLK 1        | GKR HOLDINGS LLC              | 1008 MUIRFIELD DR              | MANSFIELD, TX   | 76063      |
| MATLOCK CENTER ADDITION        | BLK 1        | PES MANAGEMENT LLC            | 321 S HENDERSON ST             | FORT WORTH, TX  | 76104-1016 |
| MATLOCK CENTER ADDITION        | BLK 1        | KINGDOM WORK FOUNDATION       | 3974 WITTEN DR                 | COLLEYVILLE, TX | 76034      |
| MATLOCK CENTER ADDITION        | BLK 1        | KINGDOM WORK FOUNDATION       | 3974 WITTEN DR                 | COLLEYVILLE, TX | 76034      |
| MATLOCK CENTER ADDITION        | BLK 1        | KINGDOM WORK FOUNDATION       | 3974 WITTEN DR                 | COLLEYVILLE, TX | 76034      |
| MATLOCK CENTER ADDITION        | BLK 1        | KINGDOM WORK FOUNDATION       | 3974 WITTEN DR                 | COLLEYVILLE, TX | 76034      |
| MATLOCK CENTER ADDITION        | LOT 1        | LIVING CHURCH                 | 2271 MATLOCK RD                | MANSFIELD, TX   | 76063-3856 |
| MATLOCK CENTER ADDITION        | LOT 2        | BAYSIDE COVE LLC              | 805 MARQUIS CT                 | COSTA MESA, CA  | 92626-7304 |
| MCGEHEE, HENRY SURVEY          | A 998        | KINGDOM WORK FOUNDATION       | 3974 WITTEN DR                 | COLLEYVILLE, TX | 76034      |
| MCGEHEE, HENRY SURVEY          | A 998        | KINGDOM WORK FOUNDATION       | 3974 WITTEN DR                 | COLLEYVILLE, TX | 76034      |
| WALNUT CREEK CONNECTION ADDN   | BLK 1        | HPA TX LLC                    | 120 S RIVERSIDE PLZ STE 2000   | CHICAGO, IL     | 60606      |
| WALNUT CREEK CONNECTION ADDN   | BLK 1        | HERNANDEZ, ROBERT             | 1500 VALLEYWOOD TR             | MANSFIELD, TX   | 76063-5456 |

Thursday, July 29, 2021

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## Property Owner Notification for ZC#21-015

| LEGAL DESC 1                 | LEGAL DESC 2 | OWNER NAME                  | OWNER ADDRESS                               | CITY          | ZIP        |
|------------------------------|--------------|-----------------------------|---|---------------|------------|
| WALNUT CREEK CONNECTION ADDN | BLK 1        | SWAY 2014-1 BORROWER LLC    | 1131 W WARNER RD STE 102                    | TEMPE, AZ     | 85284      |
| WALNUT CREEK CONNECTION ADDN | BLK 2        | VO, NGHIA                   | 1616 HASTINGS DR                            | MANSFIELD, TX | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 2        | MOYA, ISAAC A               | 1 CHAPEL HILL CT                            | MANSFIELD, TX | 76063-3318 |
| WALNUT CREEK CONNECTION ADDN | BLK 2        | ARCHER ROSEMARY ELIZABETH   | 1215 CHAPEL HILL DR                         | MANSFIELD, TX | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 2        | TIPPING, PHYLLIS            | 1213 CHAPEL HILL DR                         | MANSFIELD, TX | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 2        | JACKSON, R G                | 1439 SOUTHERN HILLS DR                      | MANSFIELD, TX | 76063-3836 |
| WALNUT CREEK CONNECTION ADDN | BLK 2        | SMITH, STACY G              | 1203 CHAPEL HILL DR                         | MANSFIELD, TX | 76063-3322 |
| WALNUT CREEK CONNECTION ADDN | BLK 2        | RABEL, CHRISTOPHER          | 1201 CHAPEL HILL DR                         | MANSFIELD, TX | 76063-3322 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | HPA TEXAS SUB 2016-2 ML LLC | 120 S RIVERSIDE PLZ STE 2000                | CHICAGO, IL   | 60606      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | FUNAKURA, SONJA             | 1718 HASTINGS DR                            | MANSFIELD, TX | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | DEWEY, MARK                 | 168 S SIERRA MADRE BLVD UNIT 3 PASADENA, CA |               | 91107      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | GARCIA, JORGE               | 1714 HASTINGS DR                            | MANSFIELD, TX | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | GLENN, DAWN A               | 1712 HASTINGS DR                            | MANSFIELD, TX | 76063-3366 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | TRAN, THAI                  | 1710 HASTINGS DR                            | MANSFIELD, TX | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | WYATT, JOE C                | 1708 HASTINGS DR                            | MANSFIELD, TX | 76063-3366 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | VINCENT, DUANE E            | 1706 HASTINGS DR                            | MANSFIELD, TX | 76063-3366 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | CURRENT, THEODORE W         | 1704 HASTINGS DR                            | MANSFIELD, TX | 76063-3366 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | HUDSON, KELSEY B            | 1702 HASTINGS DR                            | MANSFIELD, TX | 76063-3366 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | DAWSON, MALORIE A           | 1700 HASTINGS DR                            | MANSFIELD, TX | 76063      |

Thursday, July 29, 2021

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## Property Owner Notification for ZC#21-015

| LEGAL DESC 1                 | LEGAL DESC 2 | OWNER NAME                     | OWNER ADDRESS                     | CITY           | ZIP        |
|------------------------------|--------------|--------------------------------|-----------------------------------|----------------|------------|
| WALNUT CREEK CONNECTION ADDN | BLK 3        | WEBER, KAY                     | 1220 CHAPEL HILL DR               | MANSFIELD, TX  | 76063-3321 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | COLEMAN, JAQULIS L             | 1218 CHAPEL HILL DR               | MANSFIELD, TX  | 76063-3321 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | ZAHIR, DEBORAH                 | 1216 CHAPEL HILL DR               | MANSFIELD, TX  | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | SOPHIA REALTY SERIES LLC-SERIE | PO BOX 16749                      | FORT WORTH, TX | 76162      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | GUDENAU, TIMOTHY GERARD        | 1212 CHAPEL HILL DR               | MANSFIELD, TX  | 76063-3321 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | WOOD, CHRISTOPHER D            | 1210 CHAPEL HILL DR               | MANSFIELD, TX  | 76063-3321 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | SERRANO, MARINO                | 1208 CHAPEL HILL DR               | MANSFIELD, TX  | 76063-3321 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | ROHR, ANGELA H                 | 1206 CHAPEL HILL DR               | MANSFIELD, TX  | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | ALLUMS, JANET L                | 1204 CHAPEL HILL DR               | MANSFIELD, TX  | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | MOORE, MICHELLE RYAN           | 1202 CHAPEL HILL DR               | MANSFIELD, TX  | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | GARDNER, CYNTHIA               | 4301 WOODCREST LN                 | MANSFIELD, TX  | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | PETERSON, BRANDON              | 1112 CHAPEL HILL DR               | MANSFIELD, TX  | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | HENDRIEX, FRANK D              | 1110 CHAPEL HILL DR               | MANSFIELD, TX  | 76063-3319 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | BENNETT, JOHN                  | 1108 CHAPEL HILL DR               | MANSFIELD, TX  | 76063-3319 |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | WALSH, SILVIA                  | 1106 CHAPEL HILL DR               | MANSFIELD, TX  | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 3        | BAF ASSETS 2 LLC               | 5001 PLAZA ON THE LAKE<br>SUITE 2 | AUSTIN, TX     | 78746      |
| WALNUT CREEK CONNECTION ADDN | BLK 4        | BUCK, ANTHONY                  | 1721 HASTINGS DR                  | MANSFIELD, TX  | 76063-3389 |
| WALNUT CREEK CONNECTION ADDN | BLK 4        | HPA TEXAS SUB 2017-1 LLC       | 120 S RIVERSIDE PLZ STE 2000      | CHICAGO, IL    | 60606      |
| WALNUT CREEK CONNECTION ADDN | BLK 4        | BEAN, MICHAEL JOHN             | 1717 HASTINGS DR                  | MANSFIELD, TX  | 76063-3389 |

Thursday, July 29, 2021

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## Property Owner Notification for ZC#21-015

| LEGAL DESC 1                 | LEGAL DESC 2 | OWNER NAME                   | OWNER ADDRESS                 | CITY          | ZIP        |
|------------------------------|--------------|------------------------------|-------------------------------|---------------|------------|
| WALNUT CREEK CONNECTION ADDN | BLK 4        | BOOHER, STACY                | 1715 HASTINGS DR              | MANSFIELD, TX | 76063-3389 |
| WALNUT CREEK CONNECTION ADDN | BLK 4        | SOMBRIIO, ROBIN              | 1713 HASTINGS DR              | MANSFIELD, TX | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 4        | HEIZMAN, GREGORY             | 910 MUIRFIELD DR              | MANSFIELD, TX | 76063-3817 |
| WALNUT CREEK CONNECTION ADDN | BLK 4        | CREEKMORE, TERRI ANN         | 1709 HASTINGS DR              | MANSFIELD, TX | 76063-3389 |
| WALNUT CREEK CONNECTION ADDN | BLK 5        | PISCHEDDA, ALICIA            | 1701 HASTINGS DR              | MANSFIELD, TX | 76063-3367 |
| WALNUT CREEK CONNECTION ADDN | BLK 5        | HUFMAN, MELODY J             | 1301 WREN DR                  | MANSFIELD, TX | 76063-3351 |
| WALNUT CREEK CONNECTION ADDN | BLK 5        | BAGHERI, SIMA                | 3212 YORK DR                  | MANSFIELD, TX | 76063      |
| WALNUT CREEK CONNECTION ADDN | BLK 7        | AHC STERLING HS OF MANSFIELD | 6737 W WASHINGTON ST STE 2300 | MILWAUKEE, WI | 53214-5650 |





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4369

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** New Business

**In Control:** City Council

**File Type:** Discussion Item

**Agenda Number:**

**Title**

Consideration and Possible Action to Suspend the Procedural Rules of Council and Reschedule the Regular Scheduled City Council Meeting of December 27, 2021 to December 13, 2021

**Requested Action**

Consider the suspension of the Procedural Rules of Council as set out in Section 1.02 "General Rules", J "Suspension of Rules" and reschedule the regular scheduled Council meeting of December 27, 2021 to December 13, 2021.

**Recommendation**

Suspend the Procedural Rules of Council and reschedule the December 27, 2021 regular scheduled meeting to December 13, 2021.

**Description/History**

The second regular meeting in December 2021 will during the holiday season.

**Justification**

The December 27, 2021 Regular City Council meeting will fall on a holiday.

Traditionally, the Council has voted to combine its two December meetings into one meeting in order to accommodate the holiday schedules and vacation of Council and staff.

**Funding Source**

N/A

**Prepared By**

Susana Marin, TRMC, City Secretary  
817-276-4203



performance of the City Manager and to ensure effective communication and goal orientation. The evaluation will occur under the process set forth in Attachment A to these rules which is entitled "City Manager Evaluation". The attachment may be periodically modified, amended or updated by City Council action. In order to further foster the relationship between the City Council and the City Manager at each quarterly meeting an update on city owned public/private partnerships will be provided by the City Manager. (Added 8/10/20)

- G. City Attorney: The City Attorney shall attend all meetings of the City Council unless excused, by the City Manager and shall advise the City Council on questions of law and procedures. The City Manager is required to ensure an attorney is present at all City Council meetings.
- H. City Secretary: The City Secretary (or in City Secretary's absence the Assistant City Secretary) shall attend all meetings of the City Council unless excused, by the City Manager who will ensure a person is appointed to take minutes and administer the role of the City Secretary) and shall keep the official minutes.
- I. Rules of Order: Unless in conflict with these rules, the latest version, Robert's Rules of Order Revised shall govern the proceedings of the City Council in all cases.
- J. Suspension of Rules: Any provision of these rules not governed by the City Charter or State law may be temporarily suspended by a majority vote (four) of all members of the City Council. The vote on any such suspension shall be taken and entered upon the records. If there is an objection to suspending the rules, a vote is required to proceed.
- K. Amendments to Rules: These rules may be permanently amended, or new rules may be adopted by a majority vote (four) of all members of the City Council. Any such amendments shall be adopted and recorded by resolution.

### **Section 1.03 Meetings**

- A. Regular Meetings: The City Council shall meet regularly on the second and fourth Monday of each month. The regular meetings of the City Council shall be held in the Council Chambers of the City Hall unless otherwise established by City Council. (Amended 06-09-08)
- B. Special Meetings: Special meetings may be held on the call of the Mayor or four (4) City Council Members with no less than seventy-two (72) hours notice to each City Council Member. Emergency meetings may be called by the Mayor or Mayor Pro Tem in the Mayor's absence, or four (4) members, after notice has been posted two (2) hours. All meetings shall be open to the public and public notice shall be given in compliance with Chapter 551, Texas Government Code.
- C. Recessed Meetings: Any meeting of the City Council may be recessed to a later time, provided that no recess shall be for a longer period than until the next regular scheduled meeting.
- D. Work Sessions: Work sessions may be held on the call of the Mayor or four (4) City Council Members with no less than seventy-two (72) hours notice to each City Council Member. The purpose is to research, analyze, and review any matter which requires special information





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4389

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** New Business

**In Control:** City Council

**File Type:** Consideration Item

**Agenda Number:**

**Title**

Discussion and Possible Action Regarding the Cancellation of the November 22, 2021 Regular City Council Meeting and Rescheduling of the Public Hearing Continuation and Second Reading Agenda Items to the December 13, 2021 Regular City Council Meeting

**Requested Action**

Defer to the Council.

**Recommendation**

Defer to the Council.

**Description/History**

This item has been placed on the agenda as a discussion and possible action item for the Council to consider cancelling the second meeting of November scheduled for November 22, 2021. This meeting falls on the week of Thanksgiving. City staff polled the Council asking if they would like to consider cancelling the second meeting in November to allow Council and members of staff the possibility to travel during the Thanksgiving Holiday.

**Justification**

N/A

**Funding Source**

N/A

**Prepared By**

Susana Marin, TRMC, City Secretary  
817-276-4203





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4390

**Agenda Date:** 11/8/2021

**Version:** 1

**Status:** New Business

**In Control:** City Council

**File Type:** Consideration Item

**Agenda Number:**

**Title**

Discussion and Possible Action Regarding the Ballot for Voting of Candidates to Serve on the Board of Directors for the Tarrant Appraisal District, Johnson County Appraisal District and Ellis County Appraisal District for the Calendar Years 2022 and 2023

**Requested Action**

Defer to the City Council.

**Recommendation**

Defer to the City Council.

**Description/History**

The City received letters from the Tarrant Appraisal District, Johnson County Appraisal District, and the Ellis County Appraisal District indicating that the current two-year terms of the current board members are expiring. Various taxing units in each county nominated candidates by the October 14 deadline. Each appraisal board has now prepared a ballot for the taxing unit to cast their votes. Brief bios have been included about the candidates for each appraisal board.

This item is to provide the Council the opportunity to discuss how they would like to cast their votes. The governing bodies of the taxing unit will determine their votes by resolution and submit the votes to the Chief Appraiser before December 15, 2021. The City of Mansfield has the following number of votes per county: Tarrant County - 50 votes: Johnson County - 78 votes & Ellis County - 5 votes.

**Justification**

N/A

**Funding Source**

N/A

**Prepared By**

Troy Lestina, Chief Financial Officer, 817-276-4258





Jeff Law  
Executive Director  
Chief Appraiser

October 29, 2021

Mr. Michael Evans  
Mayor  
City of Mansfield  
1200 E. Broad Street  
Mansfield, Texas 76063

RE: Appointments to Board of Directors for 2022-2023  
Ballot for Voting for Appointees

Dear Mr. Evans:

Following up on my September 17, 2021, letter about nominating candidates for appointment to Tarrant Appraisal District's Board of Directors, I prepared a ballot as required by the Texas Property Tax Code. That letter lists the number of votes for each school district, city, and county entity that is entitled to participate in the appointment process. The taxing units listed are not required to vote but, if they choose to do so, ***they may determine their votes only by a resolution adopted by the governing body and they must submit the resolution to me before December 15, 2021.*** The resolutions and the completed ballot if you wish to include it should be sent –

- by mail to Jeff Law, Chief Appraiser, Tarrant Appraisal District, P. O. Box 185579, Fort Worth, Texas, 76181-0579;
- by fax to (817)595-6198; or
- by email to [jwooddell@tad.org](mailto:jwooddell@tad.org)

Enclosed are not only the ballot but also bios collected from nominees and taxing units and a sample resolution form.

The remaining steps in the appointment process and schedule set out in the Property Tax Code may be summarized as follows:

|                          |  |
|--------------------------|--|
| before December 15, 2021 | Governing bodies of taxing units determine their votes by resolution and send submit votes to Chief Appraiser          |
| before December 31, 2021 | Chief Appraiser counts votes, determines which candidates received the most votes, and submits results to taxing units |
| January 1, 2022          | new two-year term begins   |

If you have questions, please do not hesitate to call.

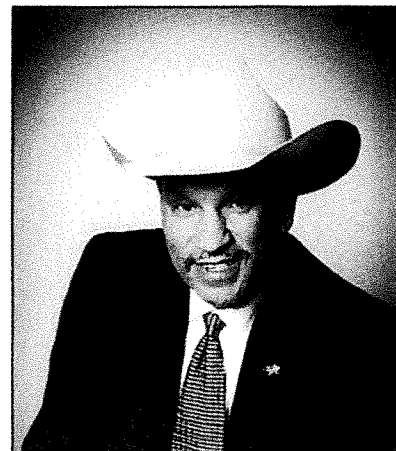
Sincerely,

Jeff Law  
Executive Director  
Chief Appraiser

JL:jw  
Enclosures



## James N. Austin, Jr.



### Austin Company Commercial Real Estate Company

James N. Austin, Jr., ("Jim"), is the owner/founder/broker of Austin Company Commercial Real Estate in Fort Worth, Texas. The Austin Company was established in 1981 and serves the Fort Worth-Dallas metro area with commercial real estate and property management services; after beginning in the business after training with industry veteran Sam McCall. Jim Austin is considered an expert in the commercial real estate field. He also speaks on the subject as a program presenter at workshops and associations as an invited professional. He currently serves on several appraisal boards for the right-of-way condemnations by the Texas Department of Transportation. Jim served on the Texas Real Estate Commission (1999-2008). He has put together over thirty investment groups (limited partnerships). Jim is also a recipient of the coveted Charles D. Tandy Commercial REALTOR® Award (2001). This award is presented annually to honor the member of the Society of Commercial REALTORS® who best exemplifies the highest professional standards of a commercial REALTOR®.

Austin made headlines as one of three members of a court-appointed commission that settled a land condemnation case for Santa Fe Pacific Corp.'s giant intermodal facility at Fort Worth Alliance Airport. Jim was also one of 10 asset managers for a major land auction by the Federal Deposit Insurance Corp. Austin handled 35 of the 125 assets offered in Tarrant County selling over 5 million. He is a past member of the Commercial Investment Division of the Greater Fort Worth Association of Realtors. He has worked for financial institutions including Woodhaven National Bank, Bank of North Texas and Team Bank as well as area hospitals. Jim has moved from the standard sales and leasing work into appraisals and auction management. Austin also served on the Texas Real Estate Commission, as a Commissioner for eight (8) years. He is a 1976 graduate of Howard University, Washington, D.C., receiving his BA in Business. Most recently Jim was selected to be a part of the Fort Worth Business Press 2017 Class of Minority Leaders in Business Award recipient, based on professional achievements, community contributions, philanthropy and other milestones and awards. ([www.austincompany.com](http://www.austincompany.com))

### Jim Austin Online.com

One of Jim's strengths is his ability to network with people. His involvements include networking with business associates, social and fraternal friends and non-profit boards. Through this experience, he found that although he interfaced with diverse people with diverse interest, there were a great number of common interests and goals. Jim Austin Online (JAO) has proved to be a resounding success. Originated in the fall of 2008 with 200 friends signing up to receive the e-newsletter, JAO now has a community of over 20,000 members. In conjunction with the weekly newsletter, JAO offers benefits that are exclusively found on JAO website or e-newsletter such as monthly business lunches with high profile individuals as host such as gubernatorial candidates and other relevant business and political figures. JAO recently re-launched an updated website with additional content including Entertainment, Business, Dining, Community and Sports. ([www.jimaustinonline.com](http://www.jimaustinonline.com))

### Affiliations | Memberships | Recognition & Awards

Broker Memberships include National Association of REALTORS® ; Greater Fort Worth Association of REALTORS® ; Society of Commercial REALTORS®. Board affiliations include National Multicultural Western Heritage Museum | Founder & President; TCU Neeley School of Business | Neeley Entrepreneurship Center. Civic & Professional Memberships include Rotary International | Rotary Club of Fort Worth, Texas (42 years) ; National Sales Network | DFW Chapter. Fraternal Memberships include Kappa Alpha Psi ® Fraternity Incorporated; Sigma Pi Phi Fraternity. Some of the awards and recognition he has received are Quest for Success - Dallas Morning News; YMCA, Fort Worth, Texas; Texas Association of Real Estate Brokers, Inc.; Kappa Alpha Psi Fraternity, Inc. - Metroplex Black Image Award. As a realtor, his community service rendered him national recognition from the National Association of Realtors® as a recipient of the coveted *Realtor® Magazine's* Good Neighbor Award in 2003. The *Good Neighbor Awards* recognize REALTORS® who've made an extraordinary commitment to improving the quality of life in their communities through volunteer efforts.

He and his wife, Gloria Reed Austin founded the National Multicultural Western Heritage Museum (in February 2001, that is in the historic Fort Worth Stockyards area. ([www.nmwhm.org](http://www.nmwhm.org))



**Wesley Bullock**  
**PO Box 2227**  
**Keller, TX 76244**

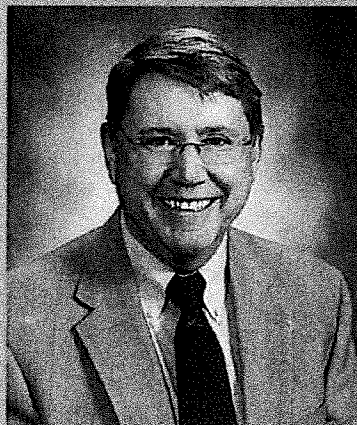
Cell Phone: 817-988-2516  
 E-Mail: maravi@verizon.net

- Summary:** A dedicated professional with 20+ years combined experience in risk and strategic assessment. Specializing in risk related to cost and profit, contractual language, technical issues, scheduling, customer behavior and business environment.
- Skills:** Advanced user of Microsoft Excel. Proficient in Microsoft Word, Microsoft Access, Microsoft PowerPoint and Oracle OBIEE. Experience using Tableau and Knime. SAS. 6 Sigma Green Belt Certificate. Demonstrated ability to effectively summarize and communicate complex information derived from multiple sources.
- Experience:** **Independent Cost Analyst Senior Staff**  
 Lockheed Martin Corporation (Aeronautics Division)  
 Independent Cost Evaluation (ICE)  
 03/2002 - present  
 Act in a consulting role to the F-35 program directors and executive level corporate management.  
 Perform qualitative and quantitative research and analysis of historical data to identify and quantify risks in F-35 proposals for new business and Estimates to Complete for ongoing business. Risks identified pertain to cost, profitability, technical performance, return on sales, and contractual terms and conditions.  
 Utilize combination of tools such as Microsoft Excel, Oracle OBIEE and Microsoft Access to perform statistical and predictive analytics concerning the F-35 program cost and schedule.  
 Develop metrics to measure ongoing accuracy of ICE estimates during contractual performance.  
 Use the results of data analysis to prepare and deliver formal presentations to the LM Aero Controller, CFO and LM corporate executives.  
 Serve as teacher and informal mentor to new employees and rotational employees.
- Prior Experience**  
 Lockheed Martin 1993 – 2002  
 General Dynamics 1984 - 1993
- Education:** **University of Dallas**  
 MBA  
**University of Texas at Arlington**  
 BBA



# RICHARD W. DEOTTE, P.E., CFM

420 Johnson Road; Suite 303  
Keller, Texas 76248  
Office: 817-337-8899 ~ Cell: 817-946-6088  
richdeotte@deotte.com



## **EDUCATION:**

- Texas A&M University, 1985; Bachelor of Science in Civil Engineering

## **LICENSES:**

- Registered Professional Engineer, Texas No. 74232
- Nationally Accredited Certified Floodplain Manager #1586-09N

*"As I have in all my public service, I will seek to provide Fairness, Transparency, Service and Quality as a Director on the Board of the Tarrant Appraisal District."*

## **Personal**

- Native Texan having lived in Tarrant County for 27 years and in Southlake for the last 14 years.
- Married for 34 years to Yvette.
- Three Children
- 1985 graduate of Texas A&M

## **Professional**

- A Civil Engineer and land development consultant for 34 years.
- Majority owner in DeOtte, Inc. from 2000 to present, a civil engineering and development consulting firm in Keller, Texas serving governmental and private clients on a range of diverse projects but especially providing cost effective and innovative solutions to large scale drainage and erosion control projects, municipal infrastructure and exceptional residential developments in northeast Tarrant county.
- Expert consultant and expert witness on engineering related court cases over the last 20 years.
- Developed familiarity with TAD's operations and services and how those affect land development and infrastructure re-development.

## **Volunteer**

- Served two years as the chairman of the Tarrant County Sheriff's Department Civil Service Commission. Initiated and led a much needed major re-write of the civil service rules which passed and were implemented.
- A regular public speaker on various issues including training on engineering ethics focusing on the aspect of personal happiness and how to achieve responsible professional standards.
- Served as an adult leader in Boy Scouts as Den Leader, Assistant Scout Master and as Scout Master.
- Taught physics for a year on a voluntary basis.
- Ham radio operator, Technician License, KG5FYB.
- Active in church throughout adult life chairing building committees, teaching Sunday school, preaching, leading worship, serving as a deacon, and chairing a deacon board.

I have a professional record solving technically complicated problems with large groups of people with diverse interests and engaging and assisting parties to work together to resolve issues. Throughout my personal, professional and volunteer life, my proficiency in bringing people together to find common ground to collaborate to find the right solution has been crucial.



## Rockie Gilley

220 South Dick Price Rd.  
Kennedale, Texas, 76060  
817-240-6521  
bulletslap@yahoo.com

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### QUALIFICATION HIGHLIGHTS

- 2021-present Member Kennedale TIRZ
  - 2017-2019 Kennedale City Council Place 1.
  - 2018-2019 Chairman Kennedale TIRZ.
  - 2017-2019 Member Kennedale MDD/TDD.
  - Tarrant County Republican Precinct 2029 Chairman (Acting) 1996
  - Texas Republican Convention Delegate 1992, 1994, 1996.
-



## Rockie Gilley

220 South Dick Price Rd.  
 Kennedale, Texas, 76060  
 817-240-6521  
 bulletslap@yahoo.com

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### QUALIFICATION HIGHLIGHTS

- Specializes in Enterprise Hardware and Software sales support.
  - Specializes in acquisitions, migrations, and project management.
  - Understands highly technical situations and provides unique solutions.
  - Is very methodical and thorough.
- 

### AREAS OF STRENGTH

- Storage Management and Subsystem Tuning –16 years
  - Hardware modeling, tuning and configuration – 11 years
  - Assembly Language Program Development – 2 years
  - z/OS Problem Determination – 8 years
  - z/OS CICS System Programming – 2 years
  - Technical Consultant OEM Hardware and Software Product Analysis, Installation and Support – 8 years
  - IT Management and Acquisition – 7 years
- 

### PROFESSIONAL EXPERIENCE

2013 - 2020, Technical Consultant XOM

Headed XOM Storage Refresh Projects 2013-2014, 2016-2018, Houston DC relocation 2018-2020.

Developed Vendor evaluation criteria.

Participate in IT Performance "SWAT" Team.

Designed and executed Cyber Security Data Vaulting Project "PermaFrost."

2008 - 2012, Technical Consultant, EMC Corporation

Developed user training documentation and marketing material for EMC Storage Products

Developed pre-sales tools to analyze customer needs.

Applied pre-sales software tools to design solutions for the EMC Sales Teams and Customers



1998 - 2012, Various Positions, Logical Resources Inc, Citigroup, Open Tech Software

As Staff Consultant, developed and delivered consulting services to customers in the following areas:

OS/390 parallel sysplex implementation

CICSplex implementation

CICSplex architecture design

OS/390 and CICS system programming, migrations and upgrades, and general support

Transparent Data Migration Facility (TDMF) services

CICS performance and tuning analyses

Problem determination and resolution

Various language coding projects

As Technical Marketing Systems Engineer:

Provided technical support to sales teams in the areas of parallel sysplex and CICSplex.

Assisted in bid preparation and responses to requests for pricing.

Conducted capacity and performance studies for customers and prospects.

Developed and delivered technical education to the marketing staff.

As Senior Software Support Engineer:

Served as third level customer contact for software compatibility issues.

Performed general software support for MVS, CICS, DB2, and OEM software products in the areas of problem determination, compatibility, configuration, and tuning.

1995 - 1998, Tech Services Manager, Tarrant County Hospital District

1990 - 1995, Senior Systems Programmer, The Ben E. Keith Corp

Installed and maintained MVS, CICS, and OEM products using SMP/E.

Designed, coded, and debugged Assembler Language (ALC) programs and exits to the operating system and OEM products.

Solved standalone dumps and SVC dumps using IPCS.

Performed DASD subsystem space management and performance tuning.

Maintained and regularly tested offsite reconstruction (disaster recovery) plan.

Completed conversion from Datacom/DC to CICS.

1987 - 1990, Systems Programmer, Burlington Northern Railway

Installed and maintained MVS, CICS and third party products.

Managed the MVS performance reporting and charge back team.

1976 - 1984, Systems Specialist, Gear-Hart Industries, ALCON Labs

Coded on-line and batch application programs using COBOL and ALC in the scheduling, sales records, account receivable, and purchasing systems.

## **EDUCATION**

Information Systems- UTA

Speed Guru Certified EMC Corp.

Numerous industry-related classes.



**Mr. Jim Griffin**  
**817-456-7862 3808 Cambridge Cir W. Bedford, Tx 76021**

### **Job History**

37 years with Telecommunications Giant - GTE/Verizon

- Engineering
- Contract Negotiations
- Network Planning
- Business Consolidation

### **Political Career**

- Served on Bedford 2000 Committee
- Served on Planning and Zoning Commission
- Served 8 years on Bedford City Council (2000 – 2006; 2010 - 2012)
- Mayor of Bedford (2012 – 2019)

### **Leadership Positions**

- Treasurer – Tarrant County 911 Board
- Past President of Tarrant County Mayors Council
- Past Chair of Hurst Euless Bedford (HEB) ISD Education Foundation
- Past Chair of Northeast Leadership Forum
- Past Chair of Bedford Library Foundation
- Past Chair of the Hurst Euless Bedford Chamber of Commerce
- Chair-Elect of Tarrant Regional Transportation Coalition
- Board Member Regional Transportation Council (RTC)

### **Education**

- High School – Hillsborough High School Tampa, FL
- College – AA Degree – Hillsborough Community College
  - BA Degree – University South Florida (1978)
  - Master's Degree – University South Florida

### **Background**

- Born in Chicago, IL
- Raised in Tampa, FL
- Lived in Bedford TX since 1989
- Married, Dr. Wynette Griffin
- Daughter – Liz Griffin (teacher in BISD)
- Daughter adopted 2 boys (brothers) from CPS (2 years ago)
- Parents are deceased



## **Mr. Jim Griffin (continued)**

### **Major Projects**

- Mental Health Initiative in Tarrant County
  - I lead a steering committee that consists of all related and connected agencies/departments/organizations in Tarrant County connected to mental health
  - The agencies/departments/organizations involved in my effort are: Tarrant County Judge, Tarrant County Commissioners Court, Tarrant County DA, Tarrant County Sheriff, MHMR, JPS Hospital, THR, County Judges, Police Chiefs from FW, Arlington, Hurst, Euless, Bedford, Homeless Shelter Agencies, Mayors, etc...all dedicated to my vision of creating solutions to address mental health in our County.
  - We also have a working Stakeholder Committee of Representatives from all these agencies/departments/organizations dedicated to working on solutions that help address mental health in Tarrant County.
- Working through the Mayor's Council and NLF to foster a new Entrepreneurial focus for Tarrant County by promoting startup projects, capital fund raising and education about how Tarrant County can be more supportive of new entrepreneurial efforts.
- Focused on new, innovative, technology based transportations initiatives for entire region. We are spearheading a new mission/vision for TRTC to launch a collaborative technology based approach to addressing the transportation needs of Tarrant County into the future.



**Jungus Jordan**  
 5316 Starry Court  
 Fort Worth, Texas 76123  
 Phone: (817) 343-2978  
 jungusjordan@att.net

Currently, serving as a volunteer in public service as a Citizen on Patrol in the City of Fort Worth and as a community volunteer.

Jungus Jordan was elected to eight terms (16 years between 2005 and 2021) as the Fort Worth City Council Member and represented the City Council District 6 in the far south and southwest portions of Fort Worth.

He is a Fort Worth native who was born at Carswell Air Force Base, attended local public schools and earned a bachelor's degree in economics from TCU and a master's degree in management from Webster University. He is also a graduate of the Management Executive Program at Cornell University.

Jordan enjoyed a distinguished twenty-year career in the United States Air Force that included tours of duty in Vietnam, Germany and in Force Management and Personnel for the Office of the Secretary of Defense at the Pentagon. He is the recipient of more than 15 medals and commemorations, including the Defense Superior Service Medal, Meritorious Service Medal, Air Force Commendation Medal and the Vietnam Service Medal.

Upon his retirement from the Air Force as a lieutenant colonel, Jordan returned home to work as a development officer at TCU, then as vice-president of Marketing and Business Development for the Eurpac Service Company. He served careers as a financial advisor with two national financial services companies and as Corporate Alliance Advisor for Cook Children's Health Care System.

Jordan married his wife, Glenda, in 1970. They have two adult children, Shaun – a Captain firefighter/paramedic in Mesquite – and Samantha – Director of Marketing and Communications, Center for Human Identification, UNT Health Science Center. Shaun and his wife Sumer have two children, Sophie and Sawyer. The Jordans are members of Doxology Bible Church.

During his tenure on the Fort Worth City Council, Jordan represented Fort Worth as a board member of the National League of Cities and the North Texas Commission. He served as the President of the Texas Municipal League between 2013-2014 and served on the Texas Municipal League Executive Board, the Vice Chair of the North Central Texas Clean Air Steering Committee and is the former Chair of the North Central Texas Regional Transportation Council. He is past chair of the Texas Municipal League, Texas Mayors of Military Communities and serves on the Texas A&M Transportation Institute Advisory Council (TTI). In 2007 and 2008, Jordan was Chair of Rail North Texas and served as Chair of the Passenger Rail Working Group



and served on the Executive Board and past Chair of the Tarrant Regional Transportation Coalition.

He has also been an active civic volunteer, previously serving as chairman of Fort Worth's Zoning Commission and Process Improvement Committee. Other community involvement included service with numerous local charitable organizations such as the American Red Cross, Senior Citizens Services, Rotary Club, The Optimist Club and the VFW.

Most recent honors:

- Mayor Pro Tem Fort Worth City Council: 2020-2021
- Tabernacle Masonic Lodge of Woodway: Community Builder of the Year, 2019
- Morton Herman Service to Veterans Award: Jewish War Veterans Post 755, 2017
- O. Roy Stevenson Award, Rotary Club of Fort Worth, 2017
- Tarleton State University President's Legacy Award for Civility and Integrity, 2017
- Harmony Public Schools, Distinguished Service Award, in recognition and appreciation for outstanding service to Public Schools, 2016
- Greater Fort Worth Builders Association, Partnership Award, 2015
- Texas Department of Transportation, Road Hand Award, 2014
- Gamma Phi Delta Sorority, Inc., Delta Phi Chapter, Award for Linking Minds to the Future through the Political Arena, 2014
- Harmony Public Schools, Friend of STEM Education Award, 2014
- National League of Cities Excellence in Transportation Award, 2009
- American Planning Association Midwest Section of the Texas Chapter Planning Advocate Award, 2009, 2004.
- North Texas Commission, North Texas Transportation Excellence Award in Mobility, 2009
- North Central Texas Council of Governments, William J. Pitstick Award, 2009, in recognition for his excellence in leadership for regional cooperation in North Texas





# MIKE LEYMAN

## CANDIDATE



214-808-6179



m.d.leyman@gmail.com



2310 Stonebridge Lane, Mansfield

### PERSONAL PROFILE

I have a total of 42 years of Texas Law Enforcement experience and am a previous and current City Councilman & Mayor Pre Tem City of Mansfield (May 2007 to August, 2011 and November 2020 to June 2021) with a strong history of voting for Citizens concerning Tax Payer issues. Previous Board member for Tarrant Appraisal District 2018-2019.

### ABOUT ME

I began my law enforcement career in Arlington in 1969. I was a "street officer" for four years, a detective in both the Crimes Against Persons and Burglary and Theft Sections for five years and was the Crime Analyst for one year.

Was selected as Chief of Police by the city of Mansfield in 1979 and served in that capacity until accepting a position as Deputy Chief of Police with the city of Richardson, Texas in 1986. I served in this position until honorably retiring in 2002.

In 2005 I accepted the position of Chief of Police for Mansfield ISD and served until honorably retiring in 2013.

- Proud Veteran, U.S. Marine Corp
- Former Chief of Police for Mansfield ISD and the City of Mansfield
- Graduate, FBI National Academy, 133rd Session
- Past Tejas District Chairman for Tarrant County for the Boys Scouts of America

### My Differentiators are:

- Obviously my past and current service experience
- Common sense approach to problem solving
- Fair and equal judgment



# MIKE LEYMAN

CANDIDATE - TAD BOARD



214-808-6179



m.d.leyman@gmail.com



2310 Stonebridge Lane, Mansfield

## GREETINGS,

You will be receiving your ballot from Tarrant Appraisal District (TAD) which will provide candidates appointed to the TAD Board of Directors effective January 1, 2022 for a two year term.

There are a total of 5,005 votes. The nominees who receive the most votes (the top 5) will be your new board. Your votes can be split among the nominees.

I believe that my differentiators are strong with the most important being fair and equal judgment. When you consider candidates you will see my experience is unparalleled. I have been serving citizens my entire career which is over 50 years now. I have seen a great deal and it's this broad base of knowledge and experience that makes it easier to make good decisions, it's easier to predict what will happen in the future. No matter what the situation is, **common sense** should always prevail which is the most important characteristic in a person who is going to make decisions for the people and that I have.

I want to thank you in advance for your consideration and would appreciate your support. Attached you'll find my profile. You may contact me for any further information.



# Gary M. Losada

Southlake, Texas

214-405-1416

glosada@sbcglobal.net

## EXPERIENCE:

- Testified before Texas Senate Property Tax Reform Committee Hearing April 27, 2016
- Tarrant County Appraisal Review Board
- President of Office Liquidation Center and Aztec Glass
- Served on Blue Chip Review Committees for Arlington Independent School District
- Director of Human Resources, LTV Kentron International
- Assistant to Superintendent, Santa Rosa City Schools, Santa Rosa, California
- Assistant to City Manager Palo Alto, California

## EDUCATION:

- M.A. Degree Education /Organization Administration, Stanford University 1974
- B.A. Degree Sociology/ Business Minor, University of San Francisco 1973

## Residences:

- Southlake, Tx 2013 – Present
- Arlington, Tx 1990 – 2013

## Tarrant Appraisal District – Board of Directors

2020-2021

Governing body for Central Appraisal District

## Tarrant Co. Appraisal Review Board

2009 - 2015

Served as hearings committee chair all six years. Responsible for conducting hearings between Tarrant Appraisal District and taxpayers. Included residential, commercial and personal property taxes. Opined on various exemptions and valuations of real estate.

## President – GMPL Corporation

Purchased raw land for development. Presented various planned developments to city government/council and planning and zoning.

## President – Office Liquidation Center/Aztec Glass Company

Purchased and sold new and used office furniture. Purchased and distributed wholesale glass imported from Mexico to florists and grocery chains.

## Director of Administration – Dallas Area Rapid Transit

Hired in second year of operation in order to organize and establish various departments such as human resources, purchasing, data processing, building and office management as well as policy development.

## Director of Human Resources – LTV Kentron International/Oil States Ind.

Chief Labor negotiator, responsible for corporate wide staffing and training.

## Assistant to Superintendent – Santa Rosa City Schools, Santa Rosa, California

Responsible for pupil transportation, data processing, Board policy implementation and labor relations.

## Assistant to City Manager – Palo Alto, California

Responsible for budget preparation, policy implementation public relations, special assignments by City Manager.



## **JOE RALPH (J.R.) MARTINEZ**

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2844 May Street  
Fort Worth, Texas 76110  
(817)455-6422  
jr@kennethjones.com

### **CAREER**

- Background:* 33 years *Sales / Marketing* experience including  
Over 15 years within the *Communications / Advertising Industry*
- Professional Strengths:*
- Excellent communication and interpersonal skills; able to build and maintain strong, long-term business relationships.
  - Demonstrated ability to generate increased revenues through exceptional lead generation, development of existing customer base, and budget expansion.
- Areas of Expertise:*
- Market Research and Analysis
  - Prospecting / Networking for New Accounts
  - Identifying Customer Needs
  - Developing and Delivering Effective Sales Presentations for Senior Level Management
  - Overcoming Objections / Closing the Sale

### **EDUCATION**

*Education:* TEXAS WESLEYAN UNIVERSITY  
Fort Worth, TX  
**Bachelor of Science and Humanities**  
Major: **Mass Communications (Radio / TV)**  
Undeclared Minor: **Advertising / Public Relations**



## LEADERSHIP

*Affiliations:* National Association Of Hispanic Real Estate Professional (NAHREP) –  
Board Of Directors – 2011 – 2015 2014 Secretary

NAHREP Fort Worth – Board Of Directors – 2017 - 2018

NAHREP North Texas – Board Of Directors – 2013 – 2016

VAREP Member – 2018 – Present

Fort Worth Independent School District Board Of Trustees – 2012 -2013

City Of Fort Worth Building Standards Commission – Commissioner  
2009 – 2012

City Of Fort Worth Board Of Adjustment Residential – Commissioner –  
2015 - Present

Greater Fort Worth Association Of Realtors (GFWAR) – Past President -  
Board Of Directors 2012 – 2019

Texas Association Of Realtors Board Of Directors – 2018 – Present

FWISD Redistricting Committee, 2011

FWISD Advisory Committee 2005 – 2009

Si Se Puede Stay In School Conference – Volunteer Committee  
(Many Years Participation)

Tarrant County Aids Interfaith Network – Past Board Member

Shakespeare In The Park/Stage West – Past Board Member

Allied Theatre Group – Past President

Texas Wesleyan University Alumni Association - Board of Directors  
- President, 1995 to 1996

Lambda Chi Alpha Fraternity Advisor at TWU

Mentor - Trinity River Mission in Dallas



Boy Scouts of America  
 Aguilar District - Past Chairman  
 Scout Reach District Chair – 2016 - Present

Nolan Catholic High School Alumni Association – Past Chair  
 J.M.S.L. Neighborhood Past President

DFW National Association Of Hispanic Real Estate Professionals  
 - Past President

HUD/City Of Ft. Worth Housing Summit Committee

### PROFESSIONAL EXPERIENCE

9/10 – Present

Kenneth Jones Real Estate – Ft. Worth, Texas  
**Licensed Broker Associate**  
**Executive Vice – President**

Responsibilities include residential and commercial market research for clients. Develop marketing strategies for sellers to aid in selling real estate and representing buyers in a transaction.

10/05 – 9/10

J.J. Robb Real Estate Services – Ft. Worth, Texas  
**Licensed Realtor**

Responsibilities include residential and commercial market research for clients. Develop marketing strategies for sellers to aid in selling real estate and representing buyers in a transaction.

7/89 – 1/05

KFWD-TV 52 - Dallas, Texas  
**Local Sales Supervisor** (12/03 – 1/05)  
**Senior Account Executive** (11/93 – 12/03)  
**Account Executive** (7/89 - 11/93)

Responsibilities included media research, media sales service, client research and service. Duties also include ratings analysis, competitive station analysis, and product category research, as well as public relations. All these responsibilities geared toward final goal of generating revenue for the station.

**Accomplishments:**



- Developed / implemented training program for new account executives.
- Improved public awareness by matching customer needs with time slots and programs targeted toward viewing audiences ... end result - significant revenues for customers and KFWD.

7/87 - 7/89

TROPICAL GREENERY NURSERY - N. Richland Hills, Texas  
**Salesperson/Plant Maintenance**

### INTERNSHIPS/ADDITIONAL WORK EXPERIENCE

1/89 - 5/89

KTVT-TV 11 - Fort Worth, Texas

Sales Department

Responsibilities included media research, media sales service, client research, client service, rating analysis, competitive station analysis, product category research, and sales assistance.

5/87 - 8/87

HALTOM CITY CABLE TASK FORCE - Fort Worth, Texas

Performed camera work and editing.

### AWARDS

Recipient of the 2017 Texas Realtors Strike Force Award

Recipient of the 2013 NAHREP North Texas Ernie Reyes Award

Recipient of the 2009 DFW NAHREP President's Award

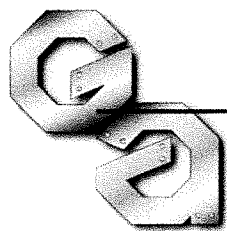
Eagle Scout - 1985

### DESIGNATIONS

Graduate REALTOR Institute, Accredited Buyers Representative, Seller Representative Specialist, Graduate Of Texas REALTOR Leadership

### REFERENCES AVAILABLE UPON REQUEST





# General Assembly

Tony Pompa - President  
Julie Pompa – Vice President

Hi my name is Tony Pompa. My wife and I are the proud parents of five wonderful daughters and one feisty English Pointer boy. I am the president of Pompa's General Assembly, Inc. It is a business based here in Arlington that we started more than 25 years ago, while still in college, to provide product assembly services to large national retailers such as Home Depot, Lowe's, Sears and Wal-Mart. We provide services to retail locations throughout the Southwest. In 2019, we also launched All Cargo Express which is a delivery service partner for Amazon. We deliver about 100,000 Amazon packages a week in the Ft. Worth area.

Since arriving in Arlington in 1998, Julie and I have dedicated ourselves to raising our five girls, growing our business and serving the community. I have served on the Miller Elementary PTA, coached several YMCA Girls soccer teams from ages five to twelve, served as president of our Home Owners Association for two years, worked on the Futures 2025 committee, the Future Financial Committee for the AISD, the Superbowl Planning Committee and the AISD Bond Election Committee and was in the Leadership Arlington graduating class of 2008, BEST CLASS EVER!! I served as an Arlington ISD Trustee from 2011 to 2014. I currently serve on the following boards: Lena Pope Home, Inc., North Texas Higher Education Authority and the Deer Wood Park HOA as VP. I am a current member of Downtown Arlington Rotary and a former co-chair of the Santa Fe International Folk Art Market at Arlington.

On the business side, I have served on the Arlington Chamber of Commerce and the Arlington Hispanic Chamber of commerce boards and in various committees within those organizations. I was also a founding board member of the Ft. Worth chapter of The Entrepreneur's Organization.

I graduated with Magna Cum Laude honors from St. Edward's University in Austin, TX. I majored in Psychology and served as Vice President of the Psychology Association on campus. I also was accepted into the Honors program my sophomore year and received the Dean's list recognition for every semester of my college career. After graduating from St. Edward's, I continued my involvement with the school by serving on the Alumni Association board of directors from 2001 to 2005.

Sincerely,  
Tony Pompa.



# Kathryn Wilemon

1318 Viridian Park Lane  
Arlington, TX 76005  
817.994.5129 cell  
[kawilemon@aol.com](mailto:kawilemon@aol.com)

- Education:** Arlington High School
- Attended Arlington State College
- Southwestern Graduate School of Banking at SMU
- Professional:** Trust Officer- Texas Commission Bank (now JP Morgan) 1970-1977
- Currently Serving:** Tarrant Appraisal District- Chair
- Alliance for Children- Executive Committee
- Restore Hope- Board Member
- Tarrant County Transportation Coalition- Member
- Arlington Civic League- Member
- Greater Arlington Chamber of Commerce- Transportation Committee
- Past Service:** Arlington City Council 2003-2019
- Arlington Housing Finance Corporation- Board of Directors
- Arlington Tomorrow Foundation- Chair of the Board
- National League of Cities- Transportation and Infrastructure Steering Committee
- NCTCOG- Regional Transportation Council, Chair
- NCTCOG- Executive Board Committee Member and Chair 2011-2019
- Tarrant County Hospital District- Board Member 1987-1995
- Tarrant Regional Transportation- Former Chair
- Texas Municipal League-Vice Chair General Government Committee;  
Legislative Policy Committee on Utilities & Transportation; Task Force  
on Revenue & Taxation; Resolutions Committee



**CENTRAL APPRAISAL DISTRICT  
OF JOHNSON COUNTY**



109 N Main St  
Cleburne TX 76033  
Metro (817) 648-3000  
Fax (817) 645-3105  
www.johnsoncad.com

Board of Directors  
Byron Black – Chairman  
Toby Ford – Vice Chairman  
Don Beeson – Secretary  
Larry Woolley  
Albert Archer, Sr.  
Scott Porter – Tax Assessor/Collector

Executive Director/Chief Appraiser  
Jim Hudspeth, RPA, RTA, CTA, CSTA, CCA

**October 21, 2021**

**The Honorable Michael Evans, Mayor  
City of Mansfield  
1200 E Broad St  
Mansfield, Texas 76063**

**Dear Mayor Evans:**

Enclosed is your OFFICIAL BALLOT for election of the Central Appraisal District Board of Directors for 2022-2023. The City of Mansfield is entitled to a total of 78 votes. You may cast all votes for one candidate or divide them up for two or more.

Your governing body should determine its vote by resolution. Please record the number of votes for the candidate(s) chosen on this OFFICIAL BALLOT, and return it to me along with a copy of your resolution before December 15, 2021.

**Legislation prohibits ballots received after this date from being counted in the election. Please place the resolution on your agenda during November and ensure your ballot is in our office before December 15, 2021.**

A copy of this letter is being sent to your city manager, along with a copy of the ballot; however, only you have the OFFICIAL BALLOT.

I cannot stress enough that the Property Tax Code requires timeliness in this matter. Please call me anytime I can be of help to you.

Respectfully,

Jim Hudspeth, RPA, RTA, CTA, CSTA, CCA  
Executive Director/Chief Appraiser

JH/jw

Enclosures

cc: Mr. Joe Smolinski, City Manager



## **Board Member Nominees**

**Don Beeson** – Resident of Keene for over 40 years, retired with 33 years of service in law enforcement including Detective with the Johnson County Sheriff's Office and Chief of Police with the University of North Texas Health Science Center, former Johnson County Commissioner Precinct 4 from 2007-2015, recently served as City of Keene Interim Police Chief, involved in numerous civic and professional organizations.

**Byron Black** – Previous mayor of the City of Burleson, past president of Burleson school board, past president of Texas Association of School Boards, current TML Intergovernmental Risk Pool Place 13 board member, involved in numerous other civic and professional organizations, retired postmaster.

**Vance Castles** – Resident of Johnson County for over 50 years. Has been active in many commissions in the City of Cleburne and currently serving on the Planning and Zoning Commission. Served three different times on the Grand Jury with the last time being the Foreman. Involved in re-forming the Cleburne Athletic Booster Club and is the founder of the Cleburne Education Foundation, serving currently on that board.

**Toby Ford** – Life-long resident of the city of Burleson with a degree in Civil Engineering at the University of Texas at Arlington graduating Cum Laude in 1990. Retired owner of the civil engineering consulting firm of Dunaway Associates, LP. Served as a member of the Parks and Recreation Board, Planning and Zoning Commission and served two terms as a city council member for the city of Burleson. He also is currently a member of and has served as a past president of the 4b Board since 2003.

**Jeannie Prazak**- No information provided

**Alicia Rosales**- No information provided

**Brenda Webb** – Johnson County resident for 41 years. A Texas Real Estate Broker since 1986. She owns Webb Kirkpatrick Real Estate with her youngest daughter. Served as President of the Johnson County Association of Realtors three different terms and also the Cleburne Chamber of Commerce 2 terms. Committee work at present is with Texas Realtors serving on the Professional Standards Committee.





**ELLIS APPRAISAL DISTRICT**  
400 Ferris Ave \* PO Box 878  
Waxahachie, Texas 75168  
972-937-3552 \* Toll Free 1-866-348-3552  
ecad@elliscad.com

**Board of Directors**  
John G. Tabor, Chairman  
Ken Marks, Vice Chairman  
John D. Knight, Secretary  
T. Walter Erwin, Member  
Diana B. Muckleroy, Member  
Richard Rozier, Non-voting Member

Kathy Rodrigue, Chief Appraiser

August 25, 2021

Voting Taxing Units of the Ellis Appraisal District:

It is election time and the **2022-2023 Board of Directors Taxing Unit Voting Entitlements** are enclosed.

**The FIRST step for you in this process is NOMINATIONS.** Each taxing unit may **nominate by resolution** adopted by its governing body (sample enclosed) one candidate for each position to be filled on the board of directors. The presiding officer of the governing body of the unit shall submit the name(s) of the unit's nominee(s) to the chief appraiser before October 15<sup>th</sup>.

Before October 30<sup>th</sup>, the chief appraiser will prepare a ballot, listing the candidates and shall deliver a copy of the ballot to the presiding officer of your unit. **The SECOND step for you in this process is to VOTE.** The governing body shall determine its **vote by resolution** (sample enclosed) and submit it to the chief appraiser before December 15<sup>th</sup>. Your voting entitlement may be cast for one candidate or distributed as the governing body chooses. It takes **834 votes** to secure a position on the board. The chief appraiser will count the votes, declare the five candidates who received the largest cumulative vote totals elected, and submit the results before December 31<sup>st</sup> to each governing body. **Please see the NEW LEGISLATION\* on separate page affecting larger taxing units.**

Please mark these dates for the governance of the Ellis Appraisal District:

|                     |  |
|---------------------|--|
| Before October 15   | Your governing body submits candidate(s) name(s) (with bio) to the chief appraiser |
| Before October 30   | I will prepare and deliver a ballot to the presiding officer of your unit          |
| Before December 15* | Your governing body will vote by resolution and submit to the chief appraiser      |
| Before December 31  | I will send the results of the election to each governing body                     |

**Please make plans on your scheduled meetings to consider and act on these matters. Your vote is very important to the continued dedicated leadership of this board.**

I have asked the current board members about their interest in serving another term. Walter Erwin, John Knight, Ken Marks, Dani Muckleroy and John Tabor are willing to serve another term. I am enclosing the history of the current board members.

So that all taxing units in the election are familiar with new candidates, **please submit a short bio and contact information** (email and cell phone) **for any newly nominated candidate.** Please contact me if you have any questions.

Respectfully submitted,

Kathy Rodrigue, RPA



## NEW LEGISLATION effective for the 2022-2023 Board of Directors Election

HB 988 Shine

SECTION 3. Section 6.03, Tax Code, is amended by amending Subsection (k) and adding Subsection (k-1) to read as follows:

(k) Except as provided by Subsection (k-1), the [The] governing body of each taxing unit entitled to vote shall determine its vote by resolution and submit it to the chief appraiser before December 15. The chief appraiser shall count the votes, declare the five candidates who receive the largest cumulative vote totals elected, and submit the results before December 31 to the governing body of each taxing unit in the district and to the candidates. For purposes of determining the number of votes received by the candidates, the candidate receiving the most votes of the conservation and reclamation districts is considered to have received all of the votes cast by conservation and reclamation districts and the other candidates are considered not to have received any votes of the conservation and reclamation districts. The chief appraiser shall resolve a tie vote by any method of chance.

(k-1) This subsection applies only to an appraisal district established in a **county with a population of 120,000 or more**. The governing body of each taxing unit entitled to cast at least five percent of the total votes must determine its vote by resolution adopted **at the first or second open meeting of the governing body that is held after the date the chief appraiser delivers (before October 15<sup>th</sup>) the ballot to the presiding officer of the governing body**. The governing body must submit its vote to the chief appraiser not later than the third day following the date the resolution is adopted.

This **new law applies** to the following taxing units that make up 86.07% of the total votes:

|                    |        |                |
|--------------------|--------|----------------|
| Ellis County       | 16.73% | with 837 votes |
| Ennis ISD          | 9.33%  | with 467 votes |
| Midlothian ISD     | 19.91% | with 995 votes |
| Red Oak ISD        | 7.86%  | with 393 votes |
| Waxahachie ISD     | 17.57% | with 879 votes |
| City of Midlothian | 7.94%  | with 397 votes |
| City of Waxahachie | 6.73%  | with 336 votes |



## 2022-2023 Ellis Appraisal District Board of Directors' Candidate Information

*Please find information for the nominated candidates: Logan Brady, Walter Erwin, Richard Keeler, Brett Kemp, John Knight, Ken Marks, Dani Muckleroy and Ryan Pitts*

**Logan Brady** - Born in California, Mr. Brady grew up in Waxahachie, graduating in 2006. He earned a Bachelors Degree in Computer Science from the University of Alabama, an MBA from Quinnipiac University and a Lean Six Sigma Blank Belt certification from Villanova University. He has worked in aerospace manufacturing, healthcare, banking and owned a dance studio with his wife. Through his work, he has enjoyed traveling and has spent time in Germany, China, India and the Middle East. Mr. Brady is the Branch President for Pinnacle Bank's forthcoming Waxahachie Branch and is involved locally in the Waxahachie Chamber of Commerce, Waxahachie Young Professionals and the Miracle League of Ellis County. He and his family returned to Waxahachie after 15 years following his high school graduation.

**Walter Erwin** - Mr. Erwin was nominated by the City of Ennis. Mr. Erwin has served on the Ellis Appraisal District Board of Directors as a member for a part of 2021. He was in the US Army Reserve from 1964-1971 while simultaneously earning his BBA from the University of Texas. From 1973-2018, he was the President and CEO of Erwin Distributing Co, Inc. DBA Wally's Party Factory while also founding Party Club of America and was co-owner/founder of Halloween and Party Expo, selling these businesses by 2018. Mr. Erwin remains the Managing Member of Erwin Properties, LP (I & II) and remains on the Ennis State Bank Board of Directors since 1985. He volunteered as the Vice-President of the Ennis Industrial Foundation in the 1970-80's and the Trinity River Authority of Texas from 1982-1993, serving as the President of their Board of Directors from 1991-1993.

**Richard Keeler** - Mr. Keeler was nominated by Waxahachie ISD. He has been a resident of Waxahachie since 1985, serving on the Waxahachie Planning and Zoning Commission as Chairman, on the City of Waxahachie Economic Development Commission and on the Steering Committee for the Waxahachie Economic Development Plan. He attended De Soto High School, received a BBA in Finance from Sam Houston State University and attended the School of Banking of the South at Louisiana State University. Professionally, Mr. Keeler has been with Options Real Estate Investments, Inc. since 1996, from 1981-1996 worked with Community and Commercial Banking and is a member of the Congress for the New Urbanism. He volunteers with Waxahachie Youth Baseball and the Waxahachie YMCA.

**Brett Kemp** - Mr. Kemp was nominated by the City of Midlothian. A resident of Midlothian since 1977, he graduated from Midlothian High School in 1987. He graduated from Tarleton State University with a BBA in Accounting, earned a Masters Certificate in Project Management from Villanova University and obtained a Series 22 and 63 for the SEC as a broker. Professionally, Mr. Kemp ran the Kemp CPA firm from 2010-2019, worked for Intuit for 12 years and received certification as a Green and Black Belt in Six Sigma. He has served the community as VP for the Midlothian Downtown Business Association for three years, as a Member of the Board of Directors for the Midlothian Foundation and volunteered with Manna House for two years. He served for eight years in all leadership roles on the Board of Directors of the Midlothian Chamber of Commerce and founded the Chamber Wine Walk event. Mr. Kemp graduated from Leadership Midlothian in 2012 and went on to Chair and run Leadership Midlothian from 2013-2019. From 2013-2014, he served on the Board of Directors for the Hope Clinic in Waxahachie and was appointed and served as a Planning and Zoning Commissioner for the City of Midlothian from 2014-2018. Mr. Kemp currently serves on the Board of Directors for the Midlothian Cemetery Association and as the Membership Director for the Midlothian Lions Club. His roots are deep in the community and continues to seek service opportunities.



## 2022-2023 Ellis Appraisal District Board of Directors' Candidate Information

*Please find information for the nominated candidates: Logan Brady, Walter Erwin, Richard Keeler, Brett Kemp, John Knight, Ken Marks, Dani Muckleroy and Ryan Pitts*

**John Knight** - Mr. Knight was nominated by Midlothian ISD and the City of Midlothian. Mr. Knight has served on the Ellis Appraisal District Board of Directors as the Secretary for 2020-2021. He has been a resident of Ellis County for 20 years, currently his family lives in Ovilla and his children attend Midlothian ISD. Working in the financial services industry for 25+ years, he is currently the Senior Vice President for First Financial Bank in Midlothian. He has a Bachelor of Business Administration from the University of Texas at Arlington and a Masters of Business Administration from the Cox School of Business at Southern Methodist University. Mr. Knight is active in the community, serving on the board of the Midlothian Chamber of Commerce, co-chairing the Leadership Midlothian program, mentoring at The MILE, and is the president of Texas CASA (Court Appointed Special Advocates).

**Ken Marks** - Mr. Marks was nominated by Midlothian ISD and the City of Midlothian. Mr. Marks has served on the Ellis Appraisal District Board of Directors since 2002 as a member, as Secretary from 2004-2005 and 2012-2013 and as Vice-Chairman from 2014-2021. He is a State Certified Residential Real Estate Appraiser working for E.T. Jones & Associates. Mr. Marks has been a resident of Ellis County for 32 years. He and his children graduated from Midlothian ISD.

**Dani Muckleroy** - Ms. Muckleroy was nominated by Midlothian ISD. Ms. Muckleroy has served on the Ellis Appraisal District Board of Directors as a member for a part of 2021. Ms. Muckleroy has been a resident of Ovilla for 28 years. She owned a retail gift shop in Duncanville for 14 years. She is a volunteer and supporter of several non-profit groups that meet the needs of marginal families with an emphasis on children. She has served on the Advisory Council of the Ellis County Salvation Army for 13 years and on the Board at Daniel's Den for one term. She presently serves, using her many years in accounting, on the Finance Committee of First United Methodist Church of Red Oak, understanding budgets and the reason for them. Ms. Muckleroy is a CASA volunteer and a mentor at Red Oak High School.

**Ryan Pitts** – Mr. Pitts was nominated by the City of Waxahachie. He, his wife Faith and their two children live in Waxahachie. Mr. Pitts, a 4<sup>th</sup> generation Waxahachie resident, graduated from Southern Methodist University and received his Doctor of Jurisprudence from the University of Texas School of Law. He is the Chief Executive Officer at Ellis County Title Company and has a heart to serve the community. Mr. Pitts is President of the Waxahachie Foundation, Secretary of the Waxahachie Chamber of Commerce Board of Directors and volunteers with Waxahachie Care, the Waxahachie Family YMCA and the Waxahachie Independent School District Community Education Advisory Council on their leadership boards. He was named to the 40 Under Forty list of business professionals in Ellis County in 2017 and was a member of the Leadership Waxahachie class of XXII in 2015-2016. Mr. Pitts was recently a candidate in the 2020 Republican Primary for Texas House District 10.