



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda

City Council

Monday, May 23, 2022

3:30 PM

Council Chambers

REGULAR MEETING

1. **3:30 P.M. - CALL MEETING TO ORDER**

2. **WORK SESSION**

Discussion Regarding Residential Solid Waste

Multifamily/Townhome/Neighborhood Park Development Discussion Located at Debbie Lane and Matlock Road Intersection - JPI/Ashton Woods

3. **RECESS INTO EXECUTIVE SESSION**

Pursuant to Section 551.071, Texas Government Code, the Council reserves the right to convene in Executive Session(s), from time to time as deemed necessary during this meeting for any posted agenda item, to receive advice from its attorney as permitted by law.

A. **Pending or Contemplated Litigation or to Seek the Advice of the City Attorney
Pursuant to Section 551.071**

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. 348-270155-14

Seek Advice of City Attorney Regarding the Allocation of Hotel/Motel Tax Dollars

Seek Advice of City Attorney Regarding the Regulation of on-Street and Off-Street Parking in Residential Neighborhoods

Seek Advice of City Attorney Regarding Legal Issues Pertaining to Economic Development Projects listed in Section 3.D of the Agenda

B. **Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real
Property Pursuant to Section 551.072**

Land Acquisition for Future Development

C. **Personnel Matters Pursuant to Section 551.074**

D. Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087

Economic Development Project #22-19

Economic Development Project #21-09

Economic Development Project #21-26

Economic Development Project #21-28

Economic Development Project #21-35

Economic Development Project #21-37

Economic Development Project #22-14

4. 6:50 P.M. – COUNCIL BREAK PRIOR TO REGULAR BUSINESS SESSION

5. 7:00 PM OR IMMEDIATELY FOLLOWING EXECUTIVE SESSION - RECONVENE INTO REGULAR BUSINESS SESSION

6. INVOCATION

7. PLEDGE OF ALLEGIANCE

8. TEXAS PLEDGE

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

9. PROCLAMATION

[22-4688](#) National Foster Care Month

Attachments: [National Foster Care Month 2022](#)

10. RECOGNITION

Recognition of Texas Municipal League Leadership Fellows: Tamera Bounds, Troy Lestina, Shelley Everhart, Jason Alexander

11. OATH OF OFFICE

Michael Evans

Tamera Bounds

12. ELECTION OF MAYOR PRO TEM**13. CITIZEN COMMENTS**

Citizens wishing to address the Council on non-public hearing agenda items and items not on the agenda may do so at this time. Due to regulations of the Texas Open Meetings Act, please do not expect a response from the Council as they are not able to do so. THIS WILL BE YOUR ONLY OPPORTUNITY TO SPEAK UNLESS YOU ARE SPEAKING ON A SCHEDULED PUBLIC HEARING ITEM. After the close of the citizen comments portion of the meeting only comments related to public hearings will be heard. All comments are limited to five (5) minutes.

In order to be recognized during the "Citizen Comments" or during a Public Hearing (applicants included), please complete a blue or yellow card located at the entrance of the Council Chambers. Please present the card to the Assistant City Secretary prior to the start of the meeting.

14. COUNCIL ANNOUNCEMENTS**15. STAFF COMMENTS**

In addition to matters specifically listed below, Staff comments may include updates on ongoing or proposed projects and address of posted agenda items.

A. City Manager Report or Authorized Representative

Current/Future Agenda Items

Update Regarding Bond Issuance

16. TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION**17. CONSENT AGENDA**

All matters listed under consent agenda have been previously discussed, require little or no deliberation, or are considered to be routine by the council. If discussion is desired, then an item will be removed from the consent agenda and considered separately. Otherwise, approval of the consent agenda authorizes the City Manager to implement each item in accordance with staff's recommendation.

ITEMS TO BE REMOVED FROM THE CONSENT AGENDA

[22-4683](#)

Resolution - Authorization of Funding in an Amount Not to Exceed

\$523,800.00 and Approval of a Contract with Halff Associates Inc. for Engineering Design Services to Prepare the North Main Street (US Business Hwy 287) to FM 157 Connector Roadway for Public Bidding and Construction (Street Bond Fund)

Presenters: Bart VanAmburgh

Attachments: [Resolution](#)

[Location Map](#)

[Connector Road Exhibit](#)

[22-4686](#)

Resolution - A Resolution to Consider Approving a Proposal With Ad Giants Ventures, LLC, of Dallas, Texas in an Amount Not to Exceed \$185,000 for an Economic Development Production and Advertising Campaign

Presenters: Jason Moore

Attachments: [Resolution](#)

[2022 Economic Development Campaign Proposal](#)

[22-4687](#)

Resolution - A Resolution to Consider Support for a Hazard Mitigation Grant Program Application to the Texas Department of Emergency Management for Watson Branch Channel Improvements

Presenters: Bart VanAmburgh

Attachments: [Resolution](#)

[22-4689](#)

Resolution - A Resolution of the City of Mansfield, Texas Suspending the June 17, 2022 Effective Date of Oncor Electric Delivery Company's Requested Rate Change to Permit the City Time to Study the Request and to Establish Reasonable Rates

Presenters: Jeff Price

Attachments: [Resolution](#)

[22-4685](#)

Minutes - Approval of the May 9, 2022 Regular City Council Meeting Minutes

Presenters: Susana Marin

Attachments: [5-9-22 DRAFT Meeting Minutes](#)

[22-4690](#)

Minutes - Approval of the May 17, 2022 Special City Council Meeting Minutes

Presenters: Susana Marin

Attachments: [5-17-22 DRAFT Meeting Minutes](#)

END OF CONSENT AGENDA

18. PUBLIC HEARING AND FIRST READING

[22-4581](#)

Ordinance - Public Hearing and First Reading of an Ordinance Approving a Zoning Change from SF-7.5/12 Single-Family Residential District to PD,

Planned Development District for Single-Family Residential Uses on Approximately 2.997 Acres Known as Lot 15, Mount Zion Estates, Located at 301 Sayers St.; Michael Thomas of MJ Thomas Engineering, LLC, engineer, on behalf of Christine Panagopoulos of Trinity Habitat for Humanity, owner/developer (ZC#20-021)

Presenters: Jason Alexander

Attachments: [Ordinance](#)

[Exhibit A - Property Description](#)

[Exhibit B1 - Development Plan](#)

[Exhibit C1 - Elevations and Perspectives](#)

[Exhibit D1 - Landscape Plan](#)

[Maps and Supporting Information](#)

19. PUBLIC HEARING CONTINUATION AND SECOND AND FINAL READING

[22-4659](#)

Ordinance - Public Hearing Continuation and Second and Final Reading of an Ordinance Approving a Change of Zoning from PR, Pre-Development District to PD, Planned Development District for Single-Family Residential Uses on Approximately 60.92 Acres out of the PB George Survey, Abstract #299, Johnson County, Texas, on Property Located at 1400 Flying L Lane; First Texas Homes, Owner/Developer and JBI Partners, Inc., Engineer (ZC#21-011)

Presenters: Jason Alexander

Attachments: [Ordinance](#)

[Exhibit A](#)

[Revised Exhibit B](#)

[Revised Exhibit C](#)

[Exhibit D](#)

[Maps and Supporting Information](#)

20. ADJOURN

CERTIFICATION

THIS IS TO CERTIFY THAT A COPY OF THE NOTICE OF the May 23, 2022 Regular City Council Agenda was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, mansfieldtexas.gov, on Thursday, May 19, 2022 prior to 5:00 p.m., in compliance with Chapter 551, Texas Government Code.

Susana Marin, City Secretary

Approved as to form:

City Attorney

DATE OF POSTING: _____ TIME: _____ am/pm

DATE TAKEN DOWN: _____ TIME: _____ am/pm

This facility is ADA compliant. If you plan to attend this public meeting and have a disability that requires special arrangements, please call (817) 473-0211 at least 48 hours in advance. Reasonable accommodation will be made to assist your needs. PLEASE SILENCE ALL PAGERS, CELL PHONES & OTHER ELECTRONIC EQUIPMENT WHILE THE CITY COUNCIL MEETING IS IN SESSION.



CITY OF MANSFIELD

1200 E. Broad St.
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STAFF REPORT

File Number: 22-4688

Agenda Date: 5/23/2022

Version: 1

Status: To Be Presented

In Control: City Council

File Type: Proclamation

Agenda Number:

WHEREAS, Every child deserves to grow up in a supportive, loving home where they can thrive and prosper,

WHEREAS, In the United States there are over 407,000 children and youth in foster care, and 34 percent were placed with relatives or kin,

WHEREAS, In Texas, more than 12,000 children are waiting for their "forever home",

WHEREAS, In Tarrant County, more than 2,000 children are in the foster care system,

WHEREAS, Children available for adoption are currently receiving foster care services. Most of the children waiting to be adopted are school-age children, teenagers, groups of siblings who want to stay together, children with special needs and children of color,

WHEREAS, Relational permanency is fundamental to the well-being of children and youth. Maintaining relationships with relatives and kin can help provide a sense of belonging for young people in care

WHEREAS, Supporting foster care children, their foster families, biological families, and services that support foster children can change generations, break cycles of abuse, prevent exploitation, and give children the opportunity to thrive,

NOW, THEREFORE, I, Michael Evans, Mayor of the City of Mansfield, Texas, do hereby proclaim the month of May 2022, to be

“National Foster Care Month” this 23rd day of May, 2022.

In the City of Mansfield, we urge all community members to volunteer their talents and energies to help children and youth in foster care and to honor those foster parents and families who have selflessly opened their hearts and homes to nurture at-risk children and promote healing in their time of need.

IN WITNESS WHEREOF, I do hereby set my hand and cause the official seal of the City of Mansfield to be affixed this **23rd day of May, 2022.**



CITY OF MANSFIELD

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STAFF REPORT

File Number: 22-4683

Agenda Date: 5/23/2022

Version: 2

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - Authorization of Funding in an Amount Not to Exceed \$523,800.00 and Approval of a Contract with Halff Associates Inc. for Engineering Design Services to Prepare the North Main Street (US Business Hwy 287) to FM 157 Connector Roadway for Public Bidding and Construction (Street Bond Fund)

Requested Action

Consider the authorization of funding and approval of the contract.

Recommendation

The authorization of funding in an amount not to exceed \$523,800.00 and approval of a contract with Halff Associates Inc. for engineering design services to prepare the North Main Street (US Business Hwy 287) to FM 157 Connector Roadway for public bidding and construction.

Description/History

When North Main Street (US Business Hwy 287) was realigned with FM 157 the realignment created a sharp 90-degree curve close to the intersection with FM 157. The sharp curve makes it difficult for large trucks to maneuver around the turn. Furthermore, the sharp curve has been a location of numerous accidents. With the creation and adoption of the 2006 Master Thoroughfare Plan, an east-west major collector roadway was added at a location approximately 2,100 feet north of the North Main Street/FM 157 intersection. The intent of the collector roadway is to reduce traffic and truck volumes around Legacy High School and at the N. Main Street/FM 157 intersection to avoid the sharp curve.

In November 2017, Council approved by Resolution #3425-17, a preliminary engineering contract with Halff Associates, Inc. for preliminary design survey, a traffic study which investigated the anticipated benefits and impacts of this collector roadway, a drainage study of Watson Branch, Coordination with TxDOT, schematic design and preparation of right-of-way documents. This current proposed contract will take the project from schematic phase to full engineering plans that will provide for public bidding and construction of the project.

The project will design the 4-lane undivided roadway connecting North Main Street with FM 157. This roadway will create the fourth leg of the Watson Branch Lane/FM 157 intersection. The design will also remove the section of Russell Lane south of Watson Branch and relocate the intersection of Russell Lane with FM 157 north of Watson Branch. In addition, the design includes a southbound right-turn lane on FM 157 along with north and southbound right and left-turn lanes on North Main Street. A traffic signal will be designed for the intersection of this collector roadway with North Main Street. This project will involve coordination and approval

through TxDOT.

The requested funds are for design and survey services with Halff Associates, Inc. to prepare the project for public bidding and construction in the amount not to exceed \$523,800.00.

Justification

This project will reduce traffic and truck volumes around Legacy High School and at the N. Main Street/FM 157 intersection. This project is included in the 2022 Street Bond Program. The Director of Public Works will be in attendance at the meeting to answer Council's questions regarding the proposed funding and contract.

Funding Source

Street Bond Fund

Prepared By

David Boski
Assistant Director of Public Works - Transportation
817-276-4208

RESOLUTION NO. _____**A RESOLUTION OF THE CITY OF MANSFIELD AUTHORIZING FUNDING IN AN AMOUNT NOT TO EXCEED \$523,800.00 AND APPROVAL OF A CONTRACT WITH HALFF ASSOCIATES, INC. FOR ENGINEERING DESIGN SERVICES TO PREPARE THE NORTH MAIN STREET (US BUSINESS HWY 287) TO FM 157 CONNECTOR ROADWAY FOR PUBLIC BIDDING AND CONSTRUCTION (STREET BOND FUND)**

WHEREAS the City Council recognizes the need to proceed forward with the engineering design of the North Main Street (US Business Hwy 287) to FM 157 Connector Roadway for the benefit of the citizens of the City of Mansfield: and,

WHEREAS, the City Staff has reviewed the proposal for the engineering design of the North Main Street (US Business Hwy 287) to FM 157 Connector Roadway Improvements: and,

WHEREAS, the City Council has received the recommendation of Staff to contract with Halff Associates, Inc. for engineering design services; and,

WHEREAS it is necessary to authorize and secure funds from the Street Bond Fund.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

Funding is hereby authorized in the amount of Five Hundred Twenty-Three Thousand Eight Hundred and 00/100 Dollars (\$523,800.00) to prepare this project for public bidding and construction.

SECTION 2.

The City Manager or his designee is hereby authorized and directed to execute necessary engineering design contracts with Halff Associates, Inc. to prepare this project for public bidding and construction.

SECTION 3.

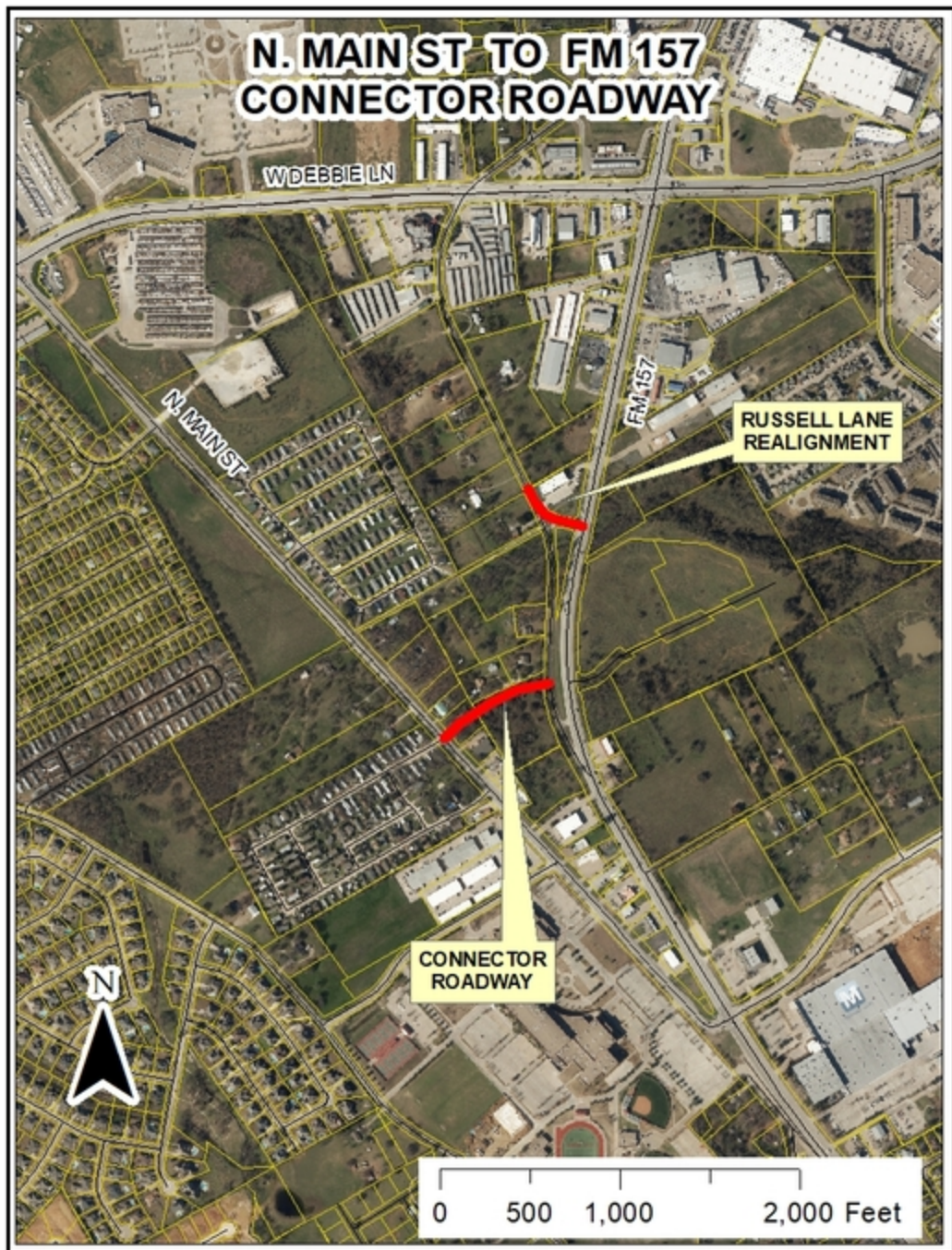
This resolution shall be effective immediately upon adoption.

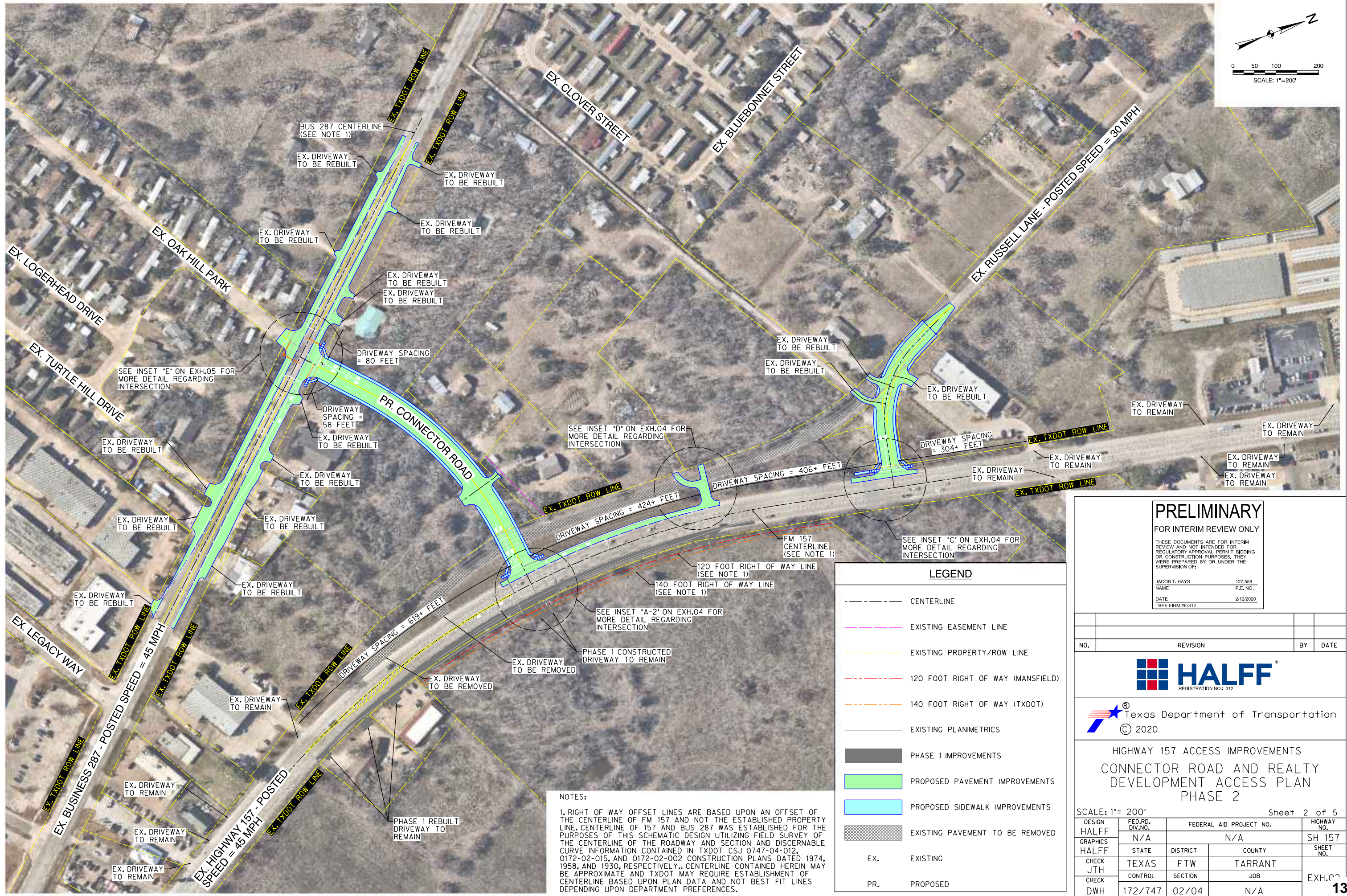
PASSED AND APPROVED THIS THE 23RD DAY OF MAY, 2022.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary





NOTES:
1. RIGHT OF WAY OFFSET LINES ARE BASED UPON AN OFFSET OF THE CENTERLINE OF FM 157 AND NOT THE ESTABLISHED PROPERTY LINE. CENTERLINE OF 157 AND BUS 287 WAS ESTABLISHED FOR THE PURPOSES OF THIS SCHEMATIC DESIGN UTILIZING FIELD SURVEY OF THE CENTERLINE OF THE ROADWAY AND SECTION AND DISCREPANCY CURVE INFORMATION CONTAINED IN TXDOT CSJ 0747-04-012, 0172-02-015, AND 0172-02-002 CONSTRUCTION PLANS DATED 1974, 1958, AND 1930, RESPECTIVELY. CENTERLINE CONTAINED HEREIN MAY BE APPROXIMATE AND TXDOT MAY REQUIRE ESTABLISHMENT OF CENTERLINE BASED UPON PLAN DATA AND NOT BEST FIT LINES DEPENDING UPON DEPARTMENT PREFERENCES.

LEGEND			
---	CENTERLINE		
---	EXISTING EASEMENT LINE		
---	EXISTING PROPERTY/ROW LINE		
---	120 FOOT RIGHT OF WAY (MANSFIELD)		
---	140 FOOT RIGHT OF WAY (TXDOT)		
---	EXISTING PLANIMETRICS		
---	PHASE 1 IMPROVEMENTS		
---	PROPOSED PAVEMENT IMPROVEMENTS		
---	PROPOSED SIDEWALK IMPROVEMENTS		
---	EXISTING PAVEMENT TO BE REMOVED		
EX.	EXISTING		
PR.	PROPOSED		

PRELIMINARY

FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL, PERMIT BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:

JACOB T. HAYS

NAME

127.558

P.E. NO.

2/12/2020

DATE

TBPE FIRM #F-312

NO.	REVISION	BY	DATE

REGISTRATION NO.: 312

© 2020

HIGHWAY 157 ACCESS IMPROVEMENTS

CONNECTOR ROAD AND REALTY DEVELOPMENT ACCESS PLAN

PHASE 2

SCALE: 1"= 200'

Sheet 2 of 5

DESIGN	FED. RD. DIV. NO.	FEDERAL AID PROJECT NO.		HIGHWAY NO.
HALFF	N/A	N/A		SH 157
GRAPHICS	STATE	DISTRICT	COUNTY	SHEET NO.
HALFF	TEXAS	FTW	TARRANT	EXH. C
CHECK	CONTROL	SECTION	JOB	
JTH	172/747	02/04	N/A	
CHECK	DWH			



CITY OF MANSFIELD

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STAFF REPORT

File Number: 22-4686

Agenda Date: 5/23/2022

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution to Consider Approving a Proposal With Ad Giants Ventures, LLC, of Dallas, Texas in an Amount Not to Exceed \$185,000 for an Economic Development Production and Advertising Campaign

Requested Action

Approval of a Proposal With Ad Giants Ventures, LLC, of Dallas, Texas in an Amount Not to Exceed \$185,000 for an Economic Development Production and Advertising Campaign

Recommendation

To Approve the Proposal With Ad Giants Ventures, LLC, of Dallas, Texas in an Amount Not to Exceed \$185,000 for an Economic Development Production and Advertising Campaign

Description/History

Per direction from the MEDC Board and City Council, the MEDC staff has developed a strategic plan framework which outlines means and methods to create an awareness campaign for Mansfield among the brokerage, development, and business community. We believe we must think completely outside the box compared to our colleagues in the metroplex. To do so, hiring Ad Giants, with their proven experience in major advertising and marketing campaigns, will prove beneficial for generating awareness and recruiting new corporations to Mansfield.

Justification

This will assist MEDC is differentiating ourselves to businesses looking to relocate to the state and metroplex.

Funding Source

Mansfield Economic Development Corporation sales tax.

Prepared By

Jason Moore, Executive Director, Mansfield Economic Development Corporation

RESOLUTION NO. _____**A RESOLUTION AUTHORIZING FUNDING IN AN AMOUNT NOT TO EXCEED \$185,000 AND APPROVAL OF A PROPOSAL WITH AD GIANTS, LLC OF DALLAS, TEXAS FOR AN ECONOMIC DEVELOPMENT PRODUCTION AND ADVERTISING CAMPAIGN**

WHEREAS, the proposed purchase is necessary to provide production and advertising services to create a one-of-a-kind campaign to raise brand awareness; and,

WHEREAS, the Proposal from Ad Giants was determined to be the most beneficial and effective method for a brand awareness campaign; and,

WHEREAS, the Mansfield Economic Development Corporation authorized funding for the campaign in an amount not to exceed \$185,000 of Type A sales tax at their May 3, 2022 board meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

Funding is hereby authorized in the amount of One Hundred Eighty-Five Thousand and 00/100 Dollars (\$185,000.00) for the work.

SECTION 2.

The City Manager or his designee is hereby authorized and directed to execute necessary contracts to complete the production and advertising campaign with Ad Giants, LLC for professional services in an amount not to exceed One Hundred Eighty-Five Thousand and 00/100 Dollars (\$185,000.00).

SECTION 3.

This resolution shall be effective immediately upon adoption.

PASSED AND APPROVED THIS THE 23rd DAY OF MAY, 2022.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary



Mansfield

Economic Development

2022 Campaign Proposal



Ad Giants

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The contents of this proposal represent bids from our partner network that have based their costs on the initial scope of the project outlined in this document. As in all estimates, there's a possibility that the final costs may deviate slightly. Any cost deviations found prior or during production will be re-estimated and presented to the client for approval and signature before being executed.

The following proposal serves as a mission statement, creative outline, production scope and production estimate to create, run and post a new city business development campaign.



mission statement

To present our community as a top option for businesses of all sizes to consider for relocation, utilizing our powerful work force, tapping into our friendly atmosphere, enjoying our many community advantages while celebrating a distinctive lifestyle that sets the city of Mansfield apart from all others.



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Our Primary Target Audience

Businesses and companies that are considering significant changes due to rising taxes, compromised/tired locations, expanded workforces, new business extensions, etc. Decision-makers that are looking at a considered set of potential cities for their businesses. Specifically San Francisco, San Diego, Los Angeles , Chicago and Boston.

Our Secondary Target Audience

Businesses and companies who are looking for a more attractive environment with new workforce talent and city ammenities that'll help them attract new and stronger employees.

The suggested campaign should generate quite a bit of PR and a “halo-effect” that will reach the general population far beyond the primary and secondary targets.

Our main messaging points:

- Appraisals / Taxes / Properties
- Schools
- Demographics / Workforce
- Incentives / Retention / Development
- Traffic / Expansion / Community
- News / Reporting
- Entertainment / Healthcare / Parks / Hotels / Etc.



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Media Channel Strategy

It's our contention and belief that if we focus on a single channel, social media, we can dominate with heavy exposure. Our targets are also people who frequent platforms such as Linked In and Facebook. With this purely digital approach, we can be much more effective and focused when driving home our advantages and our clever marketing funnels.

These channels also provide immediate feedback so we can adjust on-the-fly if need be with our **paid VS organic approach**. Secondly, with 100% of our efforts pointing towards social, it will further accelerate our chances for unlimited public relations exposure, from local to a potential national recognition.

Website

The design, function and construction of our website will support this unique approach by virtue of being purposely simplistic and crude. By all accounts, the same information will be resident on the site, but it'll be presented in a *"purposely loose and crude fashion"* to underscore our central message of being "so busy" we hired an intern to "check the box" when it comes to our new website.

The site WILL NOT be ugly, but it won't look remotely like any other site in this category.



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Musical Signature

We'll produce an original jingle, sing out and bed music to use for all of the spots produced. The writers and producers for this job are the same team who created the infamous Coca-Cola Christmas commercial, *"Santa Packs are Coming,"* played annually.

Commercials / Spots

For the initial launch, and in order to maximize the budget, we need to accomplish quite a lot. These are the recommended spots to launch:

- "Omnibus" Commercial (The Mainstreet Kickoff Spot)
- Economic Development Mission
- Great Schools
- Entertainment and More
- Our Workforce
- Medical and Wellness



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Production

We're proposing a commercial director with decades of experience creating commercials for many well-known brands. There'll be a minimum crew to keep costs down. The production involves:

- Scripts/creative and storyboards
- Shooting on location/scouting
- Casting and talent
- Editing and post production
- Music production
- 2-3 Day Shoot



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Estimated Costs

\$30k Creative

This includes all writing, scripts, art direction, all graphics for social media, ads, campaign and shoot production

\$100k Film Production

This includes director fee, crew, casting, talent costs, editorial

\$20k Music

This includes main jingle and versions of said jingle

\$25k Social Media Management

This includes social media strategy, execution, reporting and management

\$10k Website

Creation / update of your website to be consistent with campaign messaging

\$185k Total Estimate

A final breakout for each area will be presented upon approval and prior to any production. These are to serve as broad brush numbers to manage expectations.



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STAFF REPORT

File Number: 22-4687

Agenda Date: 5/23/2022

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution to Consider Support for a Hazard Mitigation Grant Program Application to the Texas Department of Emergency Management for Watson Branch Channel Improvements

Recommendation

The Environmental Services and Emergency Management Staff recommends the approval of the resolution.

Description/History

FEMA has made grant funds available through the HMGP program for COVID response funding. HMGP funds are not required to be spent on projects related to the disaster declaration the funds were allocated to address. Many local jurisdiction plans do not include specific fundable projects related to pandemic response, therefore other projects are anticipated to be approved for funding. The City has identified the Watson Branch Channel as a capital project to begin FY24 and continue through FY25 to address property and roadway flooding, and have worked with a consultant to prepare a preliminary design for a solution. This grant would provide 75% of the funding to complete the design and 75% of the anticipated construction costs of the project. Expected total cost to complete construction plans and all construction is \$4,603,335. The Federal funding portion would be \$3,425,501.25 and the City's portion \$1,150,833.75. The local funding would be provided without impacts to the existing drainage utility fees. Grant funding would allow the project to be expedited and relieve roadway and property flooding concerns in the area around the Daulton pickle plant at N Main St and Debbie Ln.

Justification

This project reduces roadway flooding and protects private properties from flood risk.

Funding Source

The grant is reimbursable at a rate of 75% Federal to 25% local match. The City's local match

would be
made from the Drainage Utility Fund.

Prepared By

Howard Redfearn
Stormwater Manager
Environmental Services Department

RESOLUTION NO. _____**A RESOLUTION TO CONSIDER SUPPORT FOR A HAZARD MITIGATION GRANT PROGRAM APPLICATION TO THE TEXAS DEPARTMENT OF EMERGENCY MANAGEMENT FOR WATSON BRANCH CHANNEL IMPROVEMENTS**

WHEREAS, the Federal Emergency Management Administration created the Hazard Mitigation Grant Program to assist local communities protect property from flood risks; and,

WHEREAS, the City of Mansfield seeks to apply for grant funds to complete a drainage project that will protect properties from flood risk and eliminate roadway flooding; and,

WHEREAS, it is recognized that it is in the best interest of the citizens of the City of Mansfield that this grant be administered as quickly as possible; and,

WHEREAS, it is the recommendation and determination of staff that the pursuit of grants funds is the most expedient way to accomplish this goal.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That the City manager is authorized to execute a contract with the Texas Department of Emergency Management and act on behalf of the City of Mansfield in all matters related to the project.

SECTION 2.

That the City of Mansfield will comply with the requirements of the Hazard Mitigation Grant Program, Texas Department of Emergency Management and the Federal Emergency Management Administration.

SECTION 3.

The project funds will be used only for the purposes for which they are intended under the project.

SECTION 4.

That activities will comply with and support the adopted All Hazards Mitigation Plan adopted for the geographical area in which the activities are performed.

SECTION 5.

That this resolution shall be effective immediately upon adoption.

PASSED AND APPROVED THIS THE 23RD DAY OF MAY, 2022.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary



CITY OF MANSFIELD

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Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 22-4689

Agenda Date: 5/23/2022

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution of the City of Mansfield, Texas Suspending the June 17, 2022 Effective Date of Oncor Electric Delivery Company's Requested Rate Change to Permit the City Time to Study the Request and to Establish Reasonable Rates

Requested Action

Recommendation

Staff recommends that the Council adopt the resolution.

Description/History

Oncor Electric Delivery Company ("Oncor" or "the Company") filed an application on or about May 13, 2022 with cities retaining original jurisdiction seeking to increase system-wide transmission and distribution rates by about \$251 million or approximately 4.5% over present revenues. The Company asks the City to approve an 11.2% increase in residential rates and a 1.6% increase in street lighting rates. If approved, a residential customer using 1,300 kWh per month would see a bill increase of about \$6.02 per month.

The resolution suspends the June 17, 2022 effective date of the Company's rate increase for the maximum period permitted by law to allow the City, working in conjunction with the Steering Committee of Cities Served by Oncor, to evaluate the filing, determine whether the filing complies with law, and if lawful, to determine what further strategy, including settlement, to pursue.

The law provides that a rate request made by an electric utility cannot become effective until at least 35 days following the filing of the application to change rates. The law permits the City to suspend the rate change for 90 days after the date the rate change would otherwise be effective. **If the City fails to take some action regarding the filing before the effective date, Oncor's rate request is deemed administratively approved.**

Justification

The City of Mansfield is a member of a 169-city coalition known as the Steering Committee of Cities Served by Oncor ("Steering Committee"). The Steering Committee has been in existence since the late 1980s. It took on a formal structure in the early 1990s when cities served by the former TXU gave up their statutory right to rate case expense reimbursement in exchange for higher franchise fee payments. Empowered by city resolutions and funded by *per capita* assessments, the Steering Committee has been the primary public interest advocate before the Public Utility Commission, the

Courts, and the Legislature on electric utility regulation matters for the last 30 years. Although Oncor has increased rates many times over the past few years, this is the first comprehensive base rate case for the Company since March 2017.

Funding Source

N/A

Prepared By

Jeff Price, Director of Utilities
817-728-3602

RESOLUTION NO. _____

A RESOLUTION OF THE CITY OF MANSFIELD, TEXAS SUSPENDING THE JUNE 17, 2022 EFFECTIVE DATE OF ONCOR ELECTRIC DELIVERY COMPANY'S REQUESTED RATE CHANGE TO PERMIT THE CITY TIME TO STUDY THE REQUEST AND TO ESTABLISH REASONABLE RATES; APPROVING COOPERATION WITH THE STEERING COMMITTEE OF CITIES SERVED BY ONCOR TO HIRE LEGAL AND CONSULTING SERVICES AND TO NEGOTIATE WITH THE COMPANY AND DIRECT ANY NECESSARY LITIGATION AND APPEALS; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL FOR THE STEERING COMMITTEE

WHEREAS, on or about May 13, 2022, Oncor Electric Delivery Company (Oncor), pursuant to PURA §§ 33.001 and 36.001 filed with the City of Mansfield a Statement of Intent to increase electric transmission and distribution rates in all municipalities exercising original jurisdiction within its service area effective June 17, 2022; and,

WHEREAS, the City of Mansfield is a member of the Steering Committee of Cities Served by Oncor ("Steering Committee") and will cooperate with the 169 similarly situated city members and other city participants in conducting a review of the Company's application and to hire and direct legal counsel and consultants and to prepare a common response and to negotiate with the Company prior to getting reasonable rates and direct any necessary litigation; and,

WHEREAS, PURA § 36.108 grants local regulatory authorities the right to suspend the effective date of proposed rate changes for ninety (90) days after the date the rate change would otherwise be effective; and,

WHEREAS, PURA § 33.023 provides that costs incurred by Cities in ratemaking proceedings are to be reimbursed by the regulated utility.

THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That the June 17, 2022 effective date of the rate request submitted by Oncor on or about May 13, 2022, be suspended for the maximum period allowed by law to permit adequate time to review the proposed changes and to establish reasonable rates.

SECTION 2.

As indicated in the City's resolution approving membership in the Steering Committee, the Executive Committee of Steering Committee is authorized to hire and direct legal counsel and consultants, negotiate with the Company, make recommendations regarding reasonable rates, and

to intervene and direct any necessary administrative proceedings or court litigation associated with an appeal of a rate ordinance and the rate case filed with the City or Public Utility Commission.

SECTION 3.

That the City's reasonable rate case expenses shall be reimbursed by Oncor.

SECTION 4.

That it is hereby officially found and determined that the meeting at which this Resolution is passed is open to the public as required by law and the public notice of the time, place, and purpose of said meeting was given as required.

SECTION 5.

A copy of this Resolution shall be sent to Oncor, Care of Howard V. Fisher, Oncor Electric Delivery Company LLC, 1616 Woodall Rodgers Freeway, Dallas, Texas 75202 and to Thomas Brocato, Counsel to the Steering Committee, at Lloyd Gosselink Rochelle & Townsend, P.C., P.O. Box 1725, Austin, Texas 78767-1725.

PASSED AND APPROVED THIS THE 23RD DAY OF MAY, 2022.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 22-4685

Agenda Date: 5/23/2022

Version: 1

Status: Approval of Minutes

In Control: City Council

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the May 9, 2022 Regular City Council Meeting Minutes

Requested Action

Action to be taken by the Council to approve the minutes.

Recommendation

Approval of the minutes by the Council.

Description/History

The minutes of the May 9, 2022 Regular City Council Meeting are in DRAFT form and will not become effective until approved by the Council at this meeting.

Justification

Permanent Record

Funding Source

N/A

Prepared By

Susana Marin, TRMC, City Secretary
817-276-4203



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Minutes - Draft

City Council

Monday, May 9, 2022

4:00 PM

Council Chambers

REGULAR MEETING

4:00 P.M. - CALL MEETING TO ORDER

Mayor Evans called the meeting to order at 4:00 p.m.

Absent 1 - Mike Leyman

Present 6 - Larry Brose; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

WORK SESSION

Discussion Regarding a Business Education Center

Dr. Cassandra Bradford introduced and gave a background of the proposed Business Education Center her team would like to bring to Mansfield. Dr. Bradford spoke on the Business Education Center's success tracks, programs, it's offerings, shared what is being asked of the city, and answered questions.

Discussion Regarding Amendments to the Mansfield Code of Ordinances Chapter 33 "Fire Department"

Fire Chief Mike Ross presented the proposed ordinance amendments to Chapter 33 "Fire Department" of the City of Mansfield Code of Ordinances and answered Council questions. Emergency Medical Services Chief Kevin Sandifer and Chief Financial Officer Troy Lestina answered Council questions.

Discussion Regarding Regulatory Compliance Ordinance Revisions

Strategic Initiatives Officer Nicolette Ricciuti presented highlights of the proposed revisions to the regulatory compliance ordinances from the previous City Council meeting and answered Council questions. City Attorney Allen Taylor advised the Council and answered Council questions.

RECESS INTO EXECUTIVE SESSION

In accordance with Texas Government Code, Chapter 551, Mayor Evans recessed the meeting into executive session at 5:11 p.m. Mayor Evans called the executive session to order in the Council Conference Room at 5:22 p.m. Mayor Evans recessed the executive session at 6:45 p.m.

**Pending or Contemplated Litigation or to Seek the Advice of the City Attorney
Pursuant to Section 551.071**

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. 348-270155-14

Seek Advice of City Attorney Regarding Water Provider Agreement

Seek Advice of City Attorney Regarding Issues to be Addressed in a Form Based Zoning System

Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072

Land Acquisition for Future Development

Personnel Matters Pursuant to Section 551.074

Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087

Economic Development Project #22-15

6:30 P.M. – SPRING 2022 INTERNSHIP CLASS RECEPTION WITH CITY COUNCIL

City Council met with members of the Spring 2022 Internship Class.

7:00 PM OR IMMEDIATELY FOLLOWING RECEPTION - RECONVENE INTO REGULAR BUSINESS SESSION

Mayor Evans reconvened the meeting into regular business session at 7:04 p.m.

INVOCATION

Reverend Leonard Hornsby of the Bethlehem Baptist Church gave the Invocation.

PLEDGE OF ALLEGIANCE

Council Member Lewis led the Pledge of Allegiance.

TEXAS PLEDGE

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

Mayor Pro Tem Tonore led the Texas Pledge.

PROCLAMATION[22-4669](#) National Correctional Officers and Employees Week

Mayor Evans read and presented the proclamation to members of the Mansfield Police Department.

[22-4670](#) National Police Week

Mayor Evans read and presented the proclamation to members of the Mansfield Police Department.

[22-4671](#) National Water Safety Month

Mayor Evans read and presented the proclamation to members of the Mansfield Regulatory Compliance Department.

RECOGNITION

Recognition of Mansfield High School JROTC

Mayor Evans recognized Mansfield High JROTC leader Sgt. Kinnel and his students for their accomplishments in winning various trophies.

Recognition of Spring 2022 Internship Class

Nicolette Ricciuti introduced all Spring 2022 City interns and recognized them for completing their internship and the hard work they provided the city.

CITIZEN COMMENTS

Houston Mitchell, 605 St. Eric - Mr. Mitchell spoke on the City of Mansfield Bond Election and the Mansfield Independent School District General and Special Election, voter turnout, and social media.

Gary Cardinale, 5 Velvet Court - Mr. Cardinale complimented City staff and spoke on the Bond Election propositions.

COUNCIL ANNOUNCEMENTS

Council Member Leyman was absent.

Council Member Short read a passage from a speech by Theodore Roosevelt titled "The Man in the Arena".

Council Member Lewis had no announcements.

Mayor Pro Tem Tonore had no announcements.

Council Member Bounds spoke on her grandson's mock trial competition.

Council Member Broseh noted that he appreciated all who voted in the May 7, 2022 election.

Mayor Evans thanked those who voted, the Bond Election Steering Committee, and City staff, and spoke on True North.

STAFF COMMENTS

City Manager Report or Authorized Representative

Current/Future Agenda Items

There were no staff comments.

[22-4644](#)

Departmental Quarterly Reports

Staff was available for questions.

TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION

No action was taken.

CONSENT AGENDA

[22-4636](#)

Ordinance - An Ordinance of the City of Mansfield, Texas Amending Chapter 158, "Standards, Registration, and Inspection Requirements for Multi-Family Dwelling Complexes," of Title Xv, "Land Usage," of the Code of Mansfield, Texas; Providing that this Ordinance shall be Cumulative of all Ordinances; Providing a Severability Clause; Providing a Penalty for Violation; Providing a Savings Clause; Providing for Publication as Required by Law; and Providing an Effective Date.

A motion was made by Council Member Short to approve the first and final reading of the following ordinance:

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS AMENDING CHAPTER 158, "STANDARDS, REGISTRATION, AND INSPECTION REQUIREMENTS FOR MULTI-FAMILY DWELLING COMPLEXES," OF TITLE XV, "LAND USAGE," OF THE CODE OF MANSFIELD, TEXAS; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATION; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION AS REQUIRED BY LAW; AND PROVIDING AN EFFECTIVE DATE

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: OR-2251-22

[22-4637](#)

Ordinance - An Ordinance of the City of Mansfield, Texas Amending Sections of Chapter 92, "Health And Sanitation," Regarding Public Swimming Pools and Spas by Correctly Naming and Identifying Current Regulatory Authority; Adding and Amending Definitions; Amending Regulations Regarding Permits, Review of Plans, Inspections, and Requirements; Providing that this Ordinance shall be Cumulative of all Ordinances; Providing a Severability Clause; Providing a Penalty for Violation; Providing for Publication as Required by Law; And Providing an Effective Date

A motion was made by Council Member Short to approve the first and final reading of the following ordinance:

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS AMENDING SECTIONS OF CHAPTER 92, "HEALTH AND SANITATION," REGARDING PUBLIC SWIMMING POOLS AND SPAS BY CORRECTLY NAMING AND IDENTIFYING CURRENT REGULATORY AUTHORITY; ADDING AND AMENDING DEFINITIONS; AMENDING REGULATIONS REGARDING PERMITS, REVIEW OF PLANS, INSPECTIONS, AND REQUIREMENTS; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATION; PROVIDING FOR PUBLICATION AS REQUIRED BY LAW; AND PROVIDING AN EFFECTIVE DATE

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: OR-2252-22

[22-4638](#)

Ordinance - An Ordinance of the City of Mansfield, Texas Amending Subchapter "Child Care Facilities" of Chapter 110, "General Provisions," of Title Xi, "Business Regulations," of the Code of Mansfield, Texas, by Amending Sections 110.25 through 110.35 Regarding Minimum Standards, Definitions, Permit Requirements, Exceptions, Applications, Fees, Inspections, Suspension, Revocation, Enforcement, and

Operations; Providing that this Ordinance shall be Cumulative of all Ordinances; Providing a Severability Clause; Providing a Penalty for Violation; Providing a Savings Clause; Providing for the Publication as Required by Law; And Providing an Effective Date

A motion was made by Council Member Short to approve the first and final reading of the following ordinance:

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS AMENDING SUBCHAPTER "CHILD CARE FACILITIES" OF CHAPTER 110, "GENERAL PROVISIONS," OF TITLE XI, "BUSINESS REGULATIONS," OF THE CODE OF MANSFIELD, TEXAS, BY AMENDING SECTIONS 110.25 THROUGH 110.35 REGARDING MINIMUM STANDARDS, DEFINITIONS, PERMIT REQUIREMENTS, EXCEPTIONS, APPLICATIONS, FEES, INSPECTIONS, SUSPENSION, REVOCATION, AND ENFORCEMENT, AND OPERATIONS; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATION; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR THE PUBLICATION AS REQUIRED BY LAW; AND PROVIDING AN EFFECTIVE DATE

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: OR-2253-22

[22-4661](#)

Ordinance - An Ordinance Amending Chapter 33, "Fire Department" of the Code of Ordinances of the City of Mansfield, Texas by Amending Sections 33.35, "Provision for Emergency Ambulance Services", 33.36 "Fees for Ambulance Service," 33.37 "Service Boundaries," and 33.38 "Service Area Defined" to Allow City Manager to Delegate Rulemaking Authority Regarding Ambulances, Allow More Streamlined Updating of Service Fees, Provision of Services in Areas Outside City Limits, and Allowing Emergency Medical Facility on Scene of an Injury to Determine Appropriate Emergency Medical Facilities for Transport; Providing a Cumulative Clause; Providing a Severability Clause; Providing a Penalty Clause; Providing for Publication; and Providing an Effective Date

A motion was made by Council Member Short to approve the first and final reading of the following ordinance:

AN ORDINANCE AMENDING CHAPTER 33, "FIRE DEPARTMENT" OF THE CODE OF ORDINANCES OF THE CITY OF MANSFIELD, TEXAS BY AMENDING SECTIONS 33.35, "PROVISION FOR EMERGENCY AMBULANCE SERVICES",

33.36 "FEES FOR AMBULANCE SERVICE," 33.37 "SERVICE BOUNDARIES," AND 33.38 "SERVICE AREA DEFINED" TO ALLOW CITY MANAGER TO DELEGATE RULEMAKING AUTHORITY REGARDING AMBULANCES, ALLOW MORE STREAMLINED UPDATING OF SERVICE FEES, PROVISION OF SERVICES IN AREAS OUTSIDE CITY LIMITS, AND ALLOWING EMERGENCY MEDICAL FACILITY ON SCENE OF AN INJURY TO DETERMINE APPROPRIATE EMERGENCY MEDICAL FACILITIES FOR TRANSPORT; PROVIDING A CUMULATIVE CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY CLAUSE; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: OR-2254-22

[22-4664](#)

Resolution - A Resolution Authorizing Funding in an Amount Not to Exceed \$392,324.00 and Approval of Contracts, Including Design Services with Freese & Nichols, Inc. to Prepare the Main Street to Broad Street 16-Inch Water Line for Public Bidding and Construction (Utility Fund)

A motion was made by Council Member Short to approve the following resolution:

A RESOLUTION AUTHORIZING FUNDING IN AN AMOUNT NOT TO EXCEED \$392,324.00 AND APPROVAL OF CONTRACTS, INCLUDING DESIGN SERVICES WITH FREESE & NICHOLS, INC., TO PREPARE THE MAIN STREET TO BROAD STREET 16-INCH WATER LINE FOR PUBLIC BIDDING AND CONSTRUCTION (UTILITY FUND)

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: RE-3856-22

[22-4666](#)

Resolution - A Resolution of the City Council of the City of Mansfield, Texas Expressing the Intent to Finance Capital Expenditures with the Proceeds of Future Debt Obligations for the Purpose of Funding Public Improvements and the Acquisition of Computer Equipment and Software

A motion was made by Council Member Short to approve the following resolution:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS EXPRESSING THE INTENT TO FINANCE CAPITAL EXPENDITURES WITH THE PROCEEDS OF FUTURE DEBT OBLIGATIONS FOR THE PURPOSE OF FUNDING PUBLIC IMPROVEMENTS AND THE ACQUISITION OF COMPUTER EQUIPMENT AND SOFTWARE

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: RE-3857-22

[22-4667](#)

Resolution - A Resolution to Consider Approving a BuyBoard Contract With Library Interiors of Texas, LLC of Lakeway, Texas in the Amount of \$82,921.00 for the Moving Services, Configuration and Installation of Library Shelves and Library Materials for Mansfield Public Library

A motion was made by Council Member Short to approve the following resolution:

A RESOLUTION TO CONSIDER APPROVING A BUYBOARD CONTRACT WITH LIBRARY INTERIORS OF TEXAS, LLS OF LAKEWAY, TEXAS IN THE AMOUNT OF \$82,921.00 FOR THE MOVING SERVICES, CONFIGURATION AND INSTALLATION OF LIBRARY SHELVES AND LIBRARY MATERIALS FOR THE MANSFIELD PUBLIC LIBRARY

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: RE-3858-22

[22-4663](#)

Request for Special Event Permit: Shivers Snow Cones

A motion was made by Council Member Short to approve the Special Event Permit. Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

[22-4656](#)

Minutes - Approval of the April 25, 2022 Regular City Council Meeting Minutes

A motion was made by Council Member Short to approve the minutes of the April 25, 2022 Regular City Council Meeting as presented. Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

END OF CONSENT AGENDA

PUBLIC HEARING

[22-4660](#)

Ordinance - Public Hearing and Final Reading of an Ordinance Amendment of Section 155.012, of the Mansfield Code of Ordinances Regarding Definitions for Articulation, Façade and Porch (OA 22-001)

Assistant Director of Planning Arty Wheaton-Rodriguez presented the item and answered Council questions.

Mayor Evans opened the public hearing at 7:58 p.m. With no one wishing to speak, Mayor Evans closed the public hearing at 7:58 p.m.

A motion was made by Council Member Short to approve the first and final reading of the following ordinance:

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS AMENDING CHAPTER 155, ZONING, BY ADDING A NEW DEFINITION FOR ARTICULATION, FAÇADE AND PORCH IN SECTION 155.012; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING

A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Mayor Pro Tem Tonore. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: OR-2255-22

[22-4662](#)

Ordinance - Public Hearing and Final Reading of Ordinance Amendments of Chapter 155 of the Mansfield Code of Ordinances Defining the Term Donation Box in Section 155.012; Amending the Permitted Use Table in Subsection 155.054(B) to Require a Specific Use Permit in the C-3 and I-1 Districts for Donation Boxes and to Allow Donation Boxes as a Permitted Use in the I-2 District; Establishing Special Conditions for Donation Boxes in Section 155.099; Establishing a Permit System for Donation Boxes; and Establishing a Fee for Donation Box Permits (OA 22-002)

Arty Wheaton-Rodriguez presented the item and answered Council questions. Director of Planning Jason Alexander answered Council questions.

Mayor Evans opened the public hearing at 8:06 p.m. With no one wishing to speak, Mayor Evans closed the public hearing at 8:06 p.m.

A motion was made by Council Member Short to approve the first and final reading of the following ordinance:

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING CHAPTER 155 OF THE MANSFIELD CODE OF ORDINANCES PERTAINING TO DONATION BOXES; DEFINING THE TERM DONATION BOX IN SECTION 155.012; AMENDING THE PERMITTED USE TABLE IN SUBSECTION 155.054(B) TO REQUIRE A SPECIFIC USE PERMIT IN THE C-3 AND I-1 DISTRICTS FOR DONATION BOXES AND TO ALLOW DONATION BOXES AS A PERMITTED USE IN THE I-2 DISTRICT; ESTABLISHING SPECIAL CONDITIONS FOR DONATION BOXES IN SECTION 155.099; ESTABLISHING A PERMIT SYSTEM FOR DONATION BOXES; ESTABLISHING A FEE FOR DONATION BOX PERMITS; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Council Member Broseh. The motion CARRIED by the following

vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: OR-2256-22

PUBLIC HEARING AND FIRST READING**[22-4659](#)**

Ordinance - Public Hearing Continuation and Second and Final Reading of an Ordinance Approving a Change of Zoning from PR, Pre-Development District to PD, Planned Development District for Single-Family Residential Uses on Approximately 60.92 Acres out of the PB George Survey, Abstract #299, Johnson County, Texas, on Property Located at 1400 Flying L Lane; First Texas Homes, Owner/Developer and JBI Partners, Inc., Engineer (ZC#21-011)

Jason Alexander presented the item. Applicant Jerry Sylo, JBI Partners, presented and answered Council questions.

Mayor Evans opened the public hearing at 8:23 p.m. With no one wishing to speak, Mayor Evans closed the public hearing at 8:23 p.m.

A motion was made by Council Member Broseh to approve the first reading of the following ordinance with the conditions of changing the maximum size of the dwelling units on Type 1 and 2 from 30% to have a minimum dwelling area of 1,800 square feet to 20% and on type 3 lots, change the 30% to 20%, moving 2,200 square foot homes to 2,000 square foot homes:

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING CHAPTER 155 OF THE CODE OF ORDINANCES OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR SINGLE-FAMILY RESIDENTIAL USES, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

Seconded by Council Member Short. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

PUBLIC HEARING CONTINUATION AND SECOND AND FINAL READING

[22-4613](#)

Ordinance - Public Hearing Continuation and Second and Final Reading of an Ordinance Approving a Zoning Change from C-2, Community Business District to PD, Planned Development for Attached Townhome Single-Family and Community Business Commercial on 14.156 acres of land in the Henry McGehee Survey, Abstract No. 998, generally located at the southeast intersection of Debbie Lane and North Walnut Creek Drive on property at 1700 North Walnut Creek Drive; Skorburg Company, Developer (ZC#21-023)

Jason Alexander presented and answered Council questions. Director of Public Works and Transportation Bart VanAmburgh answered Council questions. MISD Associate Superintendent of Facilities & Bond Programs Jeff Brogden answered Council questions.

Mayor Evans continued the public hearing at 8:39 p.m.

Houston Mitchell, 505 St. Eric - Mr. Mitchell spoke in opposition to the item.

Shauna Friend, 13 Willowstone Ct. - Ms. Friend spoke in opposition to the item.

Brandon Frizzell, 2301 Eric Ln. - Mr. Frizzell did not speak, but noted his opposition to the item on a comment card.

Mayor Evans recognized the following citizens who submitted emails in opposition to the item:

*Jeff & Lezley Cull
Barbara Brickley
Honesty Clement
Donna Mitchell
Cheryl Litke
LeLynne Waltman Knight
Shauna Friend & Phillip Worobey*

Mayor Evans closed the public hearing at 8:49 p.m.

City Manager Joe Smolinski made brief comments. Applicant Adam Buczek answered Council questions.

A motion was made by Mayor Pro Tem Tonore to approve the second and final reading of the following ordinance with staff's recommendations:

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR ATTACHED TOWNHOME SINGLE-FAMILY RESIDENTIAL AND COMMUNITY BUSINESS COMMERCIAL USES, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE;

PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Council Member Short. The motion CARRIED by the following vote:

Aye: 4 - Julie Short; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 2 - Larry Broseh and Casey Lewis

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: OR-2257-22

19. **NEW BUSINESS**

[22-4665](#)

Ordinance - An Ordinance of the City of Mansfield, Texas, Amending Title Xi of the Mansfield Code of Ordinances Pertaining to Donation Box Permits; Creating a New Chapter 116 to Establish a Donation Box Permit; Establishing Maintenance Regulations for Donation Boxes; Providing for the Revocation of Such Permits; Providing for Fees Related to Chapter 116; Providing for the Repeal of all Ordinances in Conflict; Providing a Severability Clause; Providing a Penalty of Fine Not to Exceed the Sum of Five Hundred Dollars (\$500.00) for Each Offense; And Providing an Effective Date

Nicolette Ricciuti presented the item and answered Council questions.

A motion was made by Council Member Short to approve the first and final reading of the following ordinance:

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING TITLE XI OF THE MANSFIELD CODE OF ORDINANCES PERTAINING TO DONATION BOX PERMITS; CREATING A NEW CHAPTER 116 TO ESTABLISH A DONATION BOX PERMIT; ESTABLISHING MAINTENANCE REGULATIONS FOR DONATION BOXES; PROVIDING FOR THE REVOCATION OF SUCH PERMITS; PROVIDING FOR FEES RELATED TO CHAPTER 116; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF FIVE HUNDRED DOLLARS (\$500.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

Enactment No: OR-2258-22

[22-4668](#)

Consideration - Consider Approval of a Community Activation Grant Application to be funded through the Community Activation Grant Program

Nicolette Ricciuti presented the item and answered Council questions. Applicant Jason Gilmore answered Council questions.

A motion was made by Council Member Short to approve the Community Activation Grant up to \$12,000.00. Seconded by Mayor Pro Tem Tonore. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

20. ADJOURN

A motion was made by Council Member Broseh to adjourn the meeting at 9:18 p.m. Seconded by Council Member Short. The motion CARRIED by the following vote:

Aye: 6 - Larry Broseh; Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Mike Leyman

Abstain: 0

ATTEST: Michael Evans, Mayor

Susana Marin, City Secretary



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 22-4690

Agenda Date: 5/23/2022

Version: 1

Status: Approval of Minutes

In Control: City Council

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the May 17, 2022 Special City Council Meeting Minutes

Requested Action

Action to be taken by the Council to approve the minutes.

Recommendation

Approval of the minutes by the Council.

Description/History

The minutes of the May 17, 2022 Special City Council Meeting are in DRAFT form and will not become effective until approved by the Council at this meeting.

Justification

Permanent Record

Funding Source

N/A

Prepared By

Susana Marin, TRMC, City Secretary
817-276-4203



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Minutes - Draft

City Council

Tuesday, May 17, 2022

9:00 AM

Council Chambers

SPECIAL MEETING

9:00 A.M. - CALL MEETING TO ORDER

Mayor Evans called the meeting to order at 9:07 a.m.

Absent 3 - Larry Broseh; Todd Tonore and Tamera Bounds

Present 4 - Julie Short; Mike Leyman; Casey Lewis and Michael Evans

INVOCATION

Council Member Lewis gave the Invocation.

PLEDGE OF ALLEGIANCE

Council Member Leyman led the Pledge of Allegiance.

TEXAS PLEDGE

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

Council Member Leyman led the Texas Pledge.

CITIZEN COMMENTS

There were no citizen comments.

COUNCIL ANNOUNCEMENTS

Council Member Leyman stated he serves on the Regional Transportation Council of Governments and he was just appointed to the Bylaw Revision Sub-Committee.

There were no other Council announcements.

STAFF COMMENTS

City Manager Report or Authorized Representative

Current/Future Agenda Items

There were no staff comments.

NEW BUSINESS[22-4682](#)

Resolution - A Resolution of the City Council of the City of Mansfield, Texas, Canvassing Returns and Declaring the Results of a Bond Election Held in the City of Mansfield, Texas May 7, 2022

City Secretary Susana Marin presented the item.

A motion was made by Council Member Short to approve the following resolution:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, CANVASSING RETURNS AND DECLARING THE RESULTS OF A BOND ELECTION HELD IN THE CITY OF MANSFIELD, TEXAS MAY 7, 2022

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Leyman. The motion CARRIED by the following vote.

Aye: 4 - Julie Short;Mike Leyman;Casey Lewis and Michael Evans

Nay: 0

Absent: 3 - Larry Broseh;Todd Tonore and Tamera Bounds

Abstain: 0

Enactment No: RE-3859-22

ADJOURN

A motion was made by Council Member Leyman to adjourn the meeting at 9:13 a.m. Seconded by Council Member Lewis. The motion CARRIED by the following vote:

Aye: 4 - Julie Short;Mike Leyman;Casey Lewis and Michael Evans

Nay: 0

Absent: 3 - Larry Broseh;Todd Tonore and Tamera Bounds

Abstain: 0

ATTEST: Michael Evans, Mayor

Susana Marin, City Secretary



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 22-4581

Agenda Date: 5/23/2022

Version: 2

Status: Second Reading

In Control: City Council

File Type: Ordinance

Title

Ordinance - Public Hearing and First Reading of an Ordinance Approving a Zoning Change from SF-7.5/12 Single-Family Residential District to PD, Planned Development District for Single-Family Residential Uses on Approximately 2.997 Acres Known as Lot 15, Mount Zion Estates, Located at 301 Sayers St.; Michael Thomas of MJ Thomas Engineering, LLC, engineer, on behalf of Christine Panagopoulos of Trinity Habitat for Humanity, owner/developer (ZC#20-021)

Requested Action:

To consider the subject zoning change request.

Recommendation:

The Planning and Zoning Commission held a public hearing on May 16, 2022, and voted 5 to 0 to deny (two members were absent). Commentary and deliberation centered on overall density, lot layout and site constraints, and parking (resident and guest).

Staff recommends approval with the following conditions:

- 1) That the development will be allowed one monument style subdivision sign that adheres to sign standards found in the Zoning Ordinance section 155.090 that and the sign shall be setback a minimum of ten feet from the front property line.
- 2) That all storage of refuse and recyclable collection be visually screened with dense evergreen hedges or other appropriate material, subject to the approval of the Director of Planning.

Description/History

Existing Use: Vacant land

Existing Zoning: SF-7.5/12, Single-Family Residential District

Surrounding Land Use & Zoning:

North - Single-family residential, SF-7.5/12 District.

South - Single-family residential, SF-7.5/12 District.

East - Vacant land, PR, Pre-Development District.

West - Sayers Street; single-family residential (i.e., SF-7.5/12 District) across the street.

Case History

December 21, 2020:

Habitat for Humanity submits a zoning change request application to a Planned

Development for a townhome style project.

February 16, 2021:

The first public hearing for this rezoning request was held. At the time, the development consisted of a townhome style project with 33 dwelling units in 13 buildings. The Planning and Zoning Commission voted 7-0 to continue the public hearing and to table possible action until March 1, 2021. The vote was intended to provide the applicant with a reasonable amount of time to make their presentation in-person, to visit with surrounding property owners, and to present examples of similar developments.

March 1, 2021:

The Planning and Zoning Commission continued the public hearing. There was extensive discussion concerning the proposed project including possible encroachments into the gas pipeline easement; the architecture of the dwellings; the site layout; the development intensity; the location access points and spacing of driveways; the considerations for parking and storage; and the development phasing and maintenance among other considerations. The Planning and Zoning Commission voted 7-0 to table their consideration and possible action until a future meeting so that the applicant could negotiate and secure an agreement with the pipeline operator.

February 21, 2022:

The Planning and Zoning Commission held a continued public hearing on a new site layout and development plan that consisted of 22 detached, alley-served units. After discussion on the merits of the project the Planning and Zoning Commission voted to deny the case, 5-1-1.

March 21, 2022:

City Council remands the case to Planning and Zoning Commission for further consideration and to allow for more public input and to allow adequate and accessible participation in the public planning process.

April 28, 2022:

City Staff invited members of the general public to a forum to receive additional information on current and upcoming projects and to have an opportunity to voice concerns about the Habitat for Humanity (the applicant) ahead of a scheduled public hearing with the Planning and Zoning Commission. At the forum, City Staff and Habitat for Humanity provided the public with updates and renderings that illustrate the inclusion of covered parking with secured storage, addressing a concern previously made on the previously proposed plans.

Synopsis

The requested PD, Planned Development zoning designation is to accommodate a single-family residential development. The development proposes construction of 22 detached single-family units supported by parking, landscaping, sidewalks, and other related amenities. The development, if approved, will yield a gross density of 7.34 dwelling units per acre. Although the proposed development is compatible with the surrounding properties and is consistent with the recommendations found in the Land Use

Plan, opportunities to improve the development and increase community input in its design emerged over time. Habitat for Humanity has made significant strides to address community input and elevate urban design, landscape, and other architectural considerations. Staff recommended approval with conditions at the public hearing held by the Planning and Zoning Commission on February 21, 2022. The Planning and Zoning Commission recommended denial of the zoning request. Staff recommended that the City Council give consideration to remanding the request to the Planning and Zoning Commission for further review on March 21, 2022. Staff recommends approval of the project.

Staff Analysis

The subject property consists of 2.997 acres of vacant land. The applicant is requesting to rezone the property from SF-7.5/12, Single-Family Residential District to PD, Planned Development District for single-family residential uses.

Development Plan and Regulations

The applicant proposes to develop a single-family residential neighborhood with 22 dwelling units-resulting a gross density of 7.34 dwelling units per acre. Each dwelling unit will be constructed on an individual lot; and the lots will be served by a common access driveway and alley system serving surface parking. The development is designed in a manner such that the front façade of the homes either face Sayers Street or open space areas. The parking for the dwellings will be located in the rear, and accessed by a system of alleys and driveways. Additional parking and a landscaped area will be generally located in the central portion of the development, while detention will be located in the northeast. The applicant intends for all units to be owner-occupied. All property outside of the individual residential lots will be under common ownership and will be maintained by a homeowners' association, which will also maintain all alleys, driveways, parking spaces, sidewalks, landscaping, fencing, and amenities. The applicant further intends that waste collection and disposal service will be handled by trash carts; and that the carts will be stored in a series of fenced trash bin corrals off the alleys.

The residential lots will vary in size from 2,356 to 4,093 square feet. The lots will range in width from 31 to 36 feet and will range in depth from 76 to 94 feet. Each lot will have a minimum front yard setback of 20 feet and a minimum rear yard setback of 20 feet. Most lots will also have a minimum side yard setback of five (5) feet on each side, except that lots adjacent to the pipeline easement will have no setback adjacent to the easement. Finally, the minimum dwelling area will be 1,050 square feet, and the maximum building height is a little less than 20 feet.

A gas pipeline runs along the east and south property lines and the development has been redesigned not to encroach into the easement, except for permitted fencing. If consent is not granted to install fencing over the easements, then the rear yards of Lots 18, 19, 20, and 21 will need to be appropriately reduced.

Access, Circulation, Parking, and Other Considerations

The development will be served by one common access point off Sayers Street. The common access driveway includes alley service to most of the lots, as well as a

cul-de-sac like turnaround in the center of the development. Most of the units will include two (2) dedicated parking spaces in the rear of each lot, except for Lots 18, 19, 20, and 21, which will be served by shared parking spaces that are located in the front or side of the lots. A total of 65 parking spaces will be provided; which consists of two (2) parking spaces for each dwelling and 21 parking spaces for visitors. To address a concern that was brought up during public hearings, many of the residential units have a carport and secured storage area. A network of sidewalks will ensure pedestrian access to the front of each home, the shared parking spaces, and a new sidewalk along Sayers Street.

Dedicated parking spaces for most of the units will generally be located to the rear of the units, and consideration was given towards the appropriate visual screening of them (e.g., carports, garages, and storage compartments). If carports, garages, and storage areas are provided, it is important for Habitat for Humanity to ensure that their architecture, design, and scale are compatible and visually harmonious with the unit they intend to serve

Elevations and Perspectives

The applicant has provided elevations for the units. As proposed --- and shown --- the primary exterior finish for the units will be cementitious fiber board. Brick and cedar shake are intended to be used as accent materials. A front porch or covered entryway will be provided for each dwelling; and each unit will have a covered rear porch. Roof pitched will range from 4:12 to 8:12.

Landscaping and Screening

A landscape plan, showing the preservation of over 60 existing trees, has been provided. The majority of the preserved trees are located in the northern portion of the property (around the detention area) and along the east boundary of the property. In addition, several new trees will be planted throughout the development, particularly in common areas, in front of each residence, along Sayers Street, and along the main driveway that goes through the center of the development. Finally, shrubs will line the main driveway and foundation plantings will accent the front of each home. Each residential lot is also planned to be fenced and the trash cart corrals will also be screened.

Signage

The applicant has noted on the Development Plan that all signage will follow the typical standards applicable to the MF-1, Multi-Family Residential District. A monument sign is shown near the entrance to the development; and its location must be adjusted to ensure compliance with the required ten (10) setback.

Land Use Plan

The subject property is located in Sub-Area 2 of the City's Official Land Use Plan. The Land Use Plan encourages the provision of housing opportunities for those who wish to age in place as well as more intense residential products on lots that are smaller and narrower. In addition, the Land Use Plan calls for preserving heavily wooded areas to provide natural buffers and protect wildlife habitats.

Summary

The proposed development, if approved, will provide for residential infill. The proposed development generally adheres to the vision and goals set forth in the Land Use Plan while providing for single-family housing that is compatible with the area. In addition, the development will provide for the preservation of existing trees in the northern and eastern portions of the property, provides for a natural buffer around the perimeter of the property, avoids encroachment of the pipeline easement, and provides for additional landscaping, sidewalks, parking, fencing, and alleys to serve the development. Furthermore, any new signage will comply with the typical requirements for MF-1, Multi-family Residential District zoning. The development has provided additional elevations and renderings of carport spaces with secured storage area for most of the residential units, specifically all units with rear accessed parking.

Staff recommends approval.

Prepared By:

Arty Wheaton-Rodriguez
Assistant Director Planning
817-276-4245

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR SINGLE-FAMILY RESIDENTIAL USES, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new zoning district classification of PD, Planned Development; said property being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2.

That the use and development of the hereinabove described property shall be in accordance with the development plan shown on Exhibits "B – D" attached hereto and made a part hereof for all purposes.

SECTION 3.

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4.

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6.

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7.

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

FIRST READING APPROVED ON THE 23RD DAY OF MAY, 2022.

DULY PASSED ON THE SECOND AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 13TH DAY OF JUNE, 2022.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Allen Taylor, City Attorney

EXHIBIT A
ZC#20-021

Being Lot 15, Mount Zion Estates, an addition to Tarrant County, Texas according to the plat recorded in Volume 388-11, Page 134, Plat Records, Tarrant County, Texas.

LEGEND

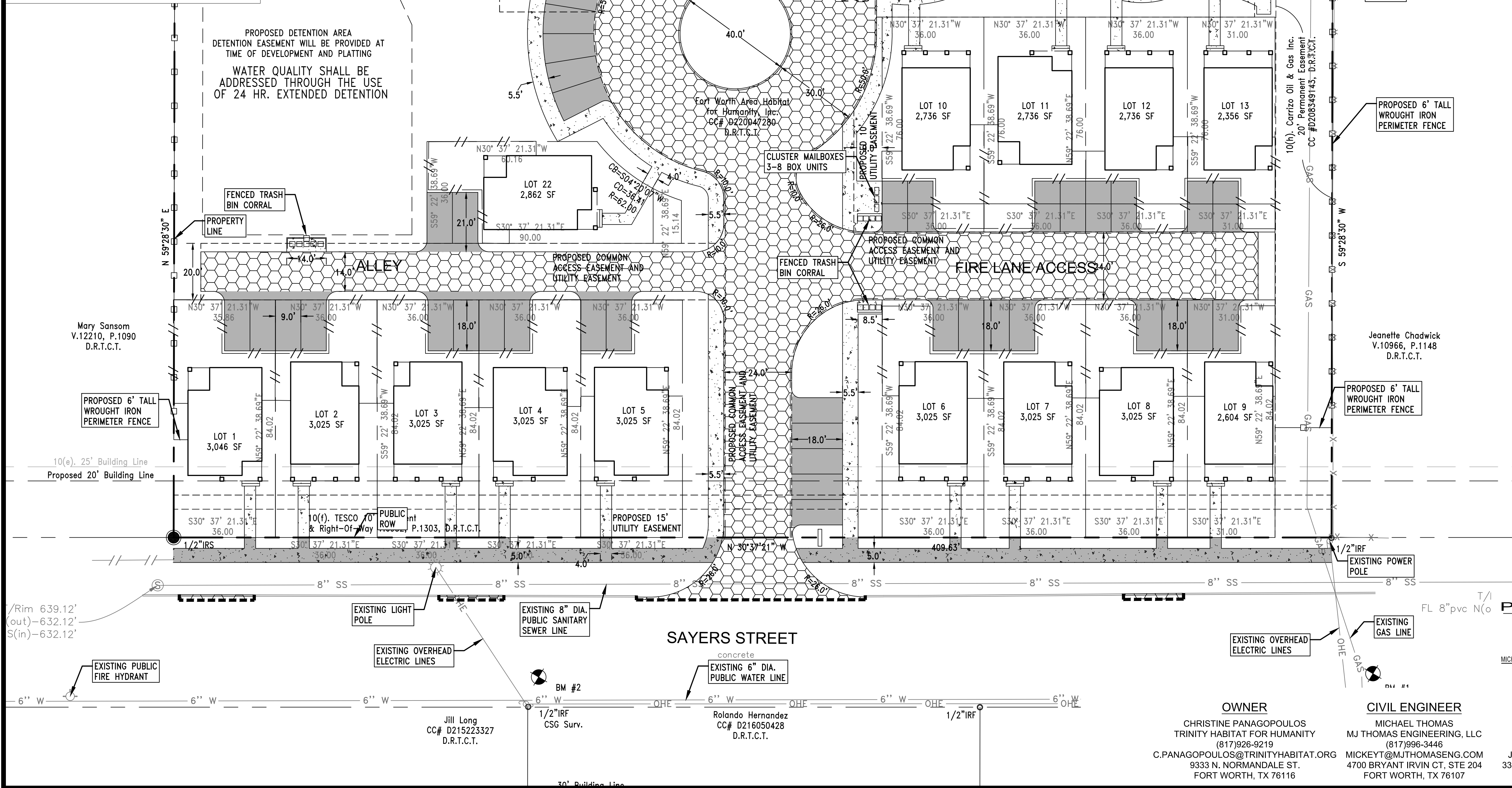
EXISTING ASPHALT PAVEMENT
PROPERTY LINES
CENTERLINE OF ROAD
SAWCUT/EASEMENT
EXISTING GAS LINE
OHE OHE EXISTING OVERHEAD ELECTRIC LINES
UGE UGE EXISTING UNDERGROUND ELECTRIC LINES
CATV CATV EXISTING CABLE/TELEVISION LINES
F/O F/O EXISTING FIBER-OPTIC LINES
T T EXISTING TELEPHONE LINES
SS SS EXISTING SANITARY SEWER LINES
W W EXISTING WATER LINES
X X X X BARBED-WIRE FENCE
CHAIN-LINK FENCE
[E] [E] [E] ELECTRIC FENCE
4' TALL BLACK ORNAMENTAL ALUMINUM FENCING
6' TALL WROUGHT IRON FENCE AND AS APPLICABLY NOTED
STORM SEWER PIPE (OUTSIDE PIPE DIA. SHOWN)

EXISTING FEATURES

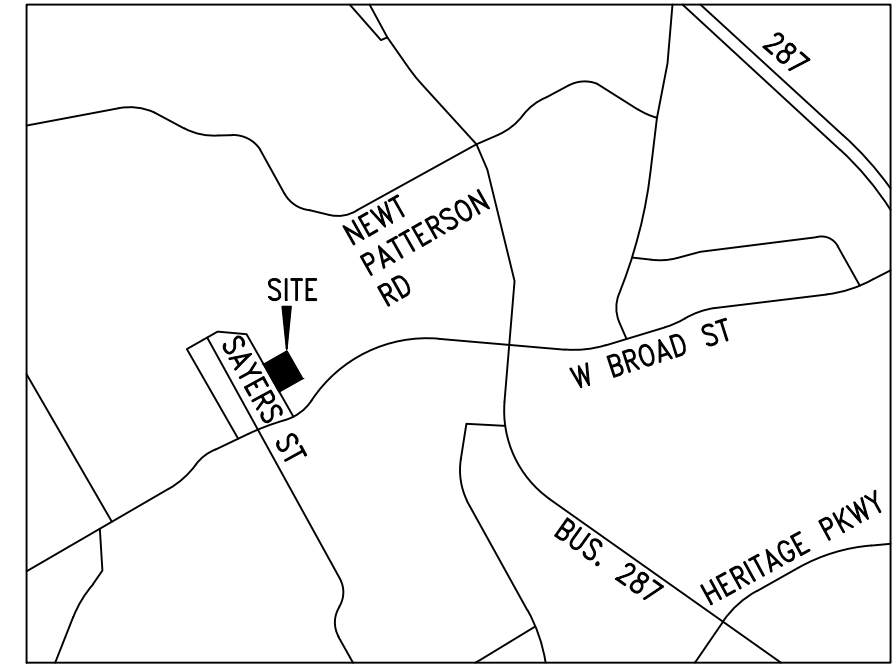
FIRE HYDRANT
WATER VALVE
GAS METER
WATER METER
TELEPHONE RISER
POWER POLE
MAIL BOX
IRON PIN
TRAVERSE POINT
SIGN
FENCE CORNER
LIGHT POLE
GUY WIRE ANCHOR
TREE

PROPOSED FEATURES

FIRE HYDRANT
WATER VALVE
FIRE RISER
PLUG
WATER METER
IRRIGATION METER
DETECTOR CHECK
CURB INLET
GRATE INLET
STORM SEWER MANHOLE
SANITARY SEWER MANHOLE
BUSH
TRANSMISSION TOWER



Site Summary Table	
Acreage:	2.997 Ac
Proposed Land Use:	Residential (Single Family)
Units:	
Total Dwelling Units:	22
Building Height:	19' 8"
Density:	7.34 Units/Ac
Min. Dwelling Area:	1,050 sq.ft.
Building Setbacks:	
Minimum Front Yard:	20 ft
Minimum Rear Yard:	20 ft
Minimum Side Yard:	5 ft
Lots 9, 13, & 17 Side Yard (due to pipeline easement):	0 ft
Landscape Buffers:	
Front:	20 ft
Rear:	5 ft
Sides:	5 ft
Parking (2 Spaces/Unit):	
Total:	44 Required
Surface Parking:	
Typ. Parking:	65
ADA Parking:	62



PAVING LEGEND	
	PRIVATE CONCRETE SIDEWALK
	PUBLIC CONCRETE SIDEWALK
	PARKING STALLS
	DRIVE AISLES AND FIRE LANE

- NOTES:
- SEE PAVING DETAILS FOR TYPICAL PAVING SECTIONS
- THIS DEVELOPMENT WILL BE DEVELOPED IN ONE PHASE.
 - ALL STREETS, PARKING AREAS, AND DRIVEWAYS WILL BE CONCRETE PAVEMENT CONSTRUCTED TO MEET CITY OF MANSFIELD STANDARD DRAWINGS AND SPECIFICATIONS.
 - ALL UNITS WILL BE OWNER-OCCUPIED, WHEREBY THE OCCUPANT OWNS THE BUILDING FOOTPRINT.
 - RENTING THE PREMISES IS NOT ALLOWED. THIS REQUIREMENT WILL BE INCORPORATED INTO THE OWNER'S ASSOCIATION COVENANTS.
 - THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS OR ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
 - NO OUTSIDE STORAGE OR OUTSIDE OPERATIONS OF ANY KIND SHALL BE PERMITTED.
 - NO BOATS, MOTOR HOMES, TRAILERS, RECREATIONAL VEHICLES, TOWED TRAILERS, OR SIMILAR VEHICULAR EQUIPMENT SHALL BE PARKED OR STORED ON THE PROPERTY. THIS REQUIREMENT SHALL ALSO BE INCORPORATED INTO THE DEVELOPMENT COVENANTS AND EACH RENTAL CONTRACT.
 - ALL SERVICE AREAS AND MECHANICAL EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH CHAPTER 155.093 OF THE CITY'S CODE OF ORDINANCES.
 - ALL TRASH ENCLOSURES WILL BE SCREENED IN ACCORDANCE WITH CHAPTER 155.093 OF THE CITY'S CODE OF ORDINANCES.
 - ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.
 - SUFFICIENT LIGHTING SHALL BE INSTALLED AT ALL DRIVEWAY ENTRANCES FROM PUBLIC STREETS, DRIVEWAY INTERSECTIONS, PARKING LOTS AND THROUGHOUT THE DEVELOPMENT PER THE ILLUMINATION ENGINEERING SOCIETY'S STANDARDS ON ILLUMINANCE LEVELS FOR SAFETY. ALL LIGHTING SHALL BE SHIELDED DOWNWARD TO ELIMINATE GLARE AND NO LIGHTING SHALL BE ALLOWED TO TRESPASS ONTO SURROUNDING PROPERTIES.
 - ALL SIGNAGE WILL ADHERE TO THE ZONING CRITERIA OUTLINED IN MF-1 STANDARDS WITHIN THE ZONING ORDINANCE.
 - NO STRUCTURE, LANDSCAPING, OR ANY OTHER IMPROVEMENT CAN BE PLACED IN THE GAS PIPELINE EASEMENT EXCEPT FOR ORNAMENTAL, SEE-THROUGH FENCING
 - INDIVIDUAL LOT FENCING TO BE PROVIDED BY THE HOMEOWNER AND MEET THE REQUIREMENTS OF THE HOA (4 FT. HIGH BLACK ORNAMENTAL ALUMINUM FENCE)

LOTS 6-12 SHALL ALLOW GAS LINE OPERATOR ACCESS TO INSPECT AND MAINTAIN EXISTING GAS LINE AS REQUIRED. ANY DAMAGE TO EXISTING FENCE SHALL BE REPLACED AT HOMEOWNER ASSOCIATION'S COST

HOMEOWNERS ASSOCIATION NOTES:

- OWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SCREENING FENCES, DRIVEWAYS, PARKING LOTS, SIDEWALKS, COMMON AREAS, AMENITY CENTERS, LANDSCAPING, HARDCAPE IMPROVEMENTS, PAVILIONS, WALKING PATHS, AND PAVEMENT IMPROVEMENTS CONTAINED WITHIN THE COMMON ACCESS EASEMENTS.
- THE OWNER'S ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF SIXTY (60) DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE DEVELOPMENT OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T.
2.997 ACRES

HABITAT FOR HUMANITY
SAYERS LANDING
301 SAYERS ST
MANSFIELD, TEXAS 76063

C1.00
DEVELOPMENT PLAN

XC#20-021
Exhibit B

OWNER
CHRISTINE PANAGOPOULOS
TRINITY HABITAT FOR HUMANITY
(817)926-9219
C.PANAGOPOULOS@TRINITYHABITAT.ORG
9333 N. NORMANDELE ST.
FORT WORTH, TX 76116

CIVIL ENGINEER
MICHAEL THOMAS
MJ THOMAS ENGINEERING, LLC
(817)996-3446
MICKEYT@MJTHOMASENG.COM
4700 BRYANT IRVIN CT, STE 204
FORT WORTH, TX 76107

ARCHITECT
JAMES LAWRENCE
GFF ARCHITECTS
(817)303-1500 EXT. 304
JAMES.LAWRENCE@GFF.COM
3300 WEST 7TH STREET, STE 110
FORT WORTH, TX 76107

PRELIMINARY
FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR DESIGN REVIEW
AND NOT INTENDED FOR CONSTRUCTION.
BIDDING, OR PERMIT PURPOSES, THEY WERE
PREPARED BY, OR UNDER SUPERVISION OF:
MICHAEL A. THOMAS 93840 02-15-2022
PE NO. DATE

6FT METAL PERIMETER FENCE

EXISTING TREES TO REMAIN
COMMON GREEN / DENTENTION

6FT METAL PERIMETER FENCE

Mary Sansom
V.12210, P.1090
D.R.T.C.T.

SAYERS STREET
180' - 0"

MONUMENT SIGN -
6'L X 4'H

Jeanette Chadwick
V.10966, P.1148
D.R.T.C.T.

6FT METAL PERIMETER FENCE

HOMEOWNERS ASSOCIATION NOTES:

- OWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SCREENING FENCES, DRIVEWAYS, PARKING LOTS, SIDEWALKS, COMMON AREAS, AMENITY CENTERS, LANDSCAPING, HARDSCAPE IMPROVEMENTS, PAVILIONS, AND WALKING PATHS
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LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T.
2.997 ACRES

**HABITAT FOR HUMANITY
MANSFIELD COTTAGES**

301 SAYERS STREET
MANSFIELD, TEXAS

ZONING	
ZONING	PD
USE	SINGLE FAMILY
OVERALL LOT AREA	130,550 SF / 2.997 AC
SINGLE LOT SIZE (MIN.)	36' X 76'
SINGLE LOT AREA (MIN.)	2,500 SF
BUILDING HEIGHT (STORIES)	2 STORIES
BUILDING HEIGHT (FEET)	19 FEET 8 INCHES
DWELLING AREA (MIN. SF)	1,050 SF (PER DWELLING)
DWELLING UNITS	22 UNITS
DENSITY	7.34 UNITS / AC
PARKING	
REQUIRED PARKING	2 SPACES PER UNIT
TOTAL REQUIRED	44
PARKING PROVIDED	
OFF-STREET SPACES	11 SPACES
ON-STREET SPACES	0 SPACES
	44 PRIVATE SPACES
	55 SPACES TOTAL

SITE DATA

12" = 1'-0"

OWNER

CHRISTINE PANAGOPOULOS
TRINITY HABITAT FOR HUMANITY
(817) 926-9219
C.PANAGOPOULOS@TRINITYHABITAT.ORG
9333 N. NORMANDEALE ST.
FORT WORTH, TX 76116

CIVIL ENGINEER

MICHAEL THOMAS
MJ THOMAS ENGINEERING, LLC
(817) 996-3446
MICKEYT@MJTHOMASENG.COM
4700 BRYANT IRVIN CT, STE 204
FORT WORTH, TX 76107

ARCHITECT

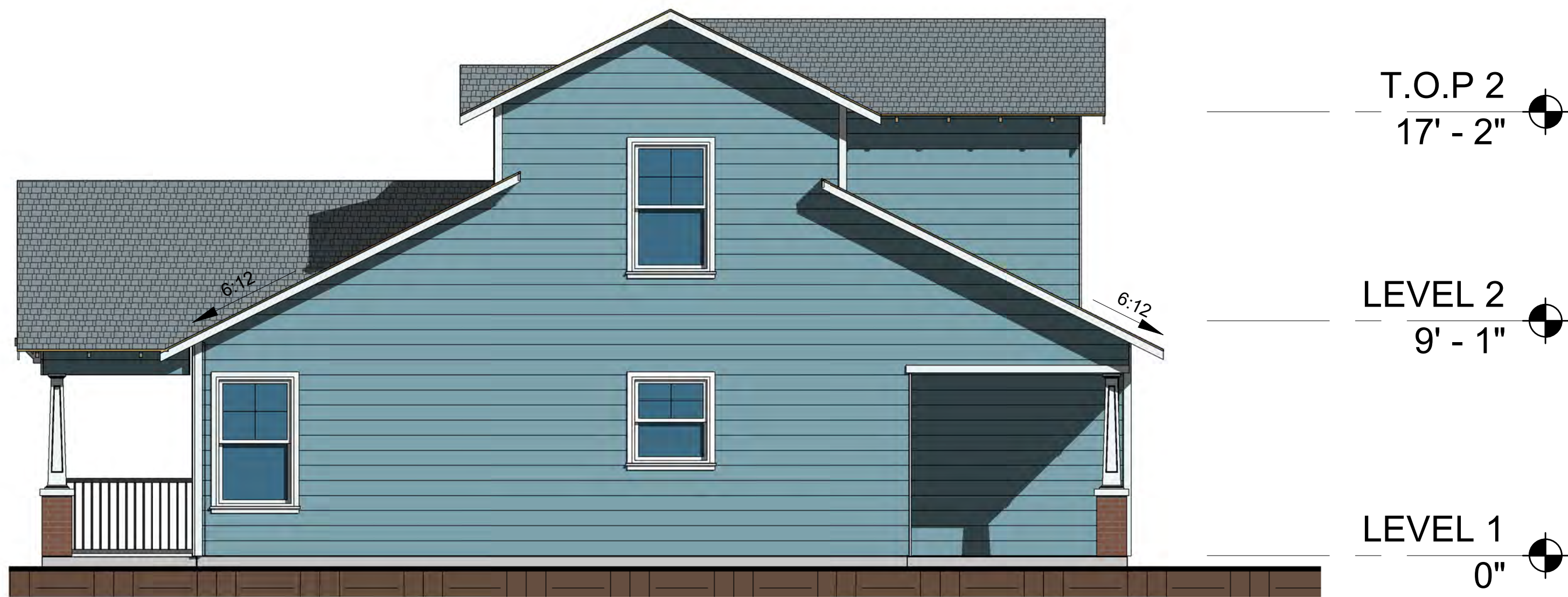
JAMES LAWRENCE
GFF ARCHITECTS
(817) 303-1500 EXT. 304
JAMES.LAWRENCE@GFF.COM
3300 WEST 7TH STREET, STE 110
FORT WORTH, TX 76107

EXHIBIT C CONCEPT SITE PLAN

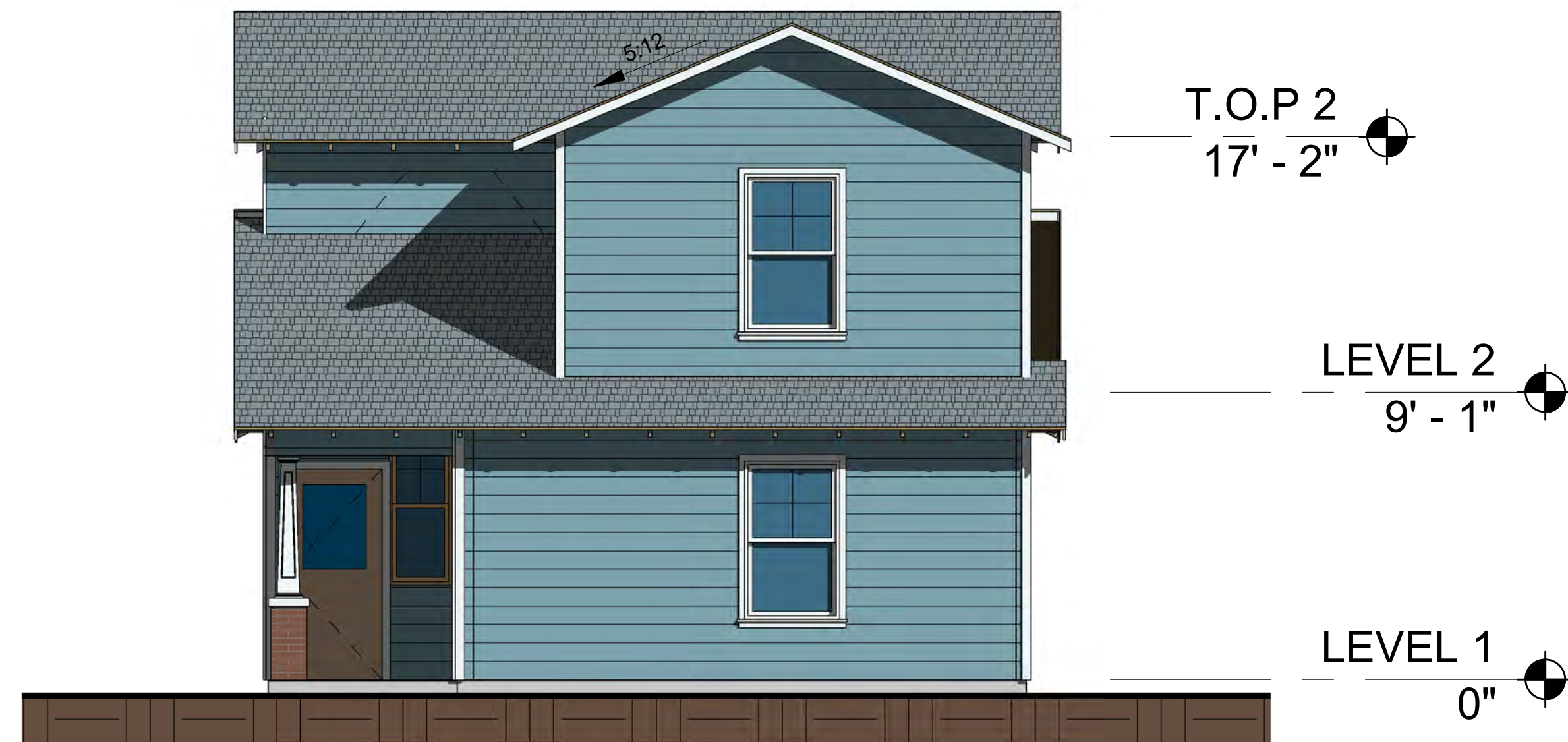
ZC#20-021
EXHIBIT C



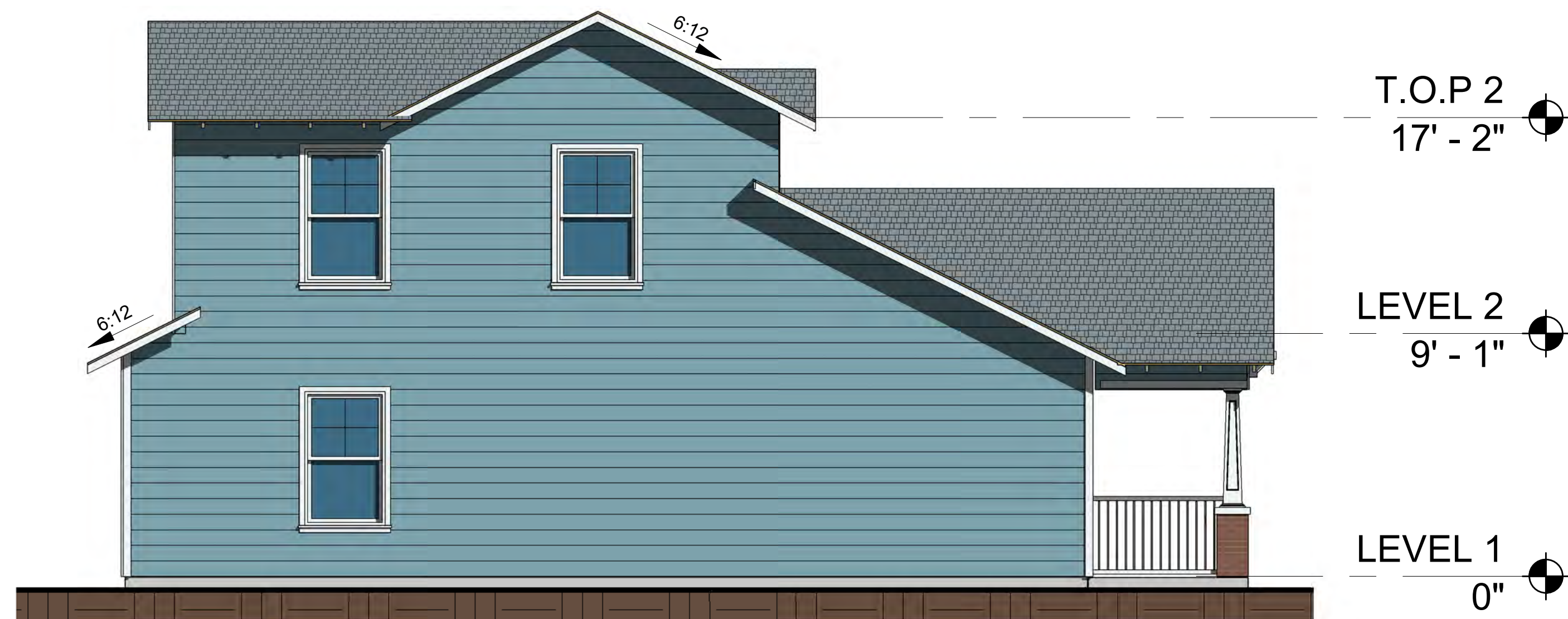
3/15/2021
Job #: 21301



4 RIGHT ELEVATION
1/8" = 1'-0"



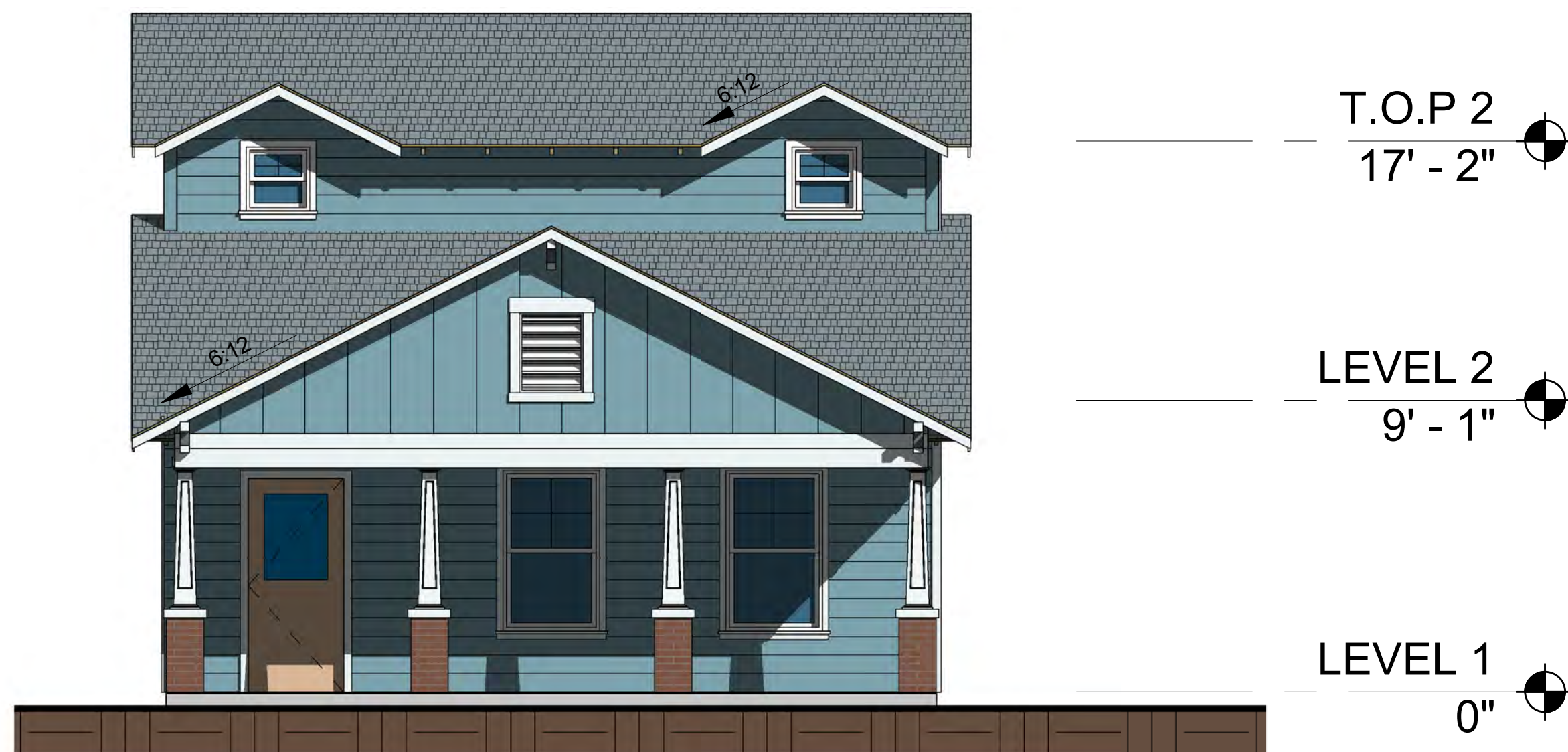
2 REAR ELEVATION
1/8" = 1'-0"



3 LEFT ELEVATION
1/8" = 1'-0"



02/03/2021
Job #: 21301



1 FRONT ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
	BRICK, COLOR TBD
	ASPHALT SHINGLES, COLOR TBD
	FIBER CEMENT TRIM, COLOR TBD
	FIBER CEMENT SIDING, COLOR TBD

LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T
2.997 ACRES

HABITAT FOR HUMANITY
3/2 (1,240 sf)
Mansfield, Texas

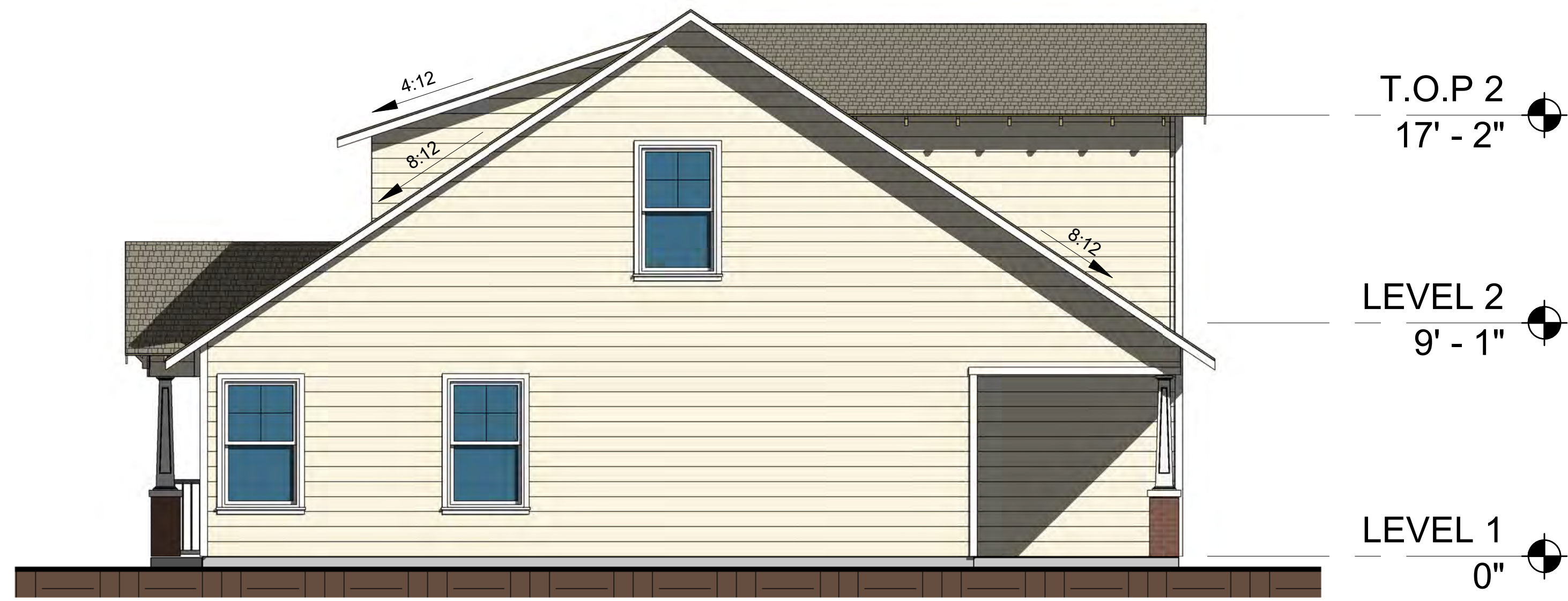
EXHIBIT C1
ELEVATIONS

ZC#20-021

OWNER
CHRISTINE PANAGOPOULOS
TRINITY HABITAT FOR HUMANITY
(817)926-9219
C.PANAGOPOULOS@TRINITYHABITAT.ORG
9333 N. NORMANDELE ST.
FORT WORTH, TX 76116

CIVIL ENGINEER
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MJ THOMAS ENGINEERING, LLC
(817)996-3446
MICKEYT@MUTHOMASENG.COM
4700 BRYANT IRVIN CT, STE 204
FORT WORTH, TX 76107

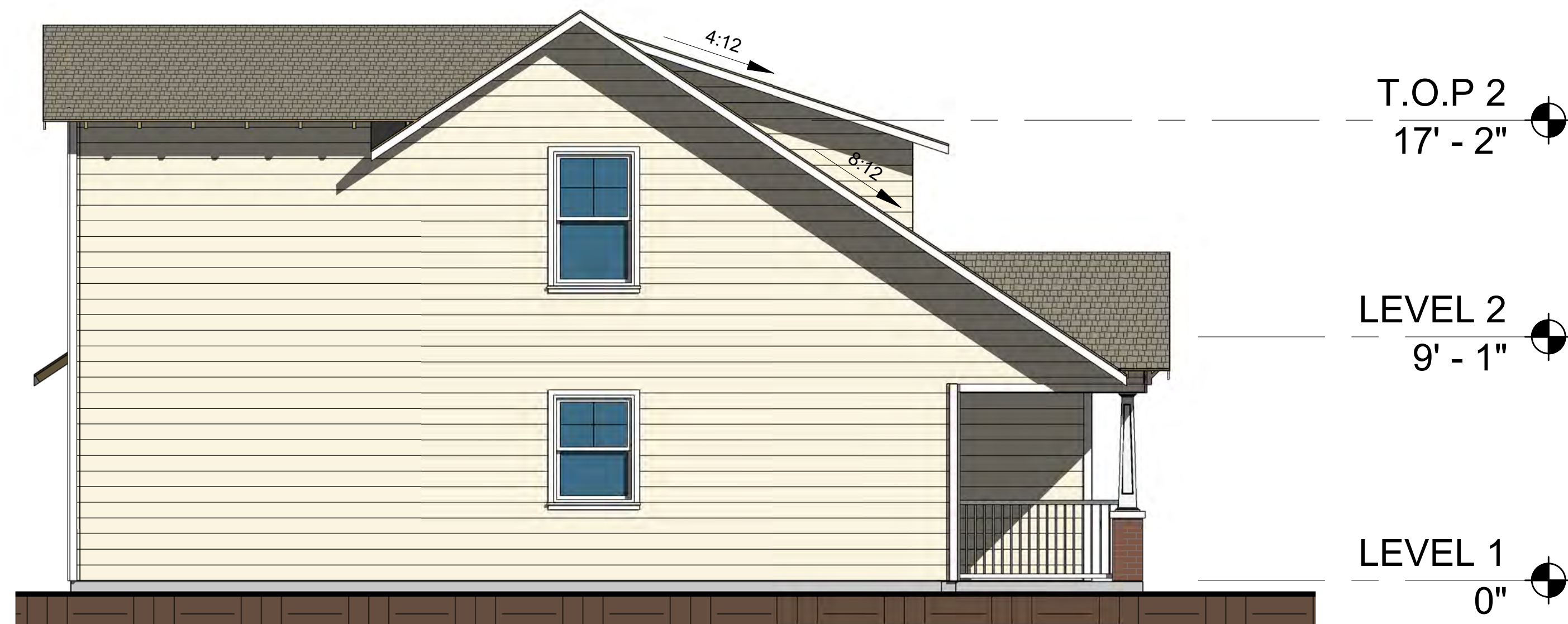
ARCHITECT
JAMES LAWRENCE
GFF ARCHITECTS
(817)303-1500 EXT. 304
JAMES.LAWRENCE@GFF.COM
3300 WEST 7TH STREET, STE 110
FORT WORTH, TX 76107



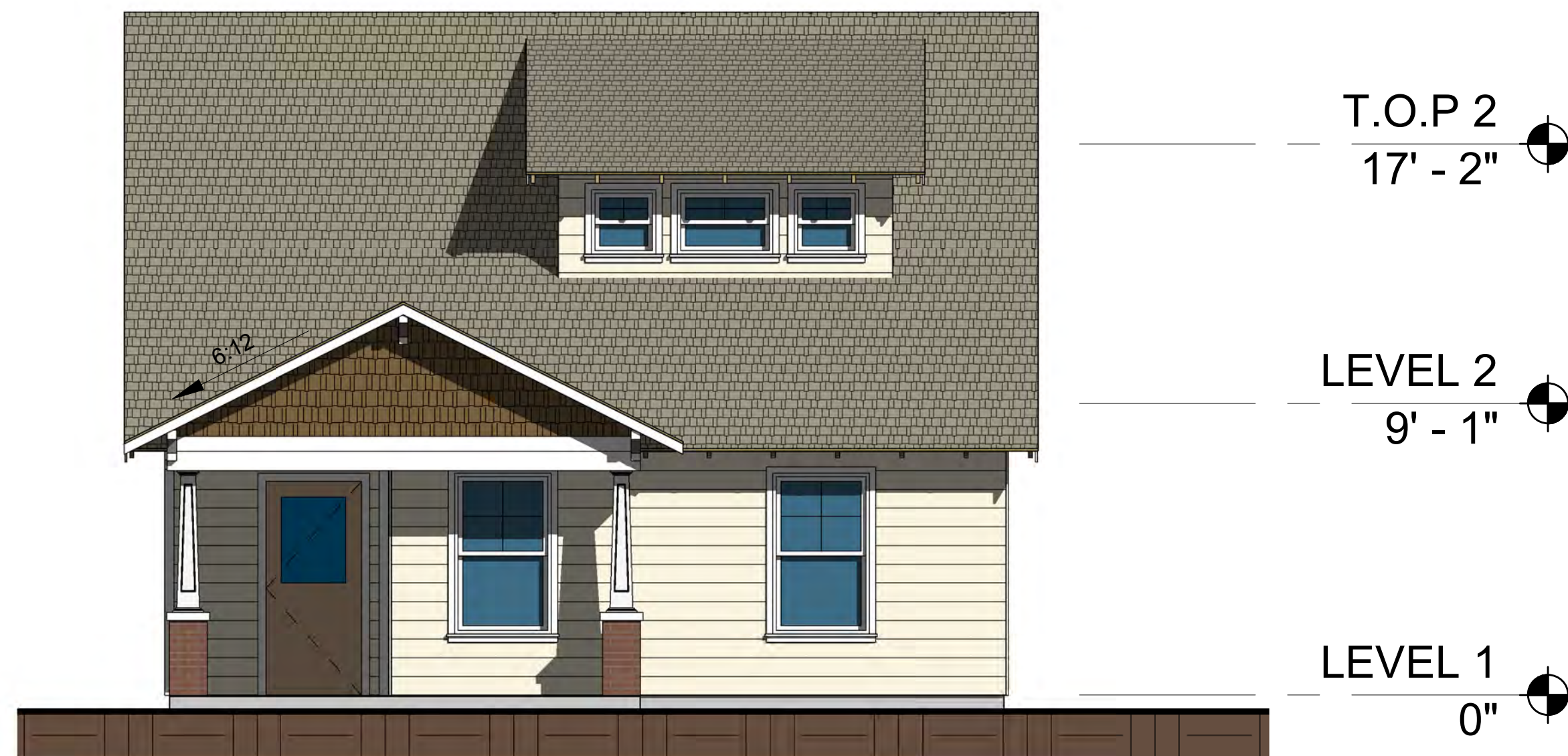
4 RIGHT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



3 LEFT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
	BRICK, COLOR TBD
	ASPHALT SHINGLES, COLOR TBD
	FIBER CEMENT TRIM, COLOR TBD
	FIBER CEMENT SIDING, COLOR TBD

LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T
2.997 ACRES

HABITAT FOR HUMANITY
3/2.5 (1,350 sf)
Mansfield, TX



02/03/2022
Job #: 21301

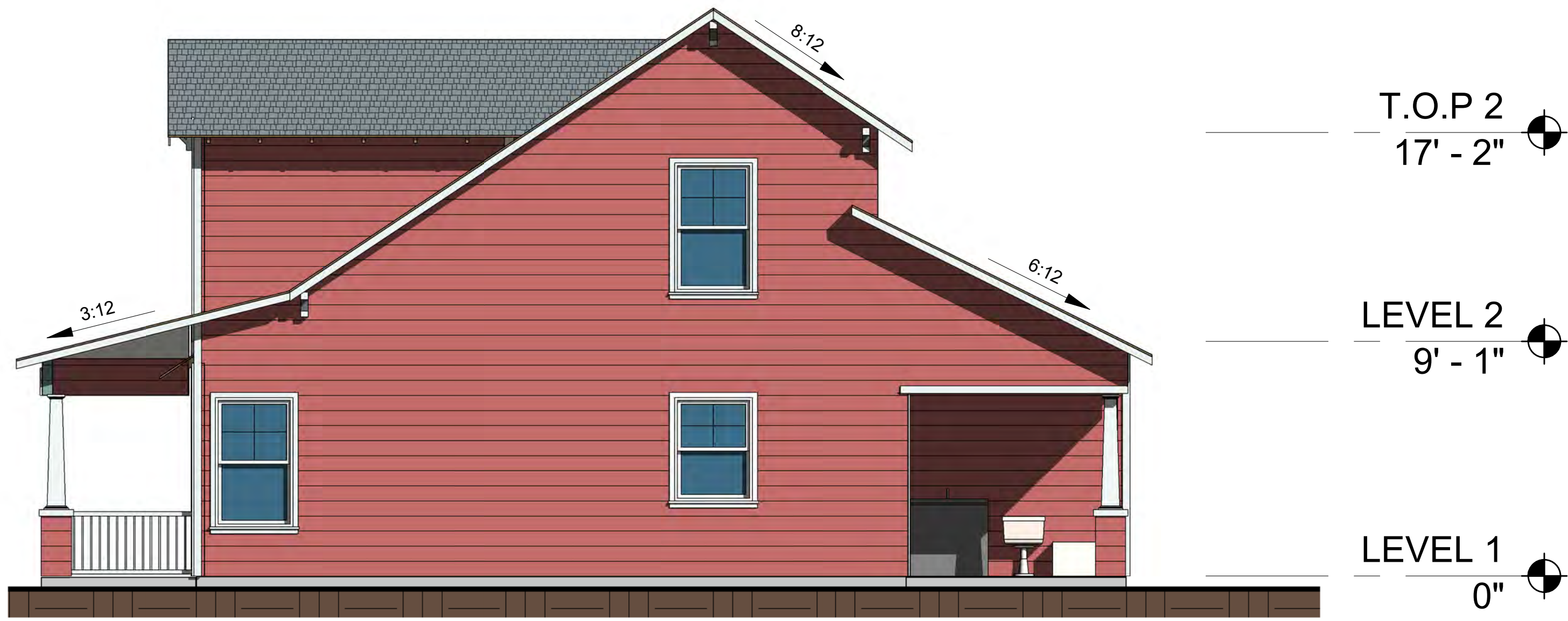
OWNER
CHRISTINE PANAGOPOULOS
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(817)926-9219
C.PANAGOPOULOS@TRINITYHABITAT.ORG
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FORT WORTH, TX 76116

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FORT WORTH, TX 76107

**EXHIBIT C2
ELEVATIONS**

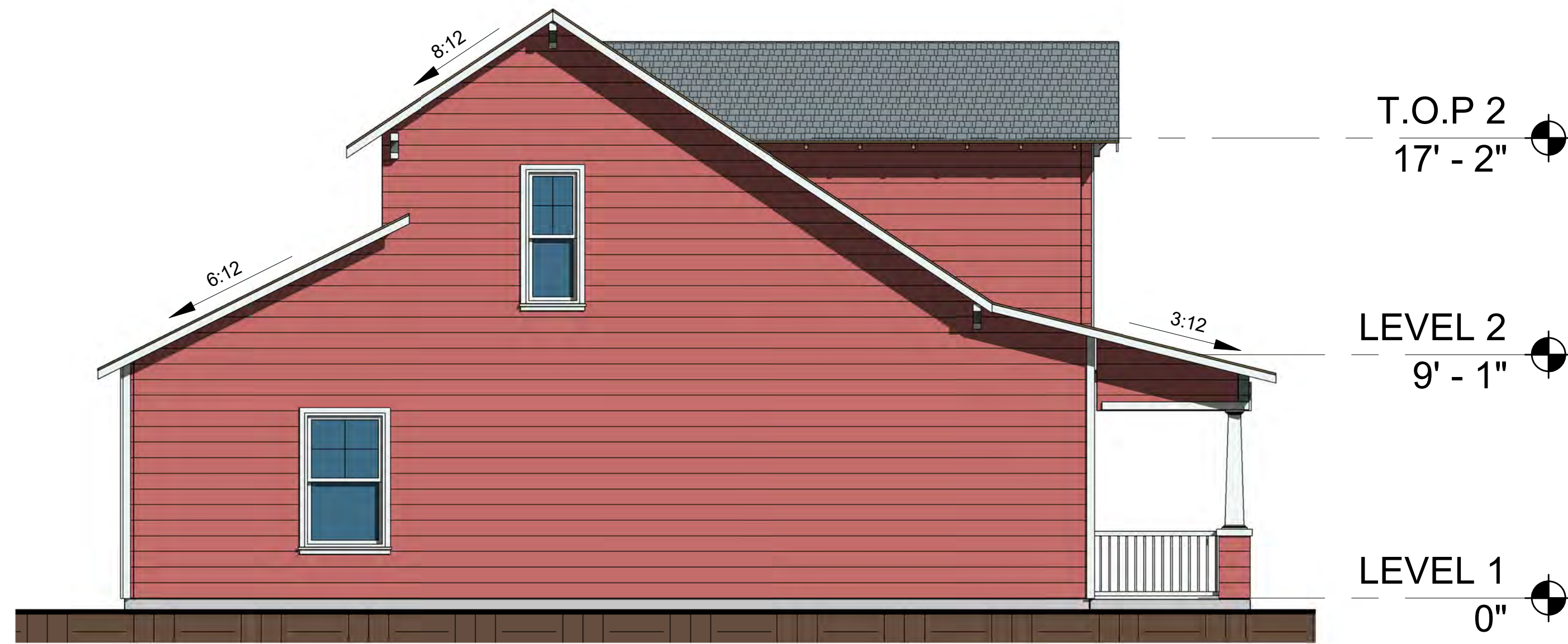
ZC#20-021



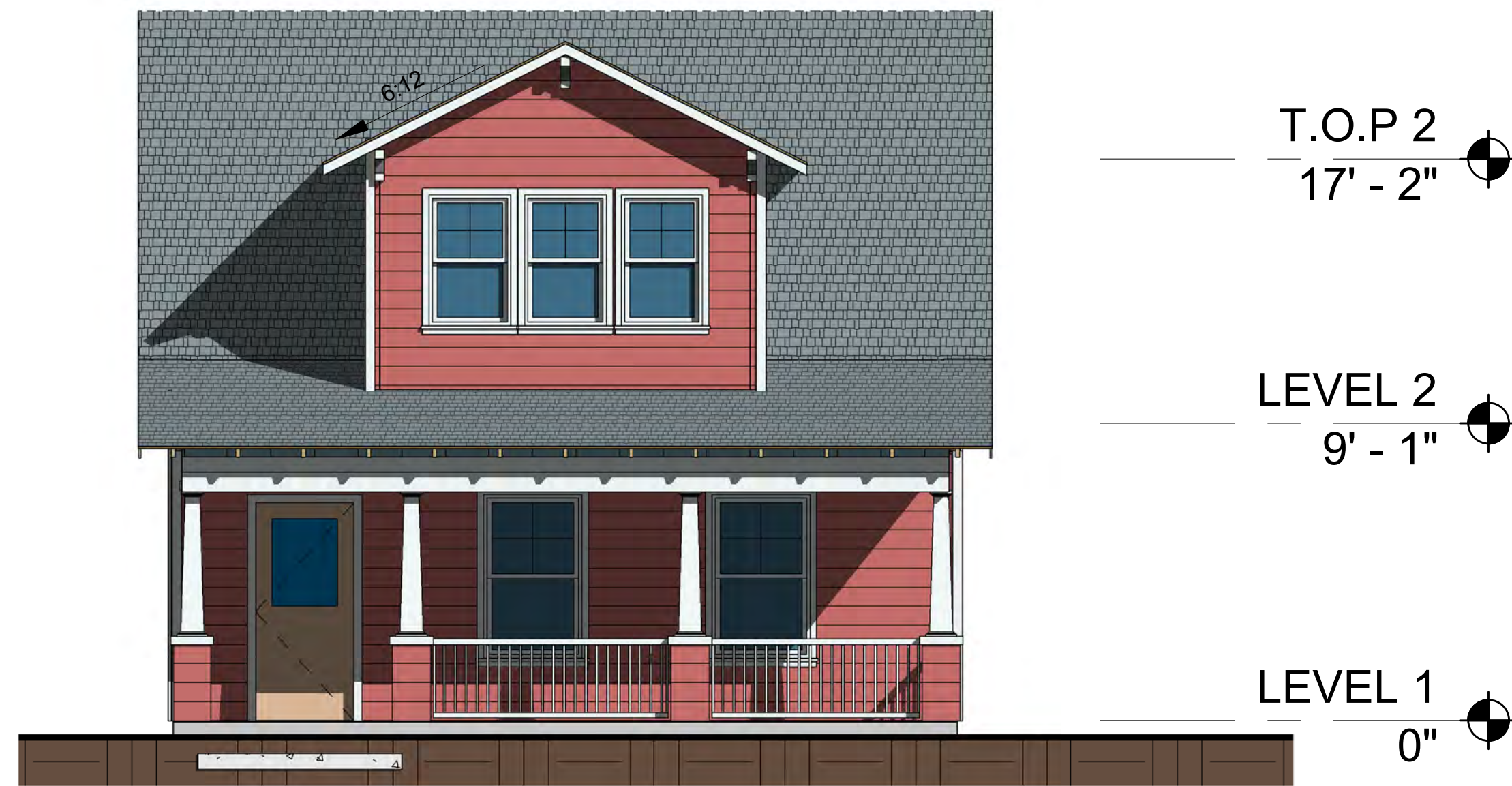
4 RIGHT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



3 LEFT ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

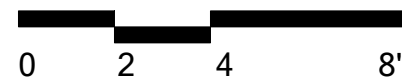
EXTERIOR MATERIAL LEGEND	
	BRICK, COLOR TBD
	ASPHALT SHINGLES, COLOR TBD
	FIBER CEMENT TRIM, COLOR TBD
	FIBER CEMENT SIDING, COLOR TBD

LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T
2.997 ACRES

HABITAT FOR HUMANITY
3/2.5 (1270 sf)
Mansfield, TX

EXHIBIT C3
ELEVATIONS

ZC#20-021

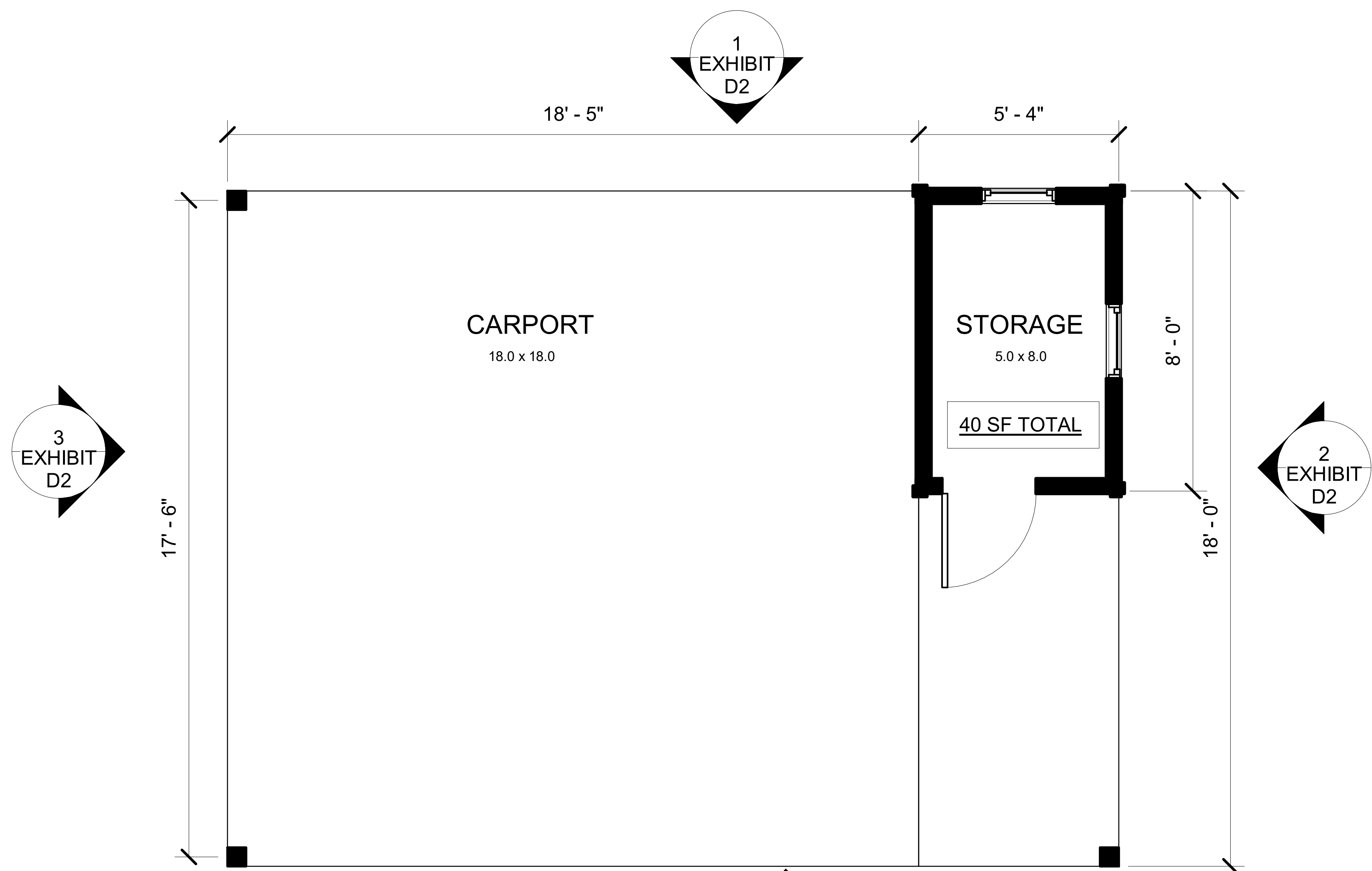


02/03/2022
Job #: 21301

OWNER
CHRISTINE PANAGOPOULOS
TRINITY HABITAT FOR HUMANITY
(817)926-9219
C.PANAGOPOULOS@TRINITYHABITAT.ORG
9333 N. NORMAN DALE ST.
FORT WORTH, TX 76116

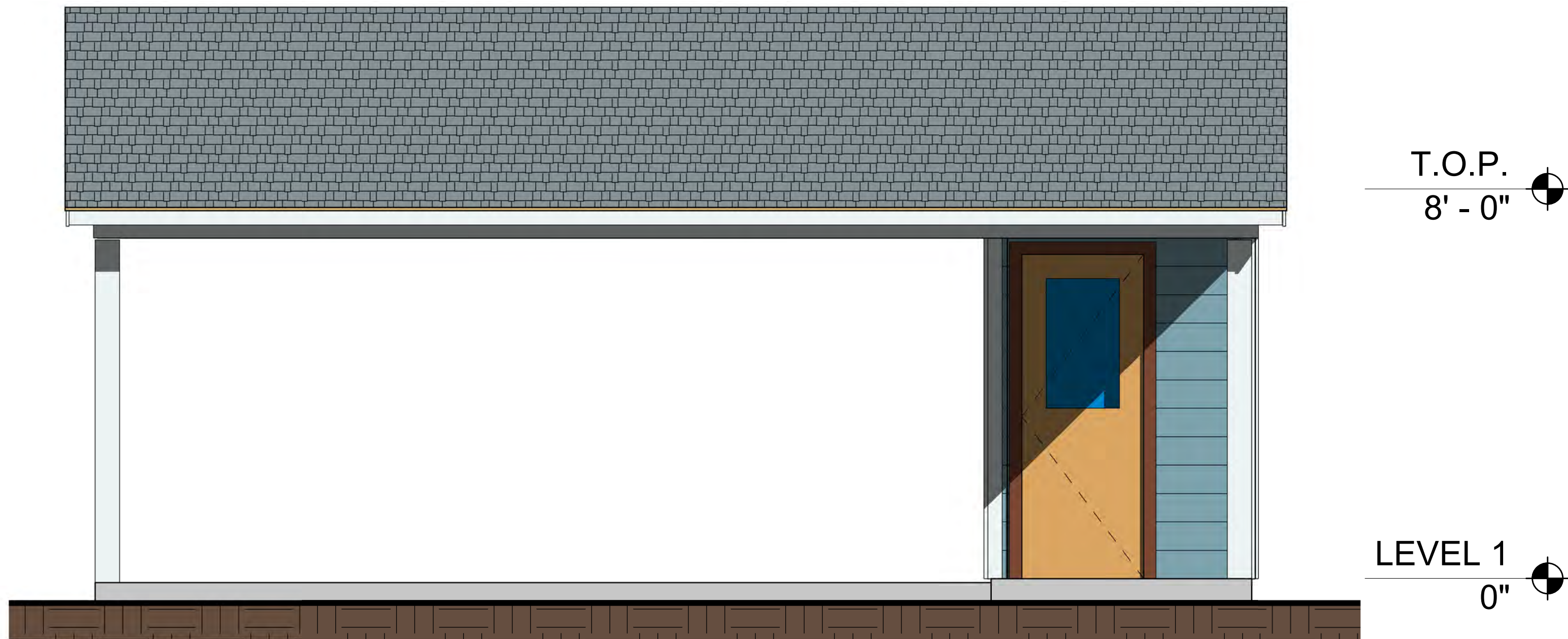
CIVIL ENGINEER
MICHAEL THOMAS
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JAMES.LAWRENCE@GFF.COM
3300 WEST 7TH STREET, STE 110
FORT WORTH, TX 76107



EXTERIOR MATERIAL LEGEND	
	ASPHALT SHINGLES, COLOR TBD
	FIBER CEMENT TRIM, COLOR TBD
	FIBER CEMENT SIDING, COLOR TBD
	FIBER CEMENT SHAKE SIDING, COLOR TBD

2 FLOOR PLAN
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



03/15/2022
Job #: 21301

OWNER
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TRINITY HABITAT FOR HUMANITY
(817)926-9219
C.PANAGOPOULOS@TRINITYHABITAT.ORG
9333 N. NORMANDALE ST.
FORT WORTH, TX 76116

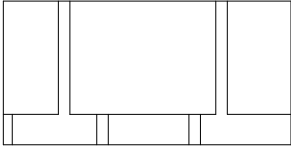

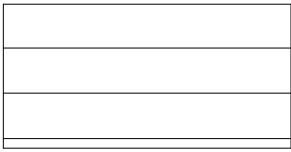
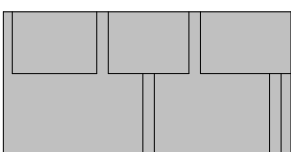
CIVIL ENGINEER
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MJ THOMAS ENGINEERING, LLC
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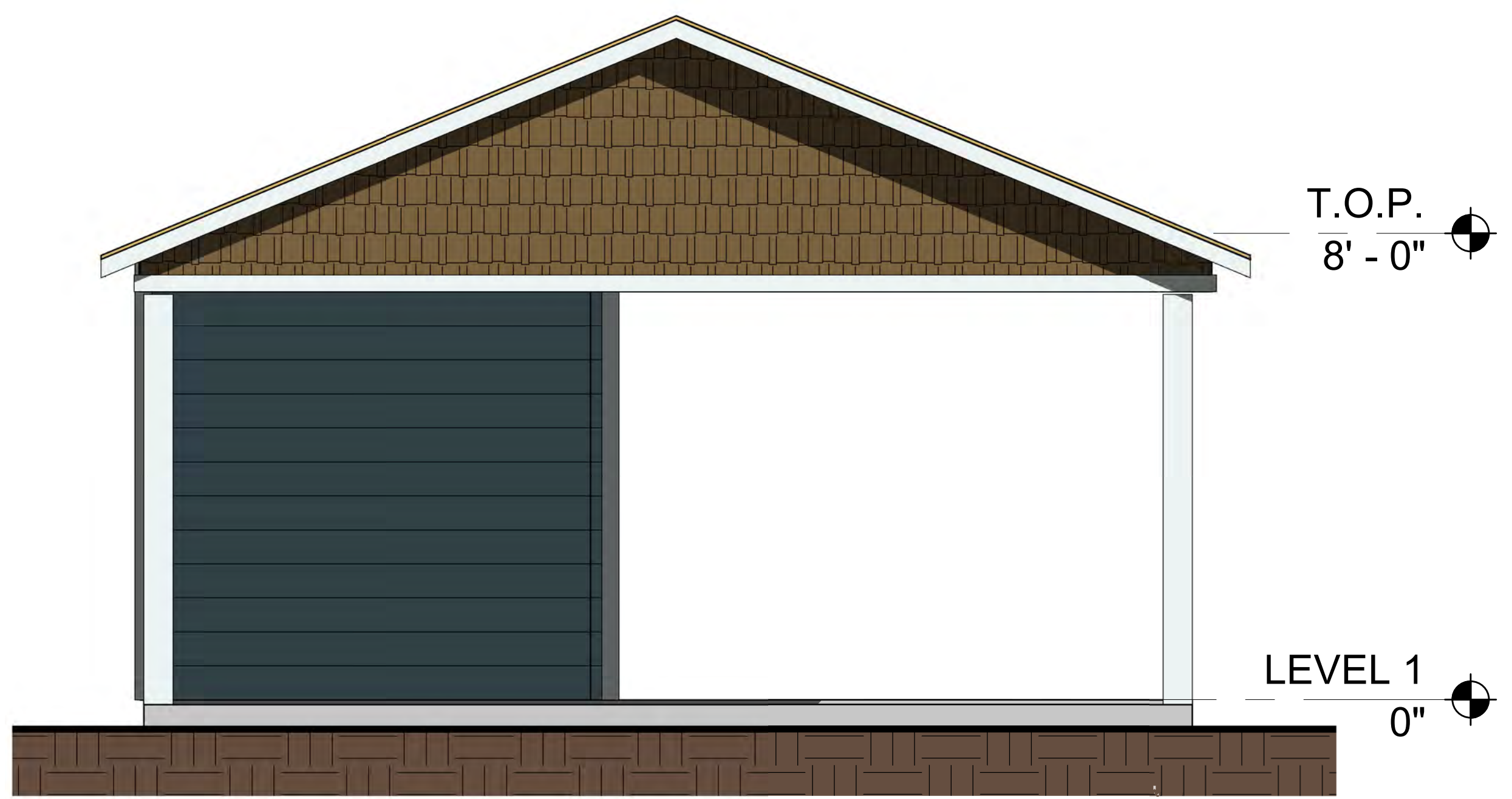
ARCHITECT
JAMES LAWRENCE
GFF ARCHITECTS
(817)303-1500 EXT. 304
JAMES.LAWRENCE@GFF.COM
3300 WEST 7TH STREET, STE 110
FORT WORTH, TX 76107

LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T
2.997 ACRES
HABITAT FOR HUMANITY
(STORAGE - D)
Mansfield, Texas

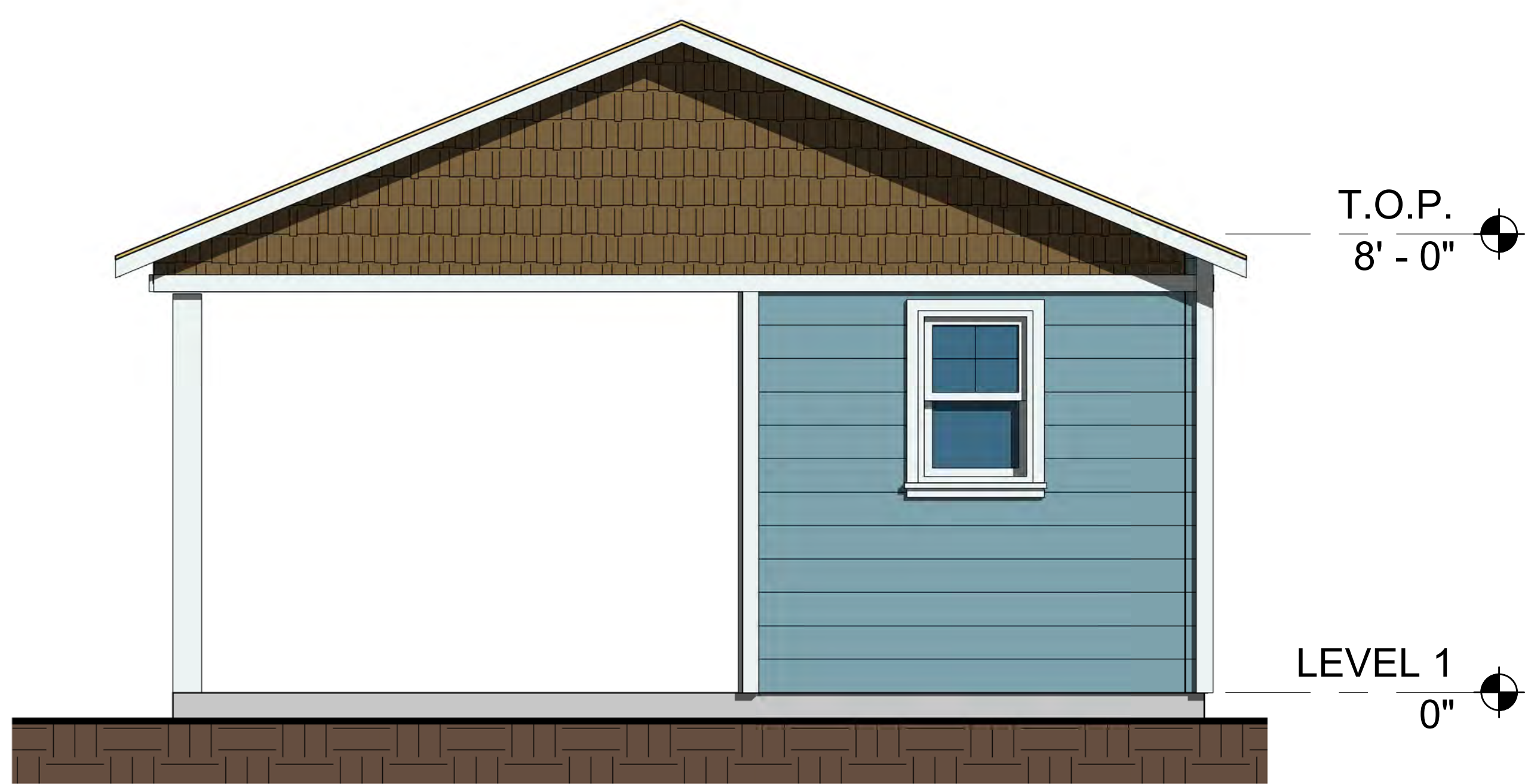
EXHIBIT D1
CARPORT / STORAGE
ZC#20-021

EXTERIOR MATERIAL LEGEND

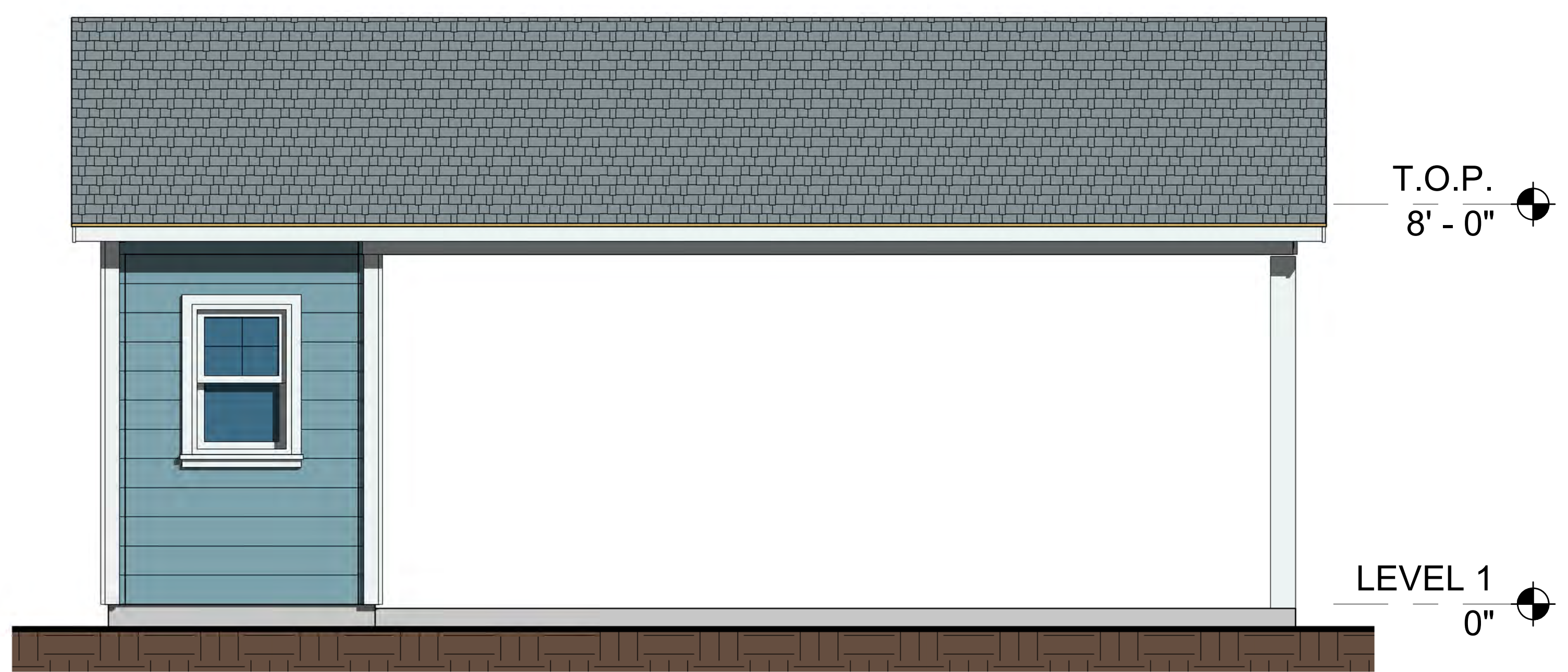
	ASPHALT SHINGLES, COLOR TBD
	FIBER CEMENT TRIM, COLOR TBD
	FIBER CEMENT SIDING, COLOR TBD
	FIBER CEMENT SHAKE SIDING, COLOR TBD



3 LEFT ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"



1 REAR ELEVATION
1/4" = 1'-0"

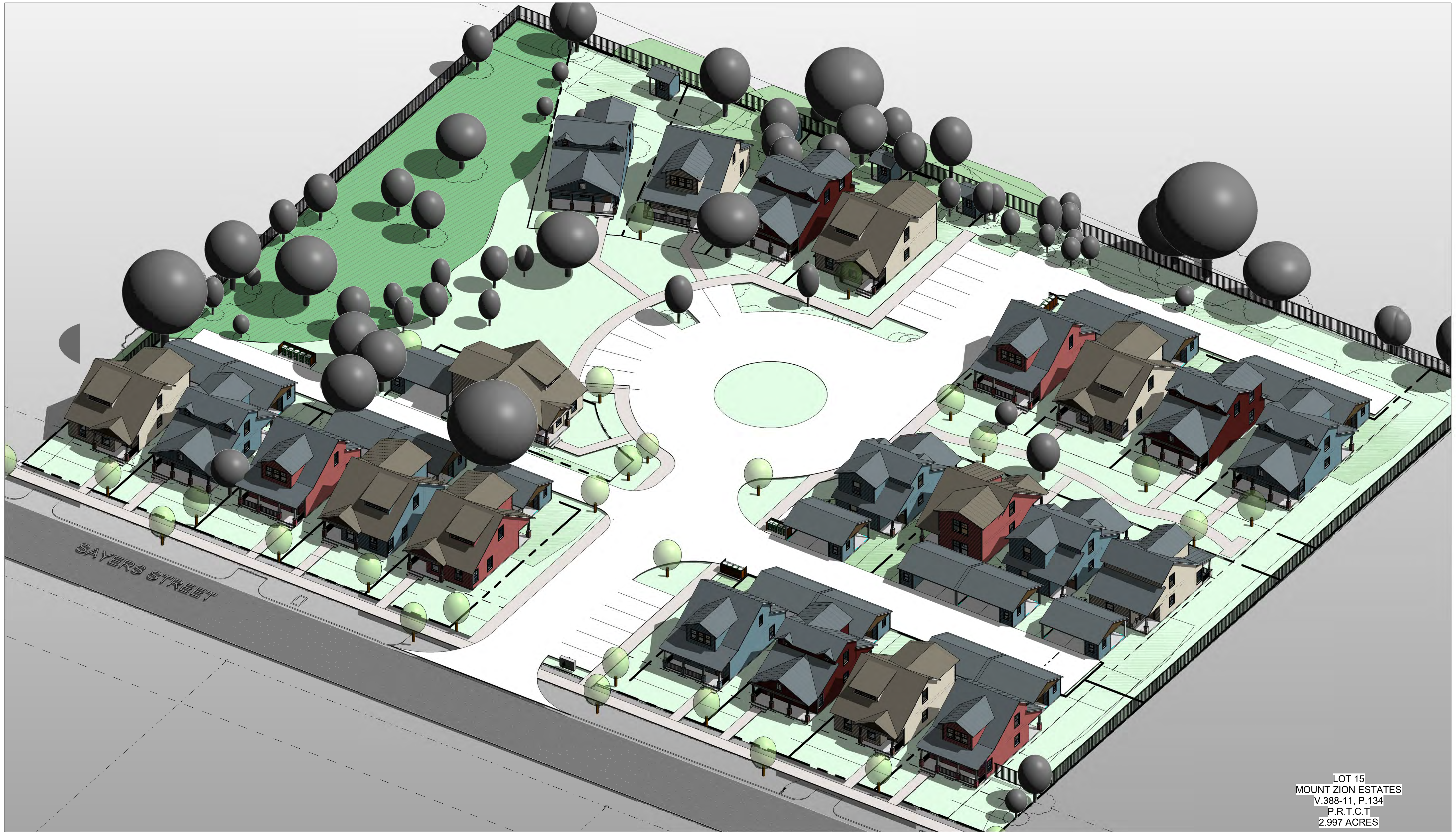
LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T
2.997 ACRES

HABITAT FOR HUMANITY
(STORAGE - D)
Mansfield, Texas

EXHIBIT D2
ELEVATIONS - CARPORT
ZC#20-021

0 1 2 4'
03/15/2021
Job #: 21301

OWNER CHRISTINE PANAGOPOULOS TRINITY HABITAT FOR HUMANITY (817)926-9219 C.PANAGOPOULOS@TRINITYHABITAT.ORG 9333 N. NORMANDELE ST. FORT WORTH, TX 76116	CIVIL ENGINEER MICHAEL THOMAS MJ THOMAS ENGINEERING, LLC (817)996-3446 MICKEYT@MUTHOMASENG.COM 4700 BRYANT IRVIN CT, STE 204 FORT WORTH, TX 76107	ARCHITECT JAMES LAWRENCE GFF ARCHITECTS (817)303-1500 EXT. 304 JAMES.LAWRENCE@GFF.COM 3300 WEST 7TH STREET, STE 110 FORT WORTH, TX 76107
--	--	---



LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T
2.997 ACRES

HABITAT FOR HUMANITY MANSFIELD COTTAGES

301 SAYERS STREET
MANSFIELD, TEXAS

EXHIBIT C5
3D ISO

ZC#20-021
EXHIBIT E



03/15/2022
Job #: 21301

OWNER
CHRISTINE PANAGOPOULOS
TRINITY HABITAT FOR HUMANITY
(817) 926-9219
C.PANAGOPOULOS@TRINITYHABITAT.ORG
9333 N. NORMANDELE ST.
FORT WORTH, TX 76116

CIVIL ENGINEER
MICHAEL THOMAS
MJ THOMAS ENGINEERING, LLC
(817) 996-3446
MICKEYT@MJTHOMASENG.COM
4700 BRYANT IRVIN CT, STE 204
FORT WORTH, TX 76107

ARCHITECT
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GFF ARCHITECTS
(817) 303-1500 EXT. 304
JAMES.LAWRENCE@GFF.COM
3300 WEST 7TH STREET, STE 110
FORT WORTH, TX 76107



LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T
2.997 ACRES

**HABITAT FOR HUMANITY
MANSFIELD COTTAGES**
301 SAYERS STREET
MANSFIELD, TEXAS

**EXHIBIT C4
PERSPECTIVE**

ZC#20-021

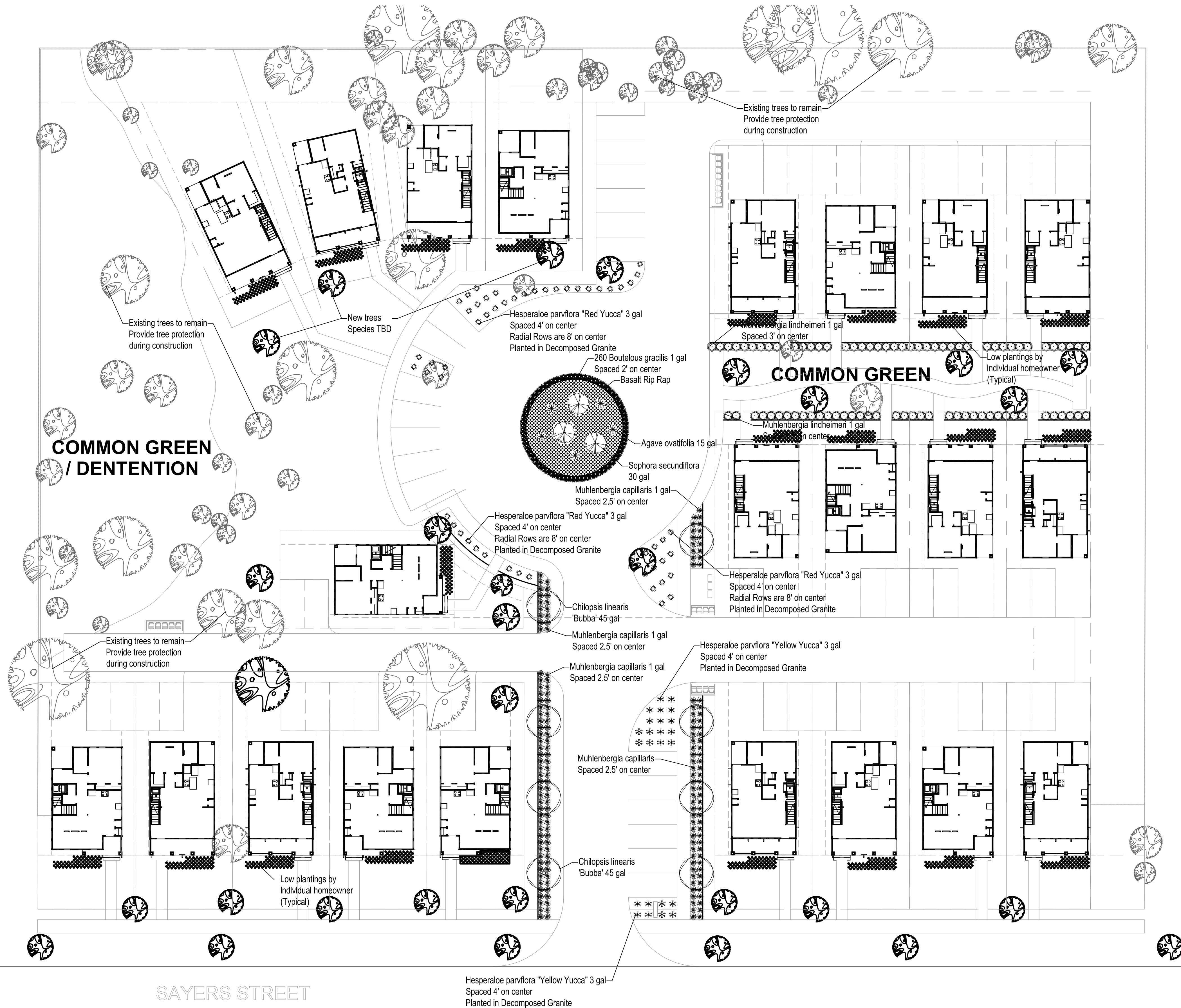


02/03/2022
Job #: 21301

OWNER
CHRISTINE PANAGOPOULOS
TRINITY HABITAT FOR HUMANITY
(817) 926-9219
C.PANAGOPOULOS@TRINITYHABITAT.ORG
9333 N. NORMANDELE ST.
FORT WORTH, TX 76116

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JAMES.LAWRENCE@GFF.COM
3300 WEST 7TH STREET, STE 110
FORT WORTH, TX 76107



HOMEOWNERS ASSOCIATION NOTES:

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LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T
2.997 ACRES

HABITAT FOR HUMANITY
MANSFIELD COTTAGES
301 SAYERS STREET
MANSFIELD, TEXAS

EXHIBIT D1
LANDSCAPE PLAN
ZC#20-021



2/15/2021
Job #: 21301

LANDSCAPE
ARCHITECT

MICHAEL KINLER
REDETA'S DESIGN
michael@redetas.com
FORT WORTH, TX 76112

OWNER

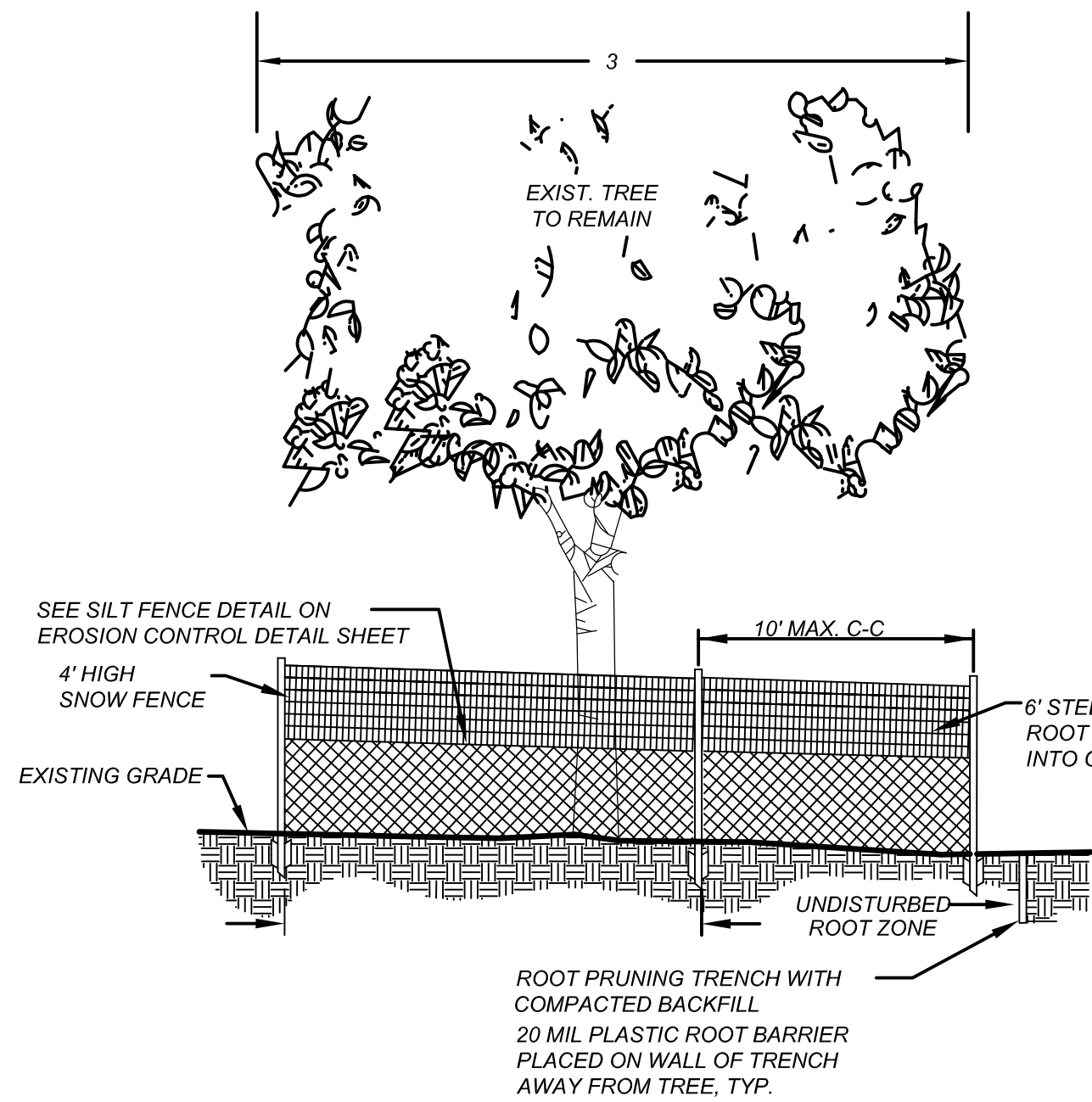
CHRISTINE PANAGOPOULOS
TRINITY HABITAT FOR HUMANITY
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C.PANAGOPOULOS@TRINITYHABITAT.ORG
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ARCHITECT

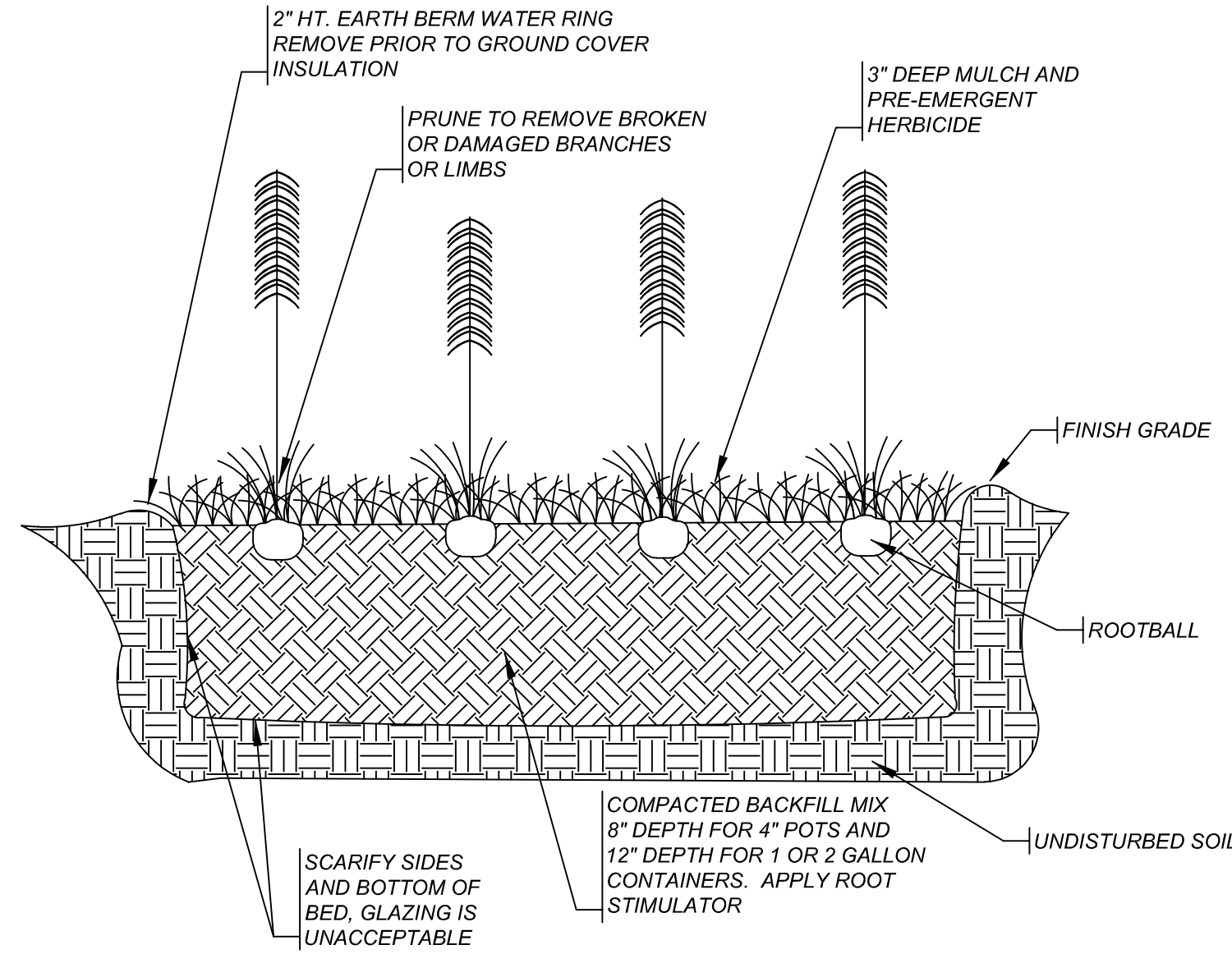
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JAMES.LAWRENCE@GFF.COM
3300 WEST 7TH STREET, STE 110
FORT WORTH, TX 76107



COMBINED SILT FENCE, TREE PROTECTION FENCE AND ROOT PRUNING TRENCH ALONG CURB

NOT TO SCALE

- NOTE:
1. SYMBOL USED ON SITE PLAN IS SYMBOLIC ONLY AND SHOULD NOT BE USED FOR ACTUAL FIELD LOCATION OF FENCE.
 2. FILTER FABRIC OVER WIRE FENCE (SEE EROSION CONTROL DETAILS FOR INSTALLATION OF FILTER FABRIC)
 3. CRITICAL DRIP/ROOT ZONE, TREE PROTECTION SUBJECT TO APPROVAL BY OWNER'S REPRESENTATIVE.

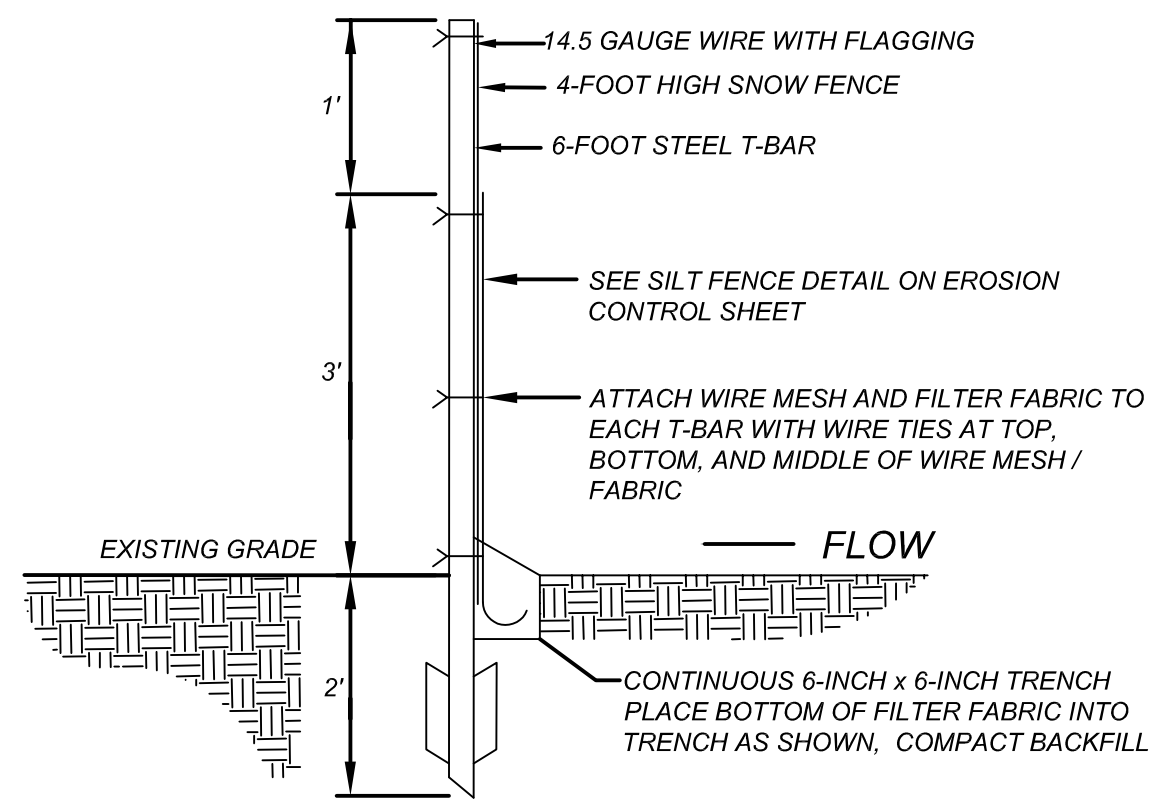


TYP. BED PLANTING DETAIL

NOT TO SCALE

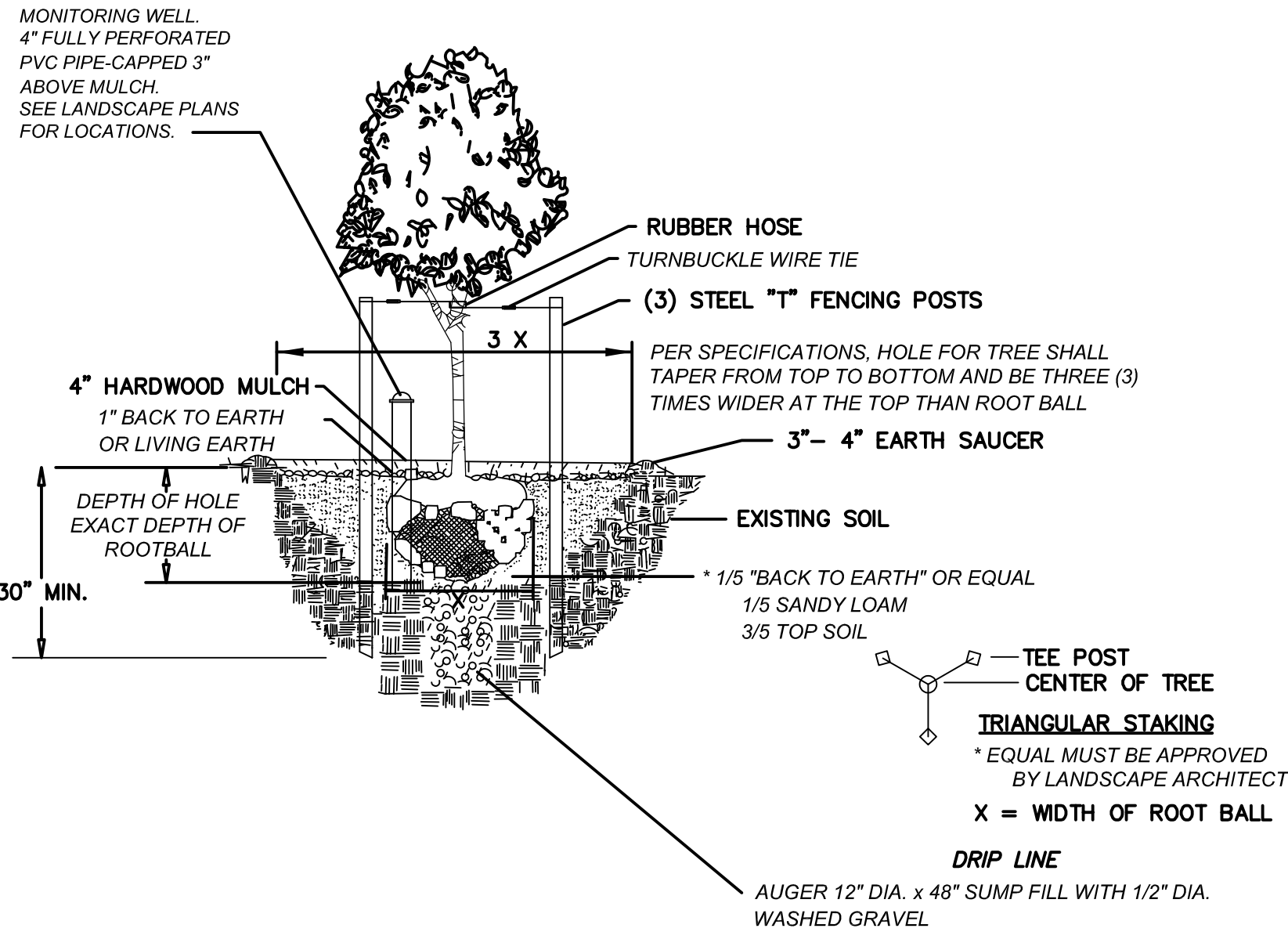
NOTES:

- CONTRACTOR SHALL PERFORM MAINTENANCE AS NEEDED
- SILT MATERIAL SHALL BE REMOVED AS NEEDED TO ENSURE EFFECTIVE PROTECTION
- FABRIC JOINTS SHALL OVERLAP A MINIMUM OF 6-INCHES, FOLDED AND SECURED WITH WIRE TIES



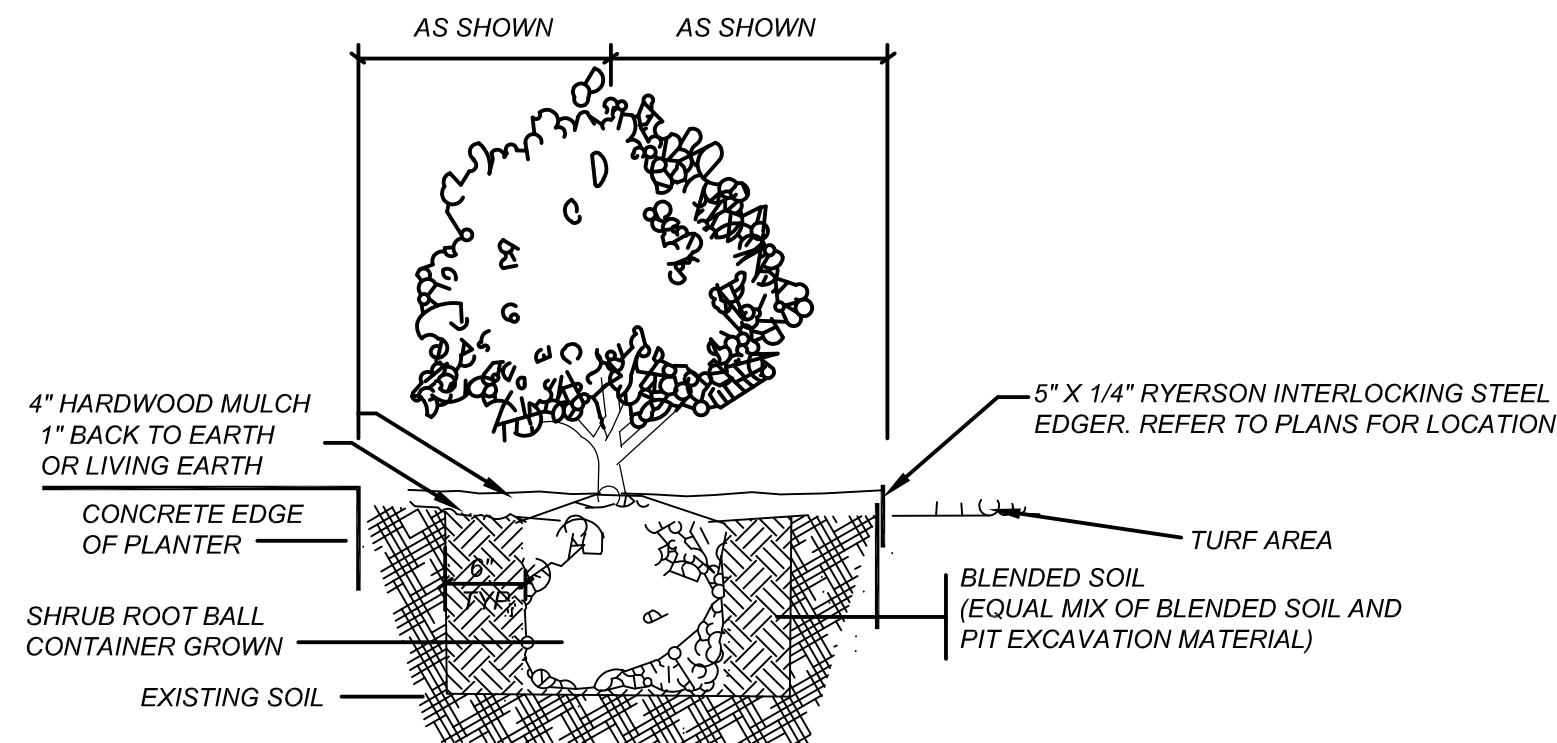
COMBINED SILT AND TREE PROTECTION FENCE SECTION

NOT TO SCALE



TREE PLANTING AND STACK - NORMAL CONDITIONS

NOT TO SCALE



SHRUB PLANTING AND EDGING DETAIL

NOT TO SCALE

HOMEOWNERS ASSOCIATION NOTES:

1. OWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SCREENING FENCES, DRIVEWAYS, PARKING LOTS, SIDEWALKS, COMMON AREAS, AMENITY CENTERS, LANDSCAPING, HARDSCAPE IMPROVEMENTS, PAVILIONS, AND WALKING PATHS.
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LOT 15
MOUNT ZION ESTATES
V.388-11, P.134
P.R.T.C.T
2.997 ACRES

HABITAT FOR HUMANITY
MANSFIELD COTTAGES
301 SAYERS STREET
MANSFIELD, TEXAS

LANDSCAPE
ARCHITECT

MICHAEL KINLER
REDENTA'S DESIGN
michael@redentas.com
FORT WORTH, TX 76112

OWNER

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C.PANAGOPOULOS@TRINITYHABITAT.ORG
9333 N. NORMANDELE ST.
FORT WORTH, TX 76116

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FORT WORTH, TX 76107

EXHIBIT D2
LANDSCAPE DETAILS

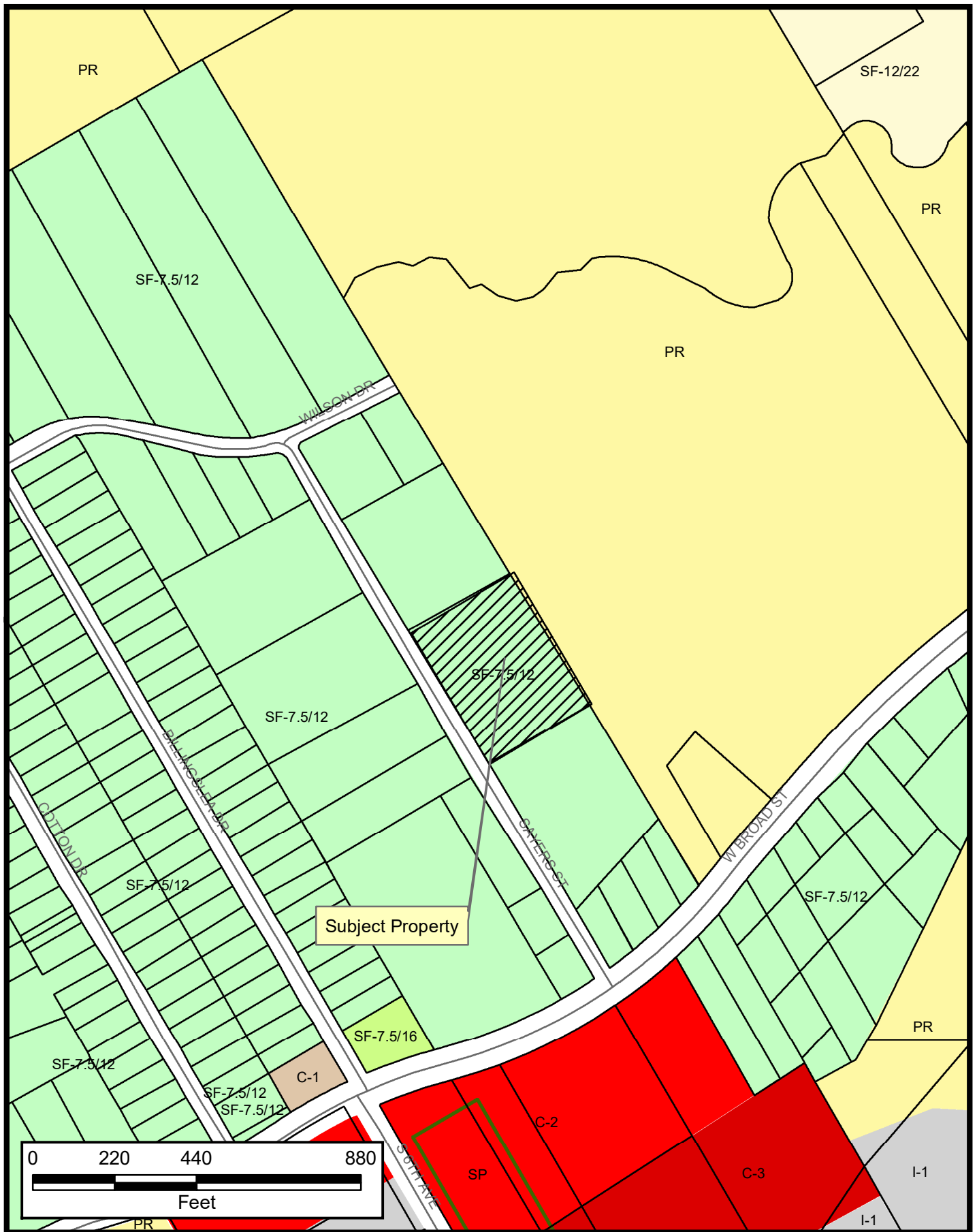
ZC#20-021



ZC#20-021

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

2/8/2022



ZC#20-021

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2/8/2022

Property Owner Notification for ZC#20-021

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
HANKS, THOMAS J SURVEY	A 644	RAGAN LLC	1242 MARION RD SE	ROCHESTER, MN	55904-5729
MOUNT ZION ESTATES	LOT 14	SANSOM, MARY	253 SAYERS DR	MANSFIELD, TX	76063-4518
MOUNT ZION ESTATES	LOT 15	FORT WORTH AREA HABITAT FOR HUMANITY INC	301 SAYERS DR	MANSFIELD, TX	76063
MOUNT ZION ESTATES	LOT 15	FORT WORTH AREA HABITAT FOR HUMANITY INC	301 SAYERS DR	MANSFIELD, TX	76063
MOUNT ZION ESTATES	LOT 16	CHADWICK, JEANETTE	341 SAYERS DR	MANSFIELD, TX	76063-4519
MOUNT ZION ESTATES	LOT 1A	MORENO, AGUSTIN	5533 LASTER RD	FORT WORTH, TX	76119-6561
MOUNT ZION ESTATES	LOT 4	STEWART, JESSICA LATRICE	348 SAYERS ST	MANSFIELD, TX	76063
MOUNT ZION ESTATES	LOT 5A	HERNANDEZ, ROLANDO IBARRA, MARIA	310 SAYERS DR	MANSFIELD, TX	76063-4521
MOUNT ZION ESTATES	LOT 5BR1	ARMSTEAD, RODERICK T	318 SAYERS DR	MANSFIELD, TX	76063
MOUNT ZION ESTATES	LOT 6	SMITH, JAMES & APRIL	507 GLEN COVE CT	MANSFIELD, TX	76063
MOUNT ZION ESTATES	LOT 7	CLEVELAND, DEBRA EST	242 SAYERS DR	MANSFIELD, TX	76063



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 22-4659

Agenda Date: 5/23/2022

Version: 2

Status: Second Reading

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Public Hearing Continuation and Second and Final Reading of an Ordinance Approving a Change of Zoning from PR, Pre-Development District to PD, Planned Development District for Single-Family Residential Uses on Approximately 60.92 Acres out of the PB George Survey, Abstract #299, Johnson County, Texas, on Property Located at 1400 Flying L Lane; First Texas Homes, Owner/Developer and JBI Partners, Inc., Engineer (ZC#21-011)

Requested Action

To consider the subject zoning change request.

Recommendations:

Planning and Zoning Commission Recommendation

The Planning & Zoning Commission held a public hearing on April 18, 2022 and voted 6 to 0 (Commissioner Gilmore absent) to recommend approval.

Staff Recommendation

Staff recommends approval

Council Action at First Reading

City Council voted 6 to 0 (Councilmember Leyman absent) to approve the zoning change at First Reading with the following conditions:

1. The minimum floor area on 20% of Type 1 and 2 lots could be reduced to 1,800 square feet. The original plan requested 30% of these lots.
2. The minimum floor area on 20% of Type 3 could be reduced to 2,200 square feet. The original plan requested 30% of these lots.

The applicant has revised Exhibits B and C to reduce the percentage of lots with reduced floor areas to 20% in keeping with Council's motion.

Description/History

Future Land Use Designation: Sub-Area 4

Existing Use: Vacant land

Existing Zoning: PR, Pre-Development District

Surrounding Land Use & Zoning:

North - Vacant land, PR and 2F
 South - Birdsong Phase 1, PD and vacant industrial, I-1
 East - Vacant, PR, church, PR and an RV campground, PD
 West - Birdsong Phases 2 and 3, PD

Thoroughfare Plan Specification:

Future FM 157 - principal six-lane divided arterial
 Flying L Lane - undivided three-lane minor collector
 Howell Drive - undivided three-lane minor collector

Synopsis

The subject property consists of 60.92 acres of vacant land. The developer is requesting to rezone the property from PR to PD for single-family residential uses with 215 residential lots and 5 open space lots. The proposed development is an expansion of the Birdsong development, generally following the same standards for the original development and the Birdsong West development with some improvements, such as architectural and community design elements that meet or exceed the City's minimum requirements.

Development Plan and Regulations

Birdsong East will serve as an extension of the larger Birdsong development to the west. The development proposes three lot types. Lot Types 2 and 3 will be intermingled and distributed throughout the property as shown on the Development Plan. Lot Type 1, the rear alley access product, will be consolidated as shown on the Development Plan to ensure connection of the alleys to the residential streets. The composition of lot types within the development will be 37% Type 1, 28% Type 2, and 35% Type 3. Details showing typical lot dimensions and setbacks for each lot type have been provided. The lots must meet the following minimum standards:

	Type 1	Type 2	Type 3
Minimum Lot Area:	5,750 sq. ft.	6,000 sq. ft.	7,200 sq. ft.
Minimum Lot Width:	50'	50'	60'
Minimum Lot Depth:	110'	110'	110'
Minimum Front Setback:	15'	25'	25'
Min. Rear Garage Setback:	20	NA	NA
Minimum Rear Setback:	15'	15'	15'
Min. Interior Side Setback:	5'	5'	5'
Min. Exterior Side Setback	15'	15'	15'
Minimum Floor Area:	2,000 sq. ft.	2,000 sq. ft.	2,400 sq. ft.
Maximum Lot Coverage:	55%	55%	55%
Maximum Height:	35'	35'	35'

The lots are also subject to the following regulations:

1. Location of Lot Type must be in accordance with the Development Plan.
2. Lots on a cul-de-sac, bulb, or elbow may be up to 10' narrower as long as the lot area exceeds the minimum lot area.

3. Lots on a cul-de-sac, bulb, or elbow may be up to 10' shallower as long as the lot area exceeds the minimum lot area.
4. Corner lots must be at least 10' wider than the specified minimum lot width for each Lot Type specified above.
5. Outdoor living areas must have a minimum rear setback of 10' whether or not the area is covered by a roof which is integrated into the house.
6. The minimum front yard setback may be reduced to 20' for homes with J-swing garages.
7. The minimum floor area on at least 20% of Type 1 and 2 lots may be 1,800 square feet.
8. The minimum floor area on at least 20% of Type 3 lots may be 2,200 square feet.

Architectural and Community Design Standards

The architecture and community design standards will adhere to the City's Code of Ordinances, except as noted in the architectural and community design standards for this proposed development. These provisions include:

- Side-entry garages and garages served by an interior drive to count towards the 10% J-swing requirement for Type 3 lots. Type 1 and Type 2 lots do not require J-swing garages.
- Garages facing a public street cannot be closer than the front door of the house and must be constructed of wood, metal or a composite material designed to look like wood.
- The exterior finish material on all building elevations, except for openings for doors and windows, will be limited to any combination of brick, stone, cementitious fiber board, and stucco. Wood may only be used as an accent exterior finish.
- As an enhancement above and beyond the original Birdsong development, at least 60% of Type 1 houses and at least 25% of Type 2 and 3 houses must have a front porch.
- Covered stoops are also allowed, with a minimum of 5' in depth and 4' to 6' in width, constructed of brick or stone.
- Roofs must be pitched, with 70% of the houses having a minimum 8:12 slope, 30% with a minimum 6:12 slope and secondary roofs for porches, stoops or similar architectural features with a minimum 3:12 slope.

All houses in the development must meet the minimum requirements specified in the development regulations. In addition, each single-family lot must include two (2), 3"-caliper canopy trees, one of which may be in the back yard.

Access and Circulation

The development will be served by three access points. The primary enhanced entryway

will be off Flying L Lane. A secondary entry will be from the future Howell Road, with a third access point from Harrier Drive in Birdsong Phase 2.

The rear-alley access products will be served by 20' common access easements with alleys 14' in width. The alleys will be maintained by the mandatory homeowners' association.

Although future Howell Road will be entirely within the M3 Ranch development, Birdsong East will need to connect to the street for circulation. The cost of the roadway will be divided between the developers of M3 Ranch and Birdsong East. The developer of M3 Ranch will be responsible for dedicating the entire right-of-way for Howell Road and 50% of the construction cost. The developer of Birdsong East will be responsible for escrowing the other 50% of the construction cost of Howell Road at time of final plat.

Enhanced Entryway Plan

An Enhanced Entryway Plan has been provided, showing the enhanced entryway features planned for the entrances into the development. The primary entrance on Flying L Lane will have a divided boulevard section, enhanced pavers, decorative lights, landscaping and an entrance monument similar to the sign at the main entrance of Birdsong. The secondary entrance off Howell Road will include a smaller entry sign, enhanced pavers and some landscaping.

Open Space, Screening, and Amenities

An Open Space, Trail, and Screening Plan has been provided showing the proposed amenities in the development, including a 6' trail in the primary open space, seating areas with bench and trash receptacles, an overlook with shade structure, multi-purpose open spaces and pet waste stations. The primary open space is at the southwest corner of the development where it connects to the open space lot in Birdsong Phase 2, comprising approximately 11 acres of open space.

Birdsong East will be screened by a minimum 6' masonry wall along Flying L Lane. A 6' board on board fence with masonry columns spaced every 100' will be provided along the future Howell Road. The screening devices are compatible with the screening in the Birdsong development. Canopy trees, ornamental trees and shrubs will be provided in landscape buffers along the perimeter of Birdsong East.

Birdsong East provides for a streetscape design with canopy trees and grass in a 6' wide landscape strip. Each residential street will have a 5' wide sidewalk.

The private amenities will be maintained by a mandatory homeowners' association.

Summary

The proposed development is an expansion of the original Birdsong development and generally follows the same standards of the original development and the Birdsong West development with some improvements, including a required percentage of houses with front porches, and other architectural and community design elements that meet or exceed the City's minimum requirements. The different lot types will be distributed

throughout the community and intermingled within certain blocks to create a true community with a diversity of products. In addition, the enhanced entryway features, screening, trees and landscape buffers, trails and open space will add value to the development and provide for the necessary landscaping, screening, and amenities for neighborhood residents.

1st Reading:

The City Council held a public hearing and first reading on September 27, 2021 and voted 6-0 (Councilmember Bounds absent) to approve as discussed. There was discussion regarding providing additional plans that better illustrate the intended array of product types and architectural designs, establishing standards for first-floor ceiling height, increasing the minimum home sizes (with reduced exceptions for smaller minimum home sizes), increasing the percentage of homes with front porches, limiting the percentage of homes with reduced roof pitches, limiting the use of wood as an accent material only, requiring street trees, and providing surveillance cameras. The applicant collaborated with staff to make the following revisions based on the discussion with the City Council:

1. Increased the minimum residential floor area for the Type 1 lots from 1,800 sq. ft. to 2,000 sq. ft. (with an exception allowing a reduced minimum floor area of 1,800 sq. ft. for a maximum of 30% of the Type 1 lots)
2. Increased the minimum residential floor area for the Type 2 lots from 2,200 sq. ft. to 2,400 sq. ft. (with an exception allowing a reduced minimum floor area of 2,000 sq. ft. for a maximum of 30% of the Type 2 lots)
3. Provided standards to require street trees, including a landscaping strip to accommodate the street trees that is wider than typical, requiring the street trees to be planted every 50 linear feet (with adjustments allowed for front-loaded homes based on the location of driveways and utilities), and allowing the number of trees on the residential lot (not including the street tree) to be reduced from two to one if the front building line is less than 30'.

Prepared By

Art Wright, Planner
817-276-4226

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING CHAPTER 155 OF THE CODE OF ORDINANCES OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR SINGLE-FAMILY RESIDENTIAL USES, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of Chapter 155 of the Code of Ordinances, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Chapter 155 of the Code of Ordinances and Map should be amended.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That the Chapter 155 of the Code of Ordinances of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new zoning district classification of PD, Planned Development; said property being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2.

That the use and development of the hereinabove described property shall be in accordance with the development plan shown on Exhibits "B – D" attached hereto and made a part hereof for all purposes.

SECTION 3.

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4.

That the above-described properties shall be used only in the manner and for the purposes provided for in Chapter 155 of the Code of Ordinances of the City, as amended herein by the granting of this zoning classification.

SECTION 5.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Code of Ordinances as a whole.

SECTION 6.

Any person, firm or corporation violating any of the provisions of this ordinance or Chapter 155 of the Code of Ordinances, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7.

This ordinance shall take effect immediately from and after its passage on second and final reading and the publication of the caption, as the law and charter in such cases provide.

FIRST READING APPROVED ON THE 9TH DAY OF MAY, 2022.

DULY PASSED ON THE SECOND AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 23RD DAY OF MAY, 2022.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Allen Taylor, City Attorney

EXHIBIT A
LEGAL DESCRIPTION

BEING a parcel of land located in the City of Mansfield, Johnson County, Texas, being a part of the Phillip B. George Survey, Abstract Number 299, and being all of that called 60.973 acre tract of land described in deed to Clarence Ray Phillips & Dorothy Faye Phillips as recorded in Volume 2268, Page 960, Official Public Records of Johnson County, Texas and also being all of that called 60.973 acre tract of land described in Warranty Deed to Dorothy Faye Phillips as recorded in Volume 2491, Page 525, Official Public Records of Johnson County, Texas, and being further described as follows:

BEGINNING at an "X" cut found at the east corner of said 60.973 acre tract, said point being the most northerly corner of that called 185.644 acre tract of land described in deed to First Texas Homes, Inc., said point also being in the approximate centerline of Flying L Lane, a variable width right-of-way;

THENCE along the south line of said 60.973 acre tract and along the north line of said 185.644 acre tract as follows:

South 59 degrees 36 minutes 12 seconds West, 1,268.08 feet to a one-half inch iron rod with yellow cap stamped "JBI" found for corner;

South 59 degrees 53 minutes 42 seconds West, 629.72 feet to a one-half inch iron rod with yellow cap stamped "JBI" found at the south corner of said 60.973 acre tract;

North 29 degrees 44 minutes 18 seconds West, 538.90 feet to a one-half inch iron pipe found for corner;

North 30 degrees 00 minutes 13 seconds West, 850.86 feet to a one-half inch iron rod with yellow cap stamped "JBI" found at the west corner of said 60.973 acre tract, said point being the most westerly northwest corner of said 185.644 acre tract, said point also being in the southeast line of that called 41.000 acre tract of land described in deed to Mansfield Independent School District as recorded in Volume 3857, Page 272, Official Public Records of Johnson County, Texas;

THENCE North 59 degrees 26 minutes 19 seconds East, 1,908.01 feet along the northwest line of said 60.973 acre tract to a PK Nail set at the north corner of said 60.973 acre tract, said point also being in the approximate centerline of Flying L Lane;

THENCE South 29 degrees 29 minutes 08 seconds East, 1,398.57 feet along the northeast line of said 60.973 acre tract and along the approximate centerline of Flying L Lane to the POINT OF BEGINNING and containing 2,653,690 square feet or 60.920 acres of land.

BASIS OF BEARING: The basis of bearing is based on the coordinate system (North Central Zone 4202 State Plane Coordinates, NAD83), surface distances shown hereon with a scale factor from grid to surface of 1.00012.

This document was prepared under 22 TAC 663.23, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

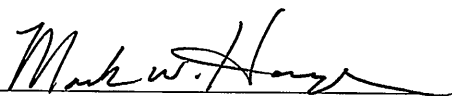

Mark W. Harp, R.P.L.S. No. 6425
June 16, 2021



EXHIBIT B

PLANNED DEVELOPMENT STANDARDS

BIRDSONG-EAST

NEIGHBORHOOD FRAMEWORK

The Birdsong-East neighborhood is intended to be an expansion of the Birdsong community. It is anticipated to in essence, be Birdsong-Phase 3. As such, the intent is to develop this portion of the community after the Phase 2 portion is developed. As such, it is based on the design vision established with Birdsong. This vision is to create a multi-generational community where an emphasis on being able to experience a small town environment where you know your neighbors, is balanced with the conveniences of a suburban lifestyle.

A variety of housing types and lot sizes are being provided to meet the needs of a complete life cycle. This mix of home styles and sizes is fully integrated throughout the neighborhood instead of establishing a pod-type development pattern. This encourages a diverse neighborhood both in terms of the people and families living in it, as well as the homes being built within it. This neighborhood design preference also allows residents to move within the neighborhood and overall Birdsong community and not have to distance themselves from family and friends as changes occur in their lives.

In keeping with the vision of community, public and private spaces are given equal importance and brought to the forefront. Open spaces and common areas are interspersed throughout the neighborhood and connected to Birdsong's extensive trail system. This design encourages personal interaction by families and residents in all stages of life.

GENERAL STANDARDS

1. The design and development of the Birdsong-East neighborhood shall take place in accordance with the attached Development Plan (Exhibit C), Open Space/Amenity Plan (Exhibit D-1), Enhanced Entryway Plan (Exhibits D-2 and D-3), and Screening Plan (Exhibit D-4).
2. Unless otherwise specified in this planned development, development within the Birdsong neighborhood is governed by the Mansfield Zoning Ordinance as currently enacted at the time of approval of this ordinance by the City Council. In the event of any conflict or inconsistency between these standards and the applicable City regulations, the terms and provisions of this planned development shall apply.
3. Unless otherwise specified in this planned development, the design and construction of public infrastructure and utilities within the Birdsong neighborhood shall be in accordance with the Mansfield Design Standards as currently enacted at the time of approval of this ordinance by the City Council. In the event of any conflict or inconsistency between these standards and the applicable City regulations, the terms and provisions of this planned development shall apply.
4. In the event of a conflict between the written text and the illustrations provided in this planned development, the written text contained herein shall control.
5. The maximum number of homes in the Birdsong neighborhood shall be 215.
6. A minimum of 18% of land (11.0 AC +/-) shall be used as open space, as identified on the

Open Space Plan.

- A. In order for the open space to be counted towards meeting the minimum requirement, it must be at least 0.5 acre in size or contain recreational elements (i.e. hike & bike trail, etc.), as well as be readily accessible to the residents of the Birdsong neighborhood. The open space may be public or private.
- B. If the open space is private, it shall be owned and maintained by a mandatory Homeowners Association.
- C. Within the Common Areas shown on Exhibit C, the amenities listed and shown on Exhibit D-1, including the 6' concrete trail, seating and trash receptacles, playing fields with movable goals, pet waste stations, and overlook with shade structure, shall be provided for the use of the Homeowners Association members.

7. Homeowners Association (HOA)

- A. Birdsong East will be incorporated into the Birdsong community mandatory Homeowner's Association. It shall be the Association's responsibility to maintain the lots owned by the (HOA), detention ponds, play area equipment not located with a public park, trails, entryway features, screening walls and fences shown on Exhibit D-4-Screening Plan, master developer provided canopy trees, landscaping at the entryway and on HOA lots.
 - B. The HOA documents shall be filed in accordance with the City of Mansfield policies. These documents shall be reviewed by the City Attorney prior to filing the final plat. The documents shall be filed with the final plat at Johnson County and deemed necessary by the attorney. The documents shall be submitted in a timely manner to allow for a minimum of 60 days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the subdivision or delay in approval of a building permit. The City does not accept the responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.
 - C. Birdsong East will be annexed into the Covenants, Conditions, and Restrictions (CC&R's) of the Birdsong community. As such, development within Birdsong East shall comply with both the standards established in this planned development as well as the standards established in the Birdsong community's CC&R's. The City of Mansfield is not responsible for the enforcement of the Birdsong CC&R's.
8. The proposed development will be in complete accordance with the provisions of the approved Planned Development District and all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

DEVELOPMENT STANDARDS

1. Uses

- A. Permitted uses shall be all principal and accessory uses which are allowed by right in the SF-7.5/18 Single Family Residential District, in accordance with Section 155.054(B) Permitted Use Table of the Mansfield Zoning Ordinance, as amended.
- B. A Specific Use Permit shall be required for all uses otherwise requiring a Special Use Permit in the SF-7.5/18 Single Family Residential District, in accordance with Section 155.054(B) Permitted Use Table of the Mansfield Zoning Ordinance, as amended.

2. The allowable lotting mix shall be as follows:

LOT TYPE LOTS

TYPE 1	80	37%
TYPE 2	60	28%
TYPE 3	75	35%

TOTAL 215

3. Single Family Detached Lot Development Standards:

DEVELOPMENT STANDARD

Lot Type	TYPE 1	TYPE 2	TYPE 3
Minimum Lot Width	50'	50'	60'
Minimum Lot Area (SQ FT)	5,750	6,000	7,200
Minimum Lot Depth	110'	110'	110'
Minimum Front Yard Setback	15'	25'	25'
Minimum Rear Yard Setback-Garage Face	20'	NA	NA
Minimum Rear Yard Setback	15'	15'	15'
Minimum Side Yard Setback	5'	5'	5'
Exterior at Corner	15'	15'	15'
Minimum Dwelling Area (SQ FT)	2,000	2,000	2,400
Maximum Lot Coverage	55%	55%	55%
Maximum Height	35'	35'	35'

Note: Location of Lot Type shall be in accordance with the Development Plan.

Note: Lots on a cul-de-sac bulb or elbow may be up to 10' narrower as long as the lot area exceeds the minimum area square footage.

Note: Lots on a cul-de-sac bulb or elbow may be up to 10' shallower as long as the lot area exceeds the minimum area square footage.

Note: Corner lots shall be at least 10' wider than the specified minimum lot width for each Lot Type identified above.

Note: Outdoor living areas shall have a minimum rear setback of 10' whether or not the area is covered by a roof which is integrated into the house.

Note: The minimum front yard setback may be reduced to 20' for homes with J-swing garages.

Note: A maximum of 20% of the dwelling units on Type 1 and Type 2 lots may have a minimum dwelling area of 1,800 square feet.

Note: A maximum of 20% of the dwelling units on Type 3 lots may have a minimum dwelling area of 2,200 square feet.

4. Architectural Standards: Homes constructed within the Birdsong East neighborhood shall comply with the architectural standards established in Section 155.056 of the Mansfield Zoning Ordinance unless otherwise indicated below.

A. Swing/Non-Front Entry Garages: A minimum of 10% of the total number of lots within the Birdsong East neighborhood shall contain a J-Swing, side entry oriented (door facing a side street),

or non-front entry (access to garage is from a drive interior to the lot) garage. J-Swing garages shall not be required on TYPE 1 or TYPE 2 lots.

- B. Garage Doors: Garage doors may face a public street. If a garage door faces the street, the garage face, regardless of 2nd story living space above the garage, may not be closer to the street than the front door of the home. Garage doors shall be constructed of wood, metal, or a composite material made to have the appearance of wood.
- C. Canopy Trees: On all single family lots, a minimum of 2, 3" caliper canopy trees shall be provided for each home, one of which may be located in the back yard.
- D. Materials: The exterior finish material on all building elevations, except for openings for doors and windows, shall be limited to any combination of brick, stone, cementitious fiber board, and stucco. Wood may only be used as an accent exterior finish material and shall not exceed 10 percent of the total building wall area, with each elevation being calculated independently. Configurations for stone and stucco shall be as provided below:
 - 1. All stone shall be detailed and laid to resemble structural stone walls (i.e., stone shall be chopped or saw cut).
 - 2. All stucco shall be cement plaster made of cement sand and lime and shall be applied to elevations using a three-step process with a smooth or sand-finish. Exterior insulated finishing systems (E.I.F.S.) or other synthetic stucco as defined by the International Building Code shall be prohibited on all elevations.
- E. Front Porches: At least 60 percent of Type 1 lots and at least 25 percent of Type 2 and Type 3 lots shall have front porches.
 - 1. Front porches shall be located at the front door of the dwelling and have a minimum size of 60 square feet, excluding the recessed entryway.
 - 2. Front porches shall have a minimum depth of six (6) feet and provide ample room for outdoor furniture.
 - 3. Front porches shall be covered and open on a minimum of two (2) sides.
 - 4. Front porches may encroach up to 50 percent of the depth of the front setback.
 - 5. Front porches must be constructed with concrete slab and may be covered with brick, stone, or wood plank.
 - 6. The Director of Planning may administratively approve a porch that deviates from these specific requirements if it meets the overall intent of the standards for porch design.
- F. Stoops, where provided:
 - 1. Stoops shall be no less than five feet in depth.
 - 2. Stoops shall be between four feet and six feet in width.
 - 3. Stoops shall be covered by a pitched roof structure.
 - 4. Stoops may be recessed into the main volume of the building where setbacks are less than five feet.
 - 5. Stoops shall be constructed of brick or stone.
 - 6. Stoops may encroach up to 50 percent of the depth of the front setback.
- G. Roof Pitch: Pitched roofs shall be provided for each dwelling. All pitched roofs shall be symmetrically sloped no less than 8:12, except that no more than 30% of the dwelling units may have pitched roofs symmetrically sloped no less than 6:12. Pitched roofs for porches, stoops, and other similar architectural features may be sloped no less than 3:12. All roofs shall be constructed with three-dimensional architectural shingles.
- H. Plate Line: All homes shall have a minimum plate line of nine feet.
- I. Posts: Where provided, posts shall be a minimum of six (6) inches by six (6) inches in dimension; and, where provided, columns shall be a minimum of 12 inches by 12 inches in dimension. The materials for posts and columns shall be as provided below:

1. All posts shall be made of wood or synthetic materials provided they have the appearance of wood; and posts may have piers constructed of brick or stone. Piers shall be a minimum of 12 inches by 12 inches in dimension.
 2. All columns shall be made of brick, concrete, or stone.
 3. All spaces between posts and columns shall be vertically proportioned.
- J. Windows:
1. All elevations facing a street or open space shall be no less than 15 percent and no more than 30 percent glazed in glass.
 2. Flush-mounted windows shall be prohibited. All windows in elevations of brick, stone, or stucco shall be recessed a minimum of three (3) inches in depth from the exterior wall.
- K. Accessory buildings and structures shall comply with the architectural and other design considerations in the Zoning Ordinance.

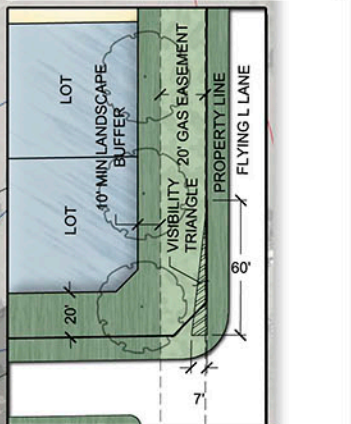
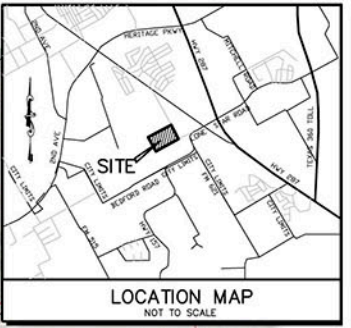
NEIGHBORHOOD DESIGN STANDARDS

1. Perimeter Screening:
 - A. Flying L Lane: Minimum 6' tall and maximum 8' tall brick or stone screening wall.
 - B. North Perimeter Collector Street:
 1. Where single family lots back to these streets, screening at a minimum shall be, 6' tall, board-on-board cedar fencing. The cedar fencing shall have metal poles. The fence's rails shall face the inside of the lot. The fencing shall be stained to a uniform color and be maintained by the Homeowner's Association.
 2. The screening shall incorporate masonry columns into its design. The columns shall be located approximately every 100'. The exact location of the column shall correspond to the intersection of an adjacent side lot line with the fencing.
2. Buffer Vegetation: Landscape buffers shall be provided along Flying L Lane and the North Perimeter Collector Street. Vegetation within the buffer shall be provided as outlined below.
 - A. Canopy Trees: Canopy trees shall be a minimum 3 caliper inches in size, measured 6" above the planting surface, and 7' in height at the time of planting. Canopy trees shall have a minimum crown spread of 25' at maturity.
 - B. Ornamental Trees: Ornamental trees shall be a minimum 1 caliper inch in size, measured 6" above the planting surface at the time of planting. Ornamental trees shall have a minimum crown spread of 15' at maturity. Ornamental trees having a mature crown spread of less than 15' may be substituted by grouping the trees to create the equivalent crown spread of 15'.
 - C. Shrubs: Shrubs shall be a minimum 3 gallons in size at the time of planting and shall attain a minimum height of 3' within two growing seasons.
 - D. All landscaping shall be provided in accordance with an approved landscape plan prior to acceptance of the subdivision by the City except as follows. During times of drought or water emergency response stages, or inappropriate season for the plant material, (i.e. Ornamental tree in August or Agave in January) the Planning Director or his/her designee may grant permission to delay the installation of the required landscaping for up to 6 months.
3. Irrigation: Landscape buffers shall be irrigated with irrigation systems. Trees and shrubs shall be irrigated by drip irrigation lines. Other landscaping may be irrigated by spray irrigation.
4. Neighborhood Entry Features: Architectural features on masonry walls or masonry monuments shall be located at the primary and secondary entrances for the Birdsong community. The general design of which shall correspond with Exhibits D-2 and D-3 (Entrance Concept Plan). Entry features and/or community signage may be lighted.
5. Security Cameras: To enhance the safety of residents and their belongings, security cameras will be

installed on blocks containing alleys to monitor activity within the alleys.

6. Streetscape Standards:

- A. A landscaping strip a minimum of six (6) feet in width shall be required along all streets in the development. Such landscaping strip shall be located between the back of curb of the street and the sidewalk edge of pavement. The landscaping strip shall be planted with grass and canopy street trees. Said trees shall be consistent with street trees provided in the remaining portions of the Birdsong community.
- B. A sidewalk a minimum of five (5) feet in width shall be provided along all streets in the development. The sidewalk shall be constructed to City standards.



EASEMENT DETAIL
NOTE: LANDSCAPING, EXCEPT FOR GRASS, SHALL BE PROHIBITED WITHIN THE GAS EASEMENTS UNLESS SPECIFICALLY APPROVED BY THE ASSOCIATED PIPELINE OPERATOR AND THE CITY.

DEVELOPMENT STANDARD			
Lot Type	TYPE 1	TYPE 2	TYPE 3
Minimum Lot Width	50'	50'	60'
Minimum Lot Area (SQ FT)	5,750	6,000	7,200
Minimum Lot Depth	110'	110'	110'
Minimum Front Yard Setback	15'	25'	25'
Minimum Rear Yard Setback-Garage Face	20'	NA	NA
Minimum Rear Yard Setback	15'	15'	15'
Minimum Side Yard Setback	5'	5'	5'
Exterior at Corner	15'	15'	15'
Minimum Dwelling Area (SQ FT)	2,000	2,000	2,400
Maximum Lot Coverage	55%	55%	55%
Maximum Height	35'	35'	35'

Note: Location of Lot Type shall be in accordance with the Development Plan.
Note: Lots on a cul-de-sac bulb or elbow may be up to 10' narrower as long as the lot area exceeds the minimum area square footage.
Note: Lots on a cul-de-sac bulb or elbow may be up to 10' shallower as long as the lot area exceeds the minimum area square footage.
Note: Corner lots shall be at least 10' wider than the specified minimum lot width for each Lot Type identified above.
Note: Outdoor living areas shall have a minimum rear setback of 10' whether or not the area is covered by a roof which is integrated into the house.
Note: The minimum front yard setback may be reduced to 20' for homes with J-swung garages.
Note: A maximum of 20% of the dwelling units on Type 1 and Type 2 lots may have a minimum dwelling area of 1,800 square feet.
Note: A maximum of 20% of the dwelling units on Type 3 lots may have a minimum dwelling area of 2,200 square feet.

**DEVELOPMENT PLAN
BIRDSONG EAST**

THE PHILIP B GEORGE SURVEY, ABSTRACT NO. 299
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS
DECEMBER 27, 2021
60.920 ACRES
215 RESIDENTIAL LOTS
5 OPEN SPACE LOTS

DOROTHY FAYE PHILLIPS OWNER
6717 North FM 157
Venus, Texas 76084
Contact: Edwin Phillips
ephillips1154@yahoo.com

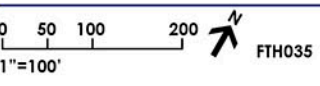
FIRST TEXAS HOMES APPLICANT/DEVELOPER
2121 Midway Road, Suite 155
Carrollton, Texas 75006
Contact: Tony Shaw
tshaw@tonyshawproperties.com

JBI PARTNERS, INC. SURVEYOR/ENGINEER
2121 Midway Road, Suite 300
Carrollton, Texas 75006
Contact: Jerry Sylo
jsylo@jbipartners.com
TBPE No. F-438 TBPLS No. 10076000

DATA SOURCES	
BOUNDARY:	ON-THE-GROUND SURVEY (Digital)
IMAGE OF SURVEY:	WEB BASED/PUBLIC INFORMATION
ENCUMBRANCES:	TITLE REPORT/SCHEDULE B
TOPOGRAPHY:	ON-THE-GROUND SURVEY
100 YEAR FLOOD PLAIN:	VARGAS AERIAL TOPOGRAPHY
	OTHER SOURCE (USGS, NCTICOG)
	FEMA MAPS
JURISDICTIONAL WATERS:	ON-THE-GROUND ANALYSIS
	WEB BASED/PUBLIC INFORMATION

NEIGHBORHOOD DATA			
LOT SIZE (TYPICAL)		LOTS	
TYPE 1	50' X 110' MIN REAR	80	37%
TYPE 2	50' X 110' MIN FRONT	60	28%
TYPE 3	60' X 110' MIN FRONT	75	35%
TOTAL		215	100%

NOTES
1. BIRDSONG EAST DEVELOPMENT WILL BE DEVELOPED IN ONE PHASE.
2. ALLEYS ARE LOCATED WITHIN THE 20' WIDE COMMON ACCESS EASEMENTS AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.



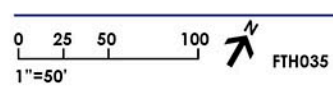
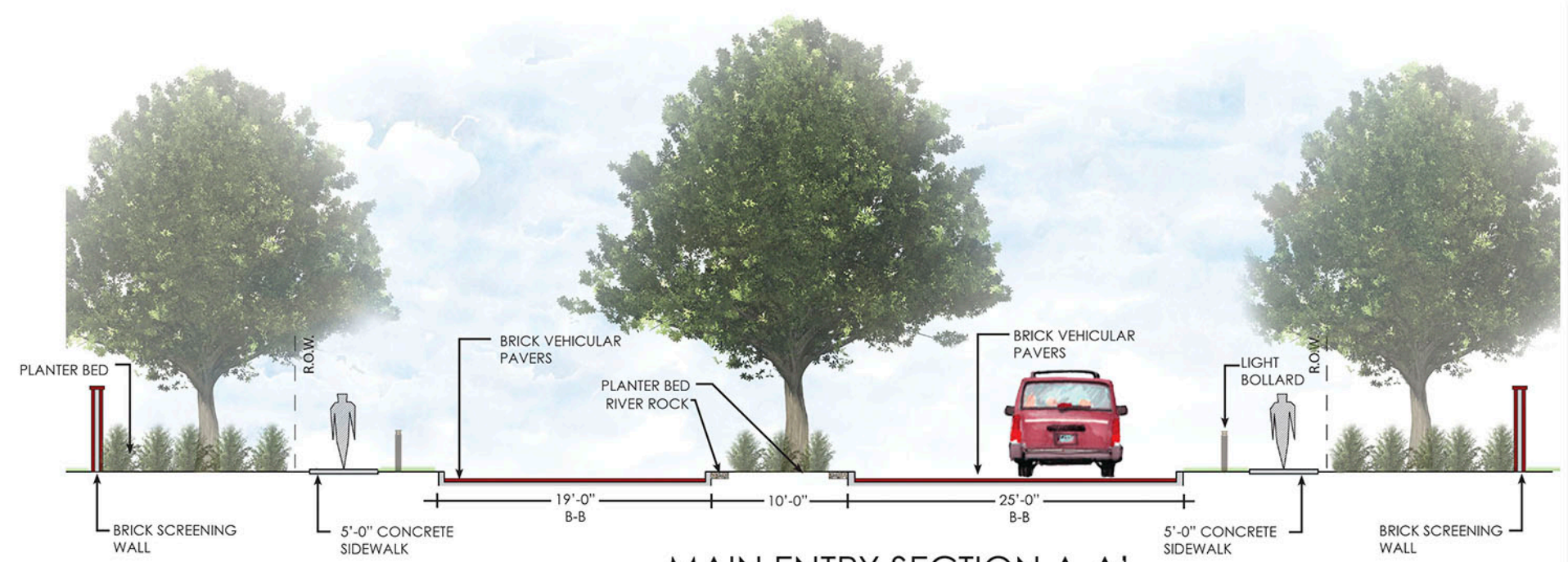


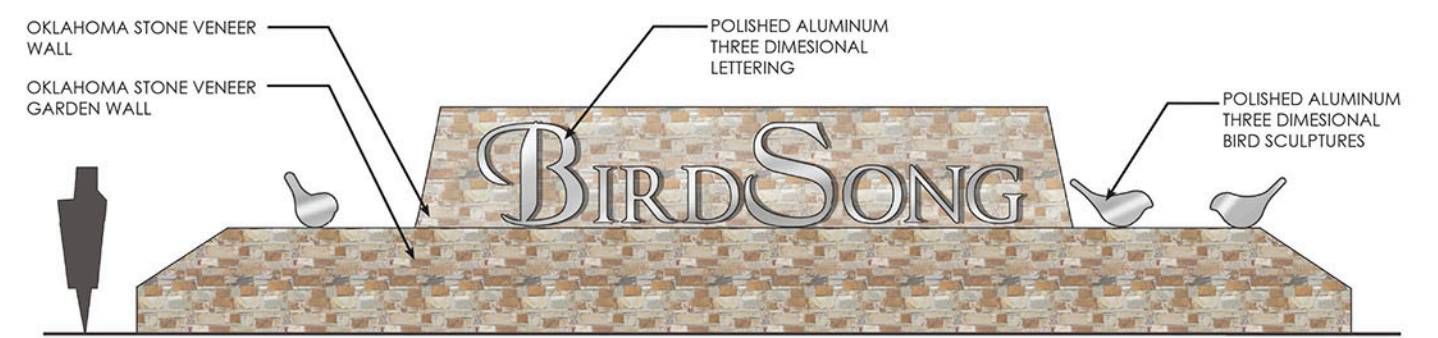
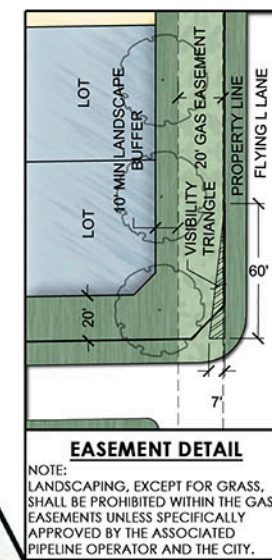
EXHIBIT D-1



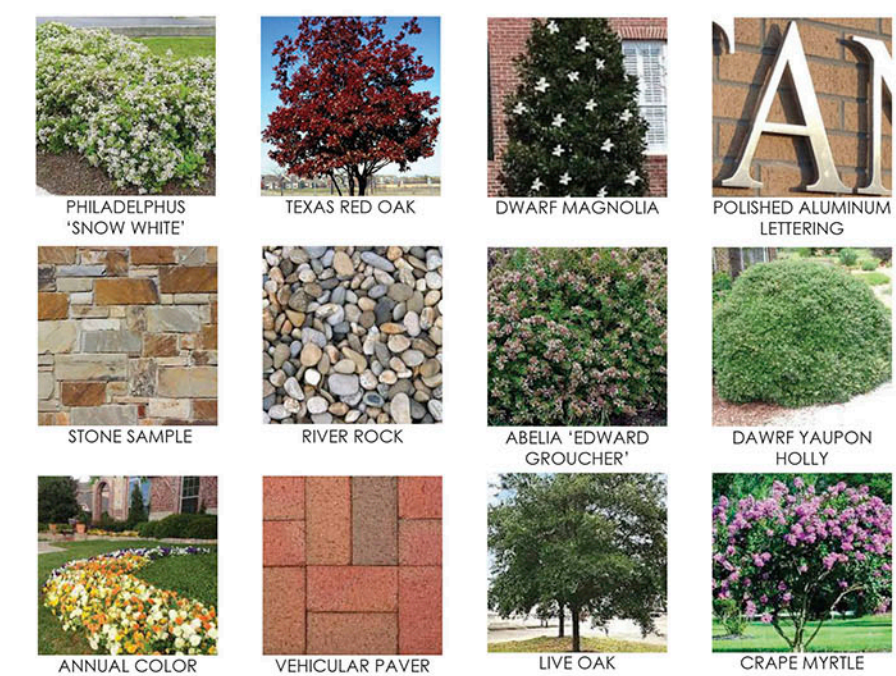
MAIN ENTRANCE



MAIN ENTRY SECTION A-A'

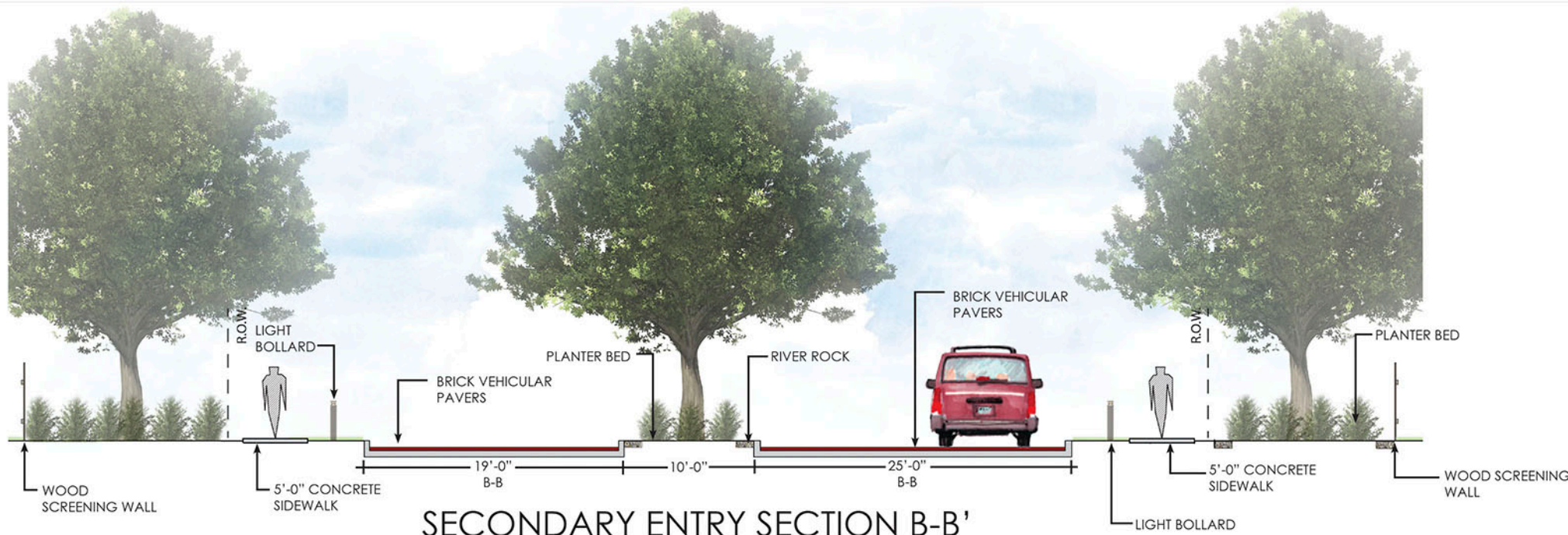


MAIN ENTRY SIGN



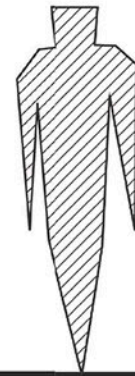
ENHANCED MAIN ENTRYWAY PLAN
BIRDSONG EAST
 THE PHILIP B GEORGE SURVEY, ABSTRACT NO. 299
 CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS
 DECEMBER 27, 2021
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DOROTHY FAYE PHILLIPS 6717 North FM 157 Venus, Texas 76084 Contact: Edwin Phillips ephillips1154@yahoo.com	OWNER (817) 456-9254
FIRST TEXAS HOMES 2121 Midway Road, Suite 155 Carrollton, Texas 75006 Contact: Tony Shaw tshaw@tonyshawproperties.com	APPLICANT/DEVELOPER (214) 244-8809
JB PARTNERS, INC. 2121 Midway Road, Suite 300 Carrollton, Texas 75006 Contact: Jerry Sylo jsylo@jbparkers.com TBPE No. F-438 TBPLS No. 10076000	SURVEYOR/ENGINEER (972) 248-7676



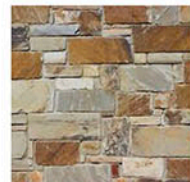
SECONDARY ENTRY SECTION B-B'

OKLAHOMA STONE VENEER WALL
POLISHED ALUMINUM PIN MOUNTED LETTERING

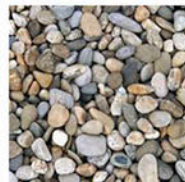


BIRDSONG

SECONDARY ENTRY SIGN



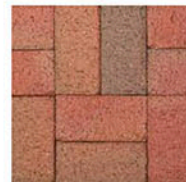
STONE SAMPLE



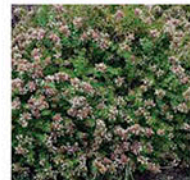
RIVER ROCK



ANNUAL COLOR



VEHICULAR PAVER



ABELIA 'EDWARD GROUCHER'



DAWRF YAUPON HOLLY



PHILADELPHUS 'SNOW WHITE'



TEXAS RED OAK



LIVE OAK



CRAPPE MYRTLE



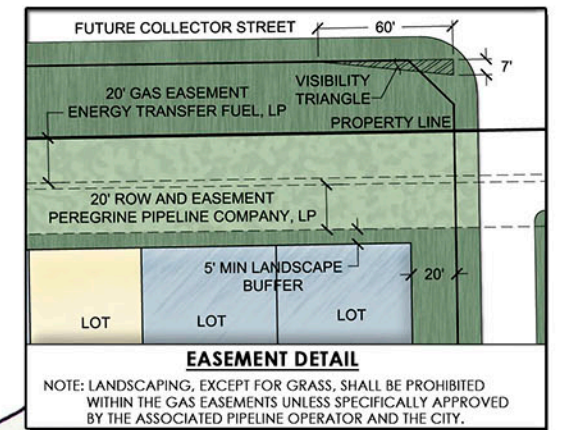
DWARF MAGNOLIA



POLISHED ALUMINUM LETTERING



SECONDARY ENTRANCE



ENHANCED SECONDARY ENTRYWAY PLAN
BIRDSONG EAST
THE PHILIP B GEORGE SURVEY, ABSTRACT NO. 299
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jsylo@jbpartners.com
TBPE No. F-438 TBPLS No. 10076000

SURVEYOR/ENGINEER

(972) 248-7676

ZC#21-011

EXHIBIT D-3

JB PARTNERS 90

LEGEND

- 6'-0" HT. MASONRY SCREENWALL
W/ MASONRY COLUMNS
- 6'-0" HT. WOOD FENCE
W/ MASONRY COLUMNS
(COLUMNS SPACED PER PD)

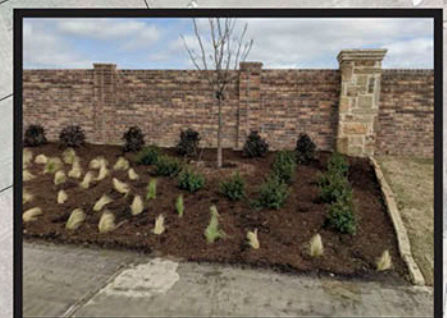
SECONDARY ENTRY

FUTURE COLLECTOR STREET

LOCATION MAP
NOT TO SCALE



WOOD FENCE W/ MASONRY COLUMNS
(COLUMNS SPACED PER PD)



MASONRY SCREENINGWALL W/
MASONRY COLUMNS

MAIN ENTRY

SCREENING PLAN BIRDSONG EAST

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WEB BASED/PUBLIC INFORMATION
JURISDICTIONAL WATERS:
ON-THE-GROUND ANALYSIS
WEB BASED/PUBLIC INFORMATION

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1"=100'
FTH035

ZC#21-011

EXHIBIT D-4

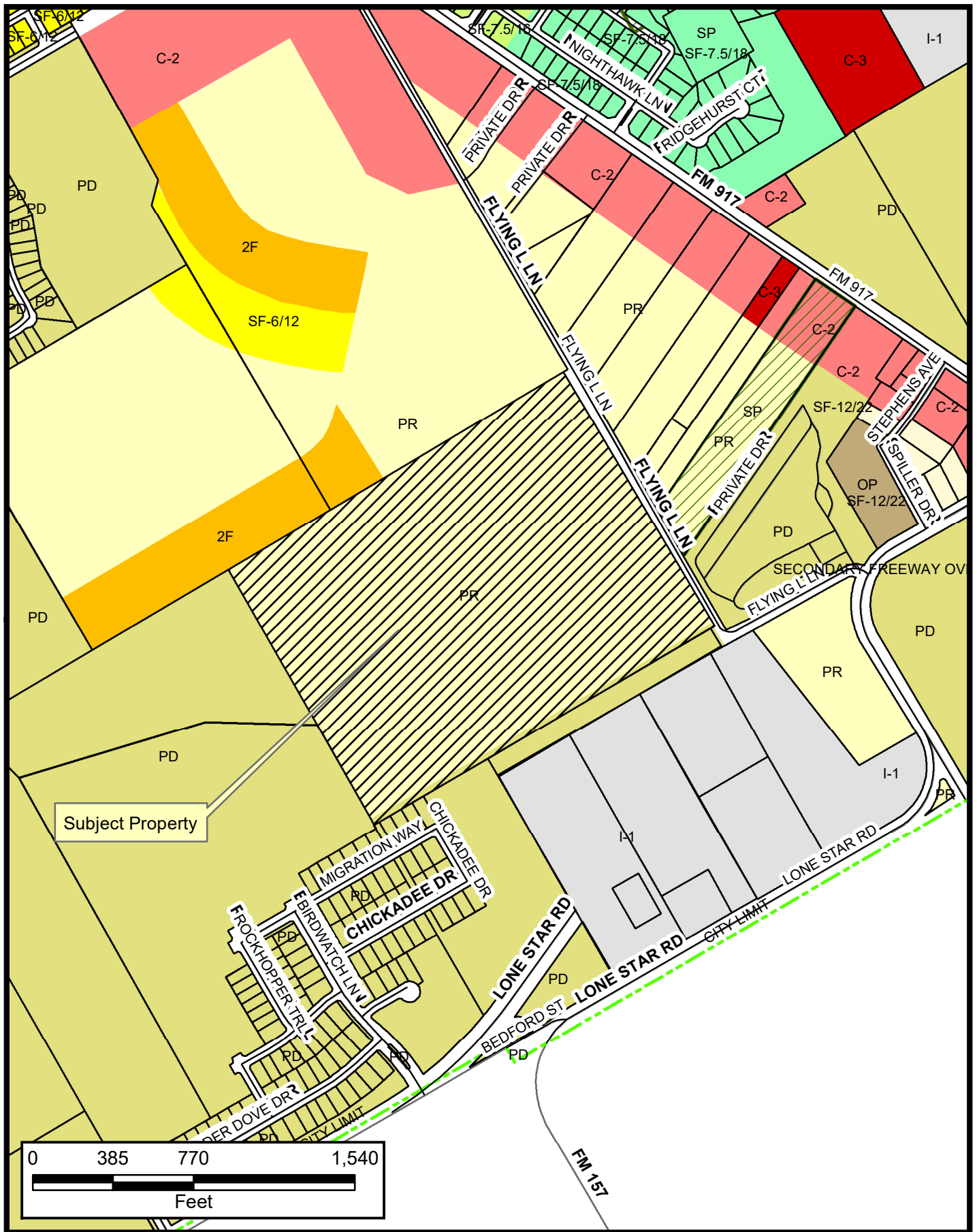
JBI
PARTNERS



This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

ZC#21-011

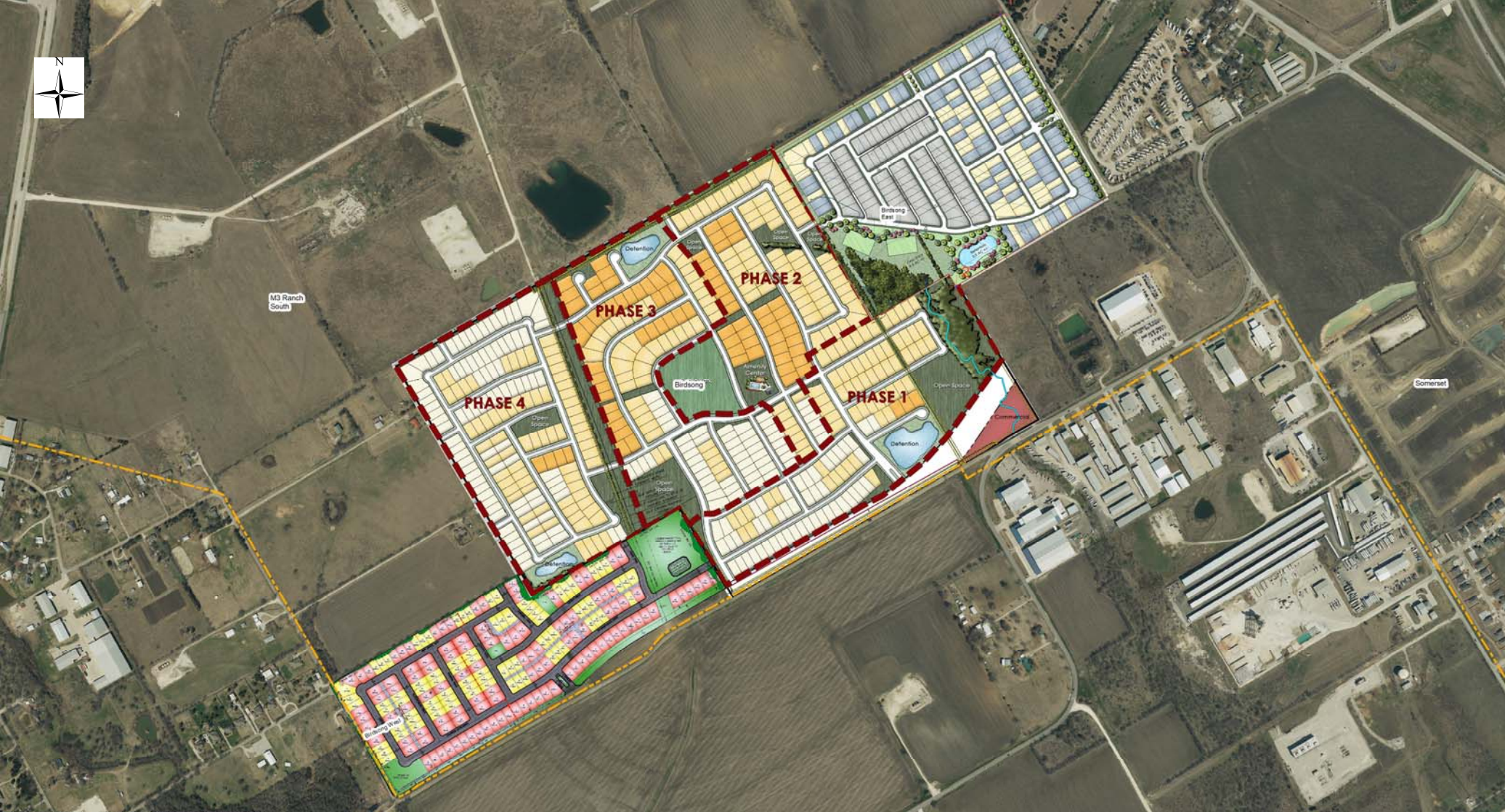
4/5/2022



ZC#21-011

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4/12/2022



Property Owner Notification for ZC#21-011

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
A GIBSON	TR 3A	MANSFIELD ISD	605 E BROAD	MANSFIELD, TX	76063
A GIBSON	TR 3B	MANSFIELD ISD	605 E BROAD ST	MANSFIELD, TX	76063
BBB & C RR CO	TR 87	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201
BBB & C RR CO	TR 88	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201
BIRDSONG ADDITION	BLK 2	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201
BIRDSONG ADDITION	BLK 2	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201
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BIRDSONG ADDITION	BLK 4	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201
BIRDSONG ADDITION	BLK 4	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201
BIRDSONG ADDITION	BLK 4	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201
BIRDSONG ADDITION	BLK 4	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201
BIRDSONG ADDITION	BLK 4	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201

Tuesday, April 05, 2022

Page 1 of 2

Property Owner Notification for ZC#21-011

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
EATON ESTATES CAMPGROUND	BLK 1	TXNRV LLC	310 E IH 30 STE 320	GARLAND, TX	75043-8000
L H STEVENS	TR 4C	UNG TOMMY TAING ETUX HUONG SIV	6009 HILLVIEW DR	WATAUGA, TX	76048
L H STEVENS	TR 4D	UNG TOMMY TAING ETUX HUONG SIV	6009 HILLVIEW DR	WATAUGA, TX	76048
L H STEVENS	TR 4E	COUNTRYSIDE BAPTIST CHURCH	P O BOX 178	MANSFIELD, TX	76063
L H STEVENS	TR 4F	MAC HOMES INC	PO BOX 167	LILLIAN, TX	76061
L H STEVENS	TR 4G1A	VERA ELETICIA SANDOVAL	155 SOUTHWOOD DR	BURLESON, TX	76028
L H STEVENS	TR 4G2	PHILLIPS DOROTHY FAYE	6717 N FM 157	VENUS, TX	76084
P B GEORGE	TR 1 PT	FIRST TEXAS HOMES INC	500 CRESCENT CT STE 350	DALLAS, TX	75201
P B GEORGE	TR 3	HOUN LEANG &	1180 MIRA VALLE	MONTEREY PARK, CA	91754
P B GEORGE	TR 3A	MANSFIELD DEVELOPMENT LLC	1714 COMMERCE DR	MANSFIELD, TX	76063
P B GEORGE	TR 3A1D	EL ETOUM SHEBLI ETUX	2605 BLACKWOOD	ARLINGTON, TX	76013-2104
P B GEORGE	TR 3A2,3A3,3A4	MANSFIELD DEVELOPMENT LLC	1714 COMMERCE DR	MANSFIELD, TX	76063
P B GEORGE	TR 3B	BIG SHOP PROPERTIES LLC	650 WILDLIFE BLVD	GRAND PRAIRIE, TX	75050
VENUS ADDITION	BLK 1	BROWN SANDRA K & NATALIE	P O BOX 90	MANSFIELD, TX	76063